



CITY OF OREGON CITY HISTORIC REVIEW BOARD AGENDA

Hanlon Commission Chambers, Libke Public Safety Building, 1234 Linn Ave, Oregon City,
OR 97045

Tuesday, January 27, 2026 at 7:00 PM

Ways to participate in this public meeting:

- Attend in person, location listed above. Please see the public comment guidelines below.
- Attend the livestream of the meeting on the City's YouTube Channel:

<https://www.youtube.com/user/CityofOregonCity>

- Register to provide electronic testimony (email ocplanning@orc.city.org or call 503-722-3789 by 3:00 PM on the day of the meeting to register)
 - Email ocplanning@orc.city.org (deadline to submit written testimony via email is 3:00 PM on the day of the meeting)
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1. CALL TO ORDER AND ROLL CALL

2. PUBLIC COMMENTS

Please see the public comment guidelines below.

3. PUBLIC HEARINGS

- a. HR-25-00014: New construction of a 6-unit multi-family building at the Sarah Hughes House (1102 7th St)

4. DISCUSSION

- a. Compatible Change: New Construction Review in Historic Districts- HRB Policy and OCMC 17.40 Code Review

5. COMMUNICATIONS

6. ADJOURNMENT

PUBLIC COMMENT GUIDELINES

Complete a Comment Card prior to the meeting and submit it to the clerk. When the Chair calls your name, proceed to the speaker table, and state your name and city of residence. Each speaker is given 3 minutes to speak. As a general practice, the committee does not engage in discussion with those making comments. Complaints shall be addressed at the department level prior to addressing the committee.

ADA NOTICE

The location is ADA accessible. Hearing devices may be requested from the City Recorder prior to the meeting. Individuals requiring other assistance must make their request known 48 hours preceding the meeting by contacting the City Recorder's Office at 503-657-0891.

Agenda Posted at City Hall, Pioneer Community Center, Library, City Website.

Video Streaming & Broadcasts: The meeting is streamed live on the [Oregon City's website](#) and available on demand following the meeting. The meeting can be viewed on Willamette Falls Television channel 28 for Oregon City area residents as a rebroadcast. Please contact WFMC at 503-650-0275 for a programming schedule.

site plan and elevations addressing the following:

1. Egress areas at the southeastern lot line may be resolved by high-mounted mini-split units. This could keep the building from being moved a further 2 feet toward JQ Adams St.
2. Outboard porch posts may be removed to retain wider-set inboard posts. Or a floating porch cover. Or sprinkler. Not a firewall extension. Porch cover still needed.
3. Porch depth may also be reduced to accommodate more egress area at the rear, along the southeastern lot line.
4. The front façade 2nd floor cantilever should not increase from proposed without additional decorative elements to mitigate its effects.
5. Maintain at least 5 feet of building separation to resolve the window issues as well as egress issues between the new structure and the Sarah Hughes House.

BACKGROUND:

The subject site is located at the southern corner of 7th Street and JQ Adams Street in the McLoughlin Conservation District. The property also abuts the Anna Foster Jones House (c. 1885), located to the south, the Ethel and Jabez Rayl House 2 doors down 7th St, and sits across the intersection from Ely Brothers Store (c. 1905). The lot is approximately 5,325 square feet, measuring 53.25 feet wide along the 7th Street frontage, and 100 feet deep along the JQ Adams frontage and is zoned Mixed Use Corridor (MUC-1), which permits retail and personal service uses, as well as high-density housing.

OPTIONS:

Review the demolition proposal for the existing accessory garage and provide direction on conditions of approval. Provide direction to Staff and the Applicant on the design priorities for the new multifamily construction so that it can meet building code requirements without violating HRB policies and guidelines or adversely impacting the landmark, neighboring landmarks, or the conservation district as a whole.

BUDGET IMPACT:

1. Approve HR-25-00014 with the recommended conditions.
2. Approve HR-25-00014 with revised findings and conditions.
3. Deny HR-25-00014 and provide further direction to Staff and the applicant.
4. Continue HR-25-00014, provide further direction to Staff and the applicant, keep the public record open until a certain 2026 meeting date, and obtain a 30-day extension of the decision deadline to May 3, 2026.



Historic Review

Supplement to the Staff Report and Recommendation for GLUA-25-00045 / HR-25-00014

1/20/2026

FILE NO.: GLUA-25-00045 / HR-25-00014

HEARING DATE: January 27, 2026 – In person (Continued from November 25, 2025)

APPLICANT: Wendy Polk & Trevor Tyree | American Made Construction
402 Beaver Creek Rd, Ste 110
Oregon City, OR 97045

OWNER: Tony Uzuegbunam
19663 Wildwood Dr
West Linn, OR 97068

LOCATION: 1102 7th St
Oregon City, OR 97045
Clackamas Map & Tax lot: 2-2E-31AD-08500

ZONING:

- Mixed Use Corridor (MUC-1) District
- Designated Historic Site in McLoughlin Conservation District

REQUEST: Request to add a new 6-unit multifamily structure on the same lot as the designated historic Sarah Hughes House

REVIEWER: Jude Thaddaeus | Planner

RECOMMENDATION: Approval with Conditions.

CRITERIA: Administration and Procedures are set forth in Chapter 17.50, Chapter 17.40, Historic Overlay District in Chapter 17.40 of the Oregon City Municipal Code. The City Code Book is available on-line at www.orcity.org.

Please be advised that any issue that is intended to provide a basis for appeal must be raised before the close of the hearing, in person or by letter, with sufficient specificity to afford the Historic Review Board and the parties an opportunity to respond to the issue. Failure to raise an issue with sufficient specificity will preclude any appeal on that issue. The decision of the Historic Review Board may be appealed to the City Commission by parties with standing within fourteen (14) calendar days of the notice of decision. Any appeal will be based on the record. The procedures

that govern the hearing will be posted at the hearing and are found in OCMC Chapter 17.50 and ORS 197.763. A city-recognized neighborhood association requesting an appeal fee waiver pursuant to OCMC 17.50.290(C) must officially approve the request through a vote of its general membership or board at a duly announced meeting prior to the filing of an appeal.

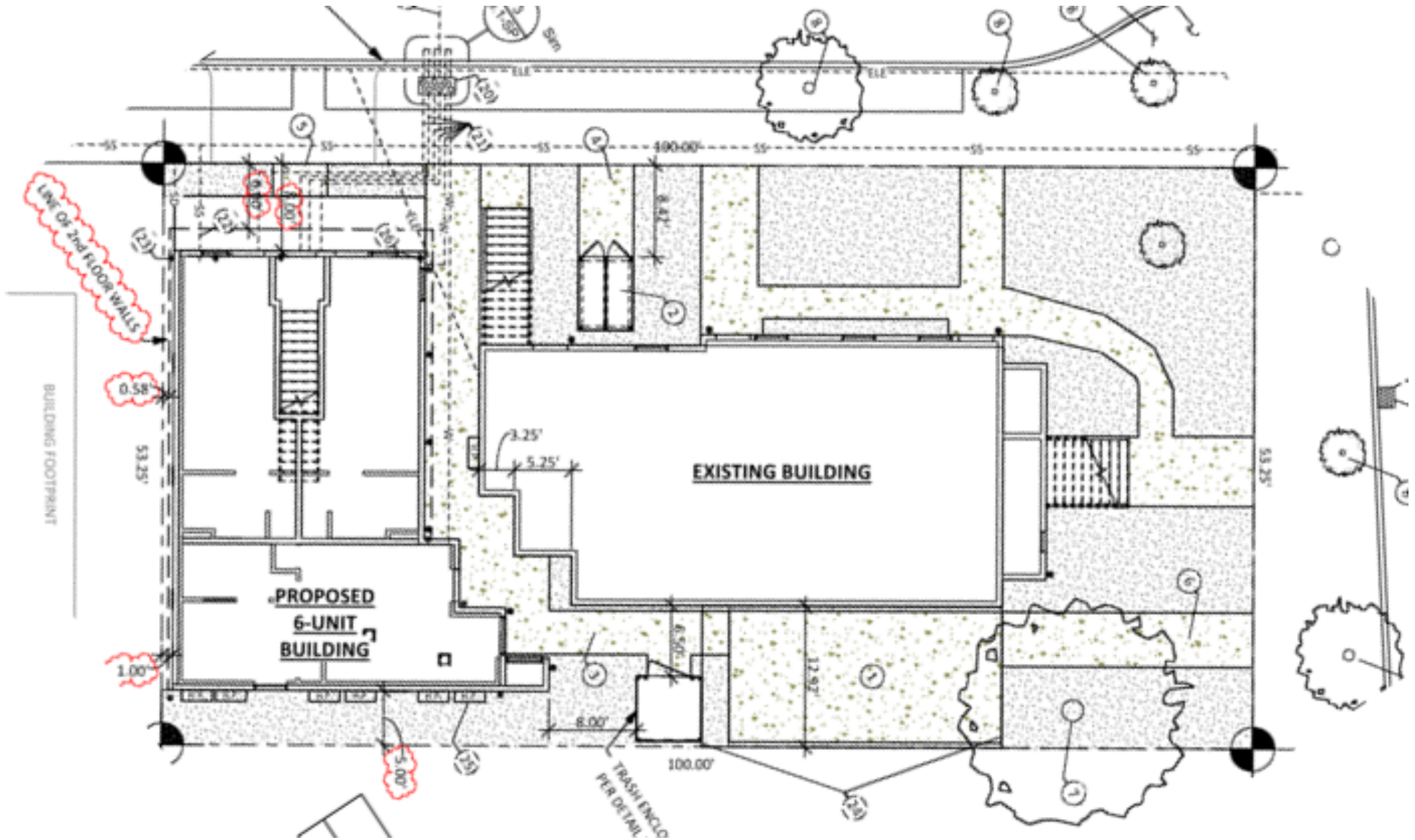
The following findings and proposed conditions of approval are intended to supplement the initial staff report dated November 17, 2025.

Summary of Historic Review Board direction at 11/27/2025 Hearing:

To resolve the issues identified by Building Plans Examiner Guy Altman in the original submittal, the applicant was directed by the Board to revise the project and resubmit the site plan and elevations addressing the following:

1. Egress areas at the southeastern lot line may be resolved by high-mounted mini-split units. This could keep the building from being moved a further 2 feet toward JQ Adams St.
2. Outboard porch posts may be removed to retain wider-set inboard posts. Or a floating porch cover. Or sprinkler. Not a fire wall extension. Porch cover still needed.
3. Porch depth may also be reduced to accommodate more egress area at the rear, along the southeastern lot line.
4. The front façade 2nd floor cantilever should not increase from proposed without additional decorative elements to mitigate its effects.
5. Maintain at least 5 feet of building separation to resolve the window issues as well as egress issues between the new structure and the Sarah Hughes House.

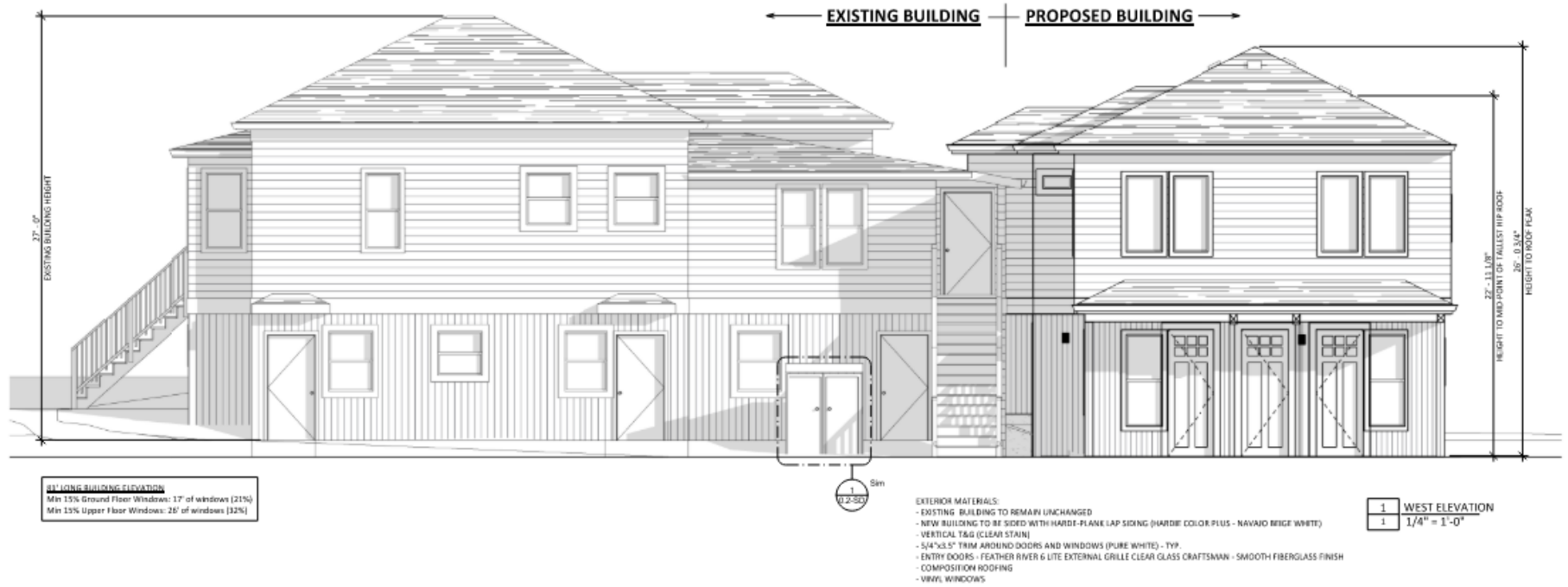
The Applicant's Revised Submittal:



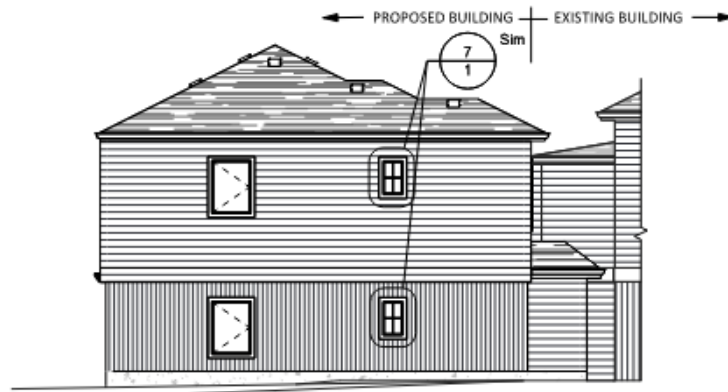
Revised site plan showing the revised building that's been moved two feet further from the southeast property line and one foot from the southwest property line.



Revised street view design renders showing a narrowed building with removed porch posts.



Revised northwest elevation showing the revised building configuration.

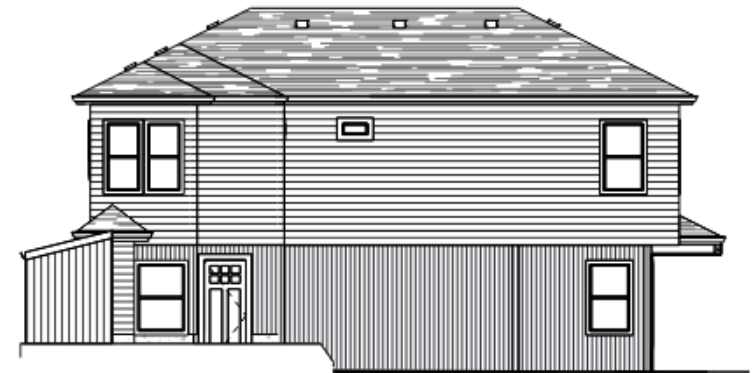


GROUND FLOOR:	
BUILDING FACADE LENGTH:	35'-6"
WINDOW LENGTH REQUIRED:	3'-7" (10%)
WINDOW LENGTH PROVIDED:	5'-0" (14.0%)

UPPER FLOOR:	
BUILDING FACADE LENGTH:	31'-6"
WINDOW LENGTH REQUIRED:	3'-2" (10%)
WINDOW LENGTH PROVIDED:	5'-0" (15.8%)

3	EAST ELEVATION
1	1/8" = 1'-0"

494 SF BUILDING ELEVATION
 WINDOWS: 24 SF of openings (5%)
 MINISPLITS: 1.77 SF approx. (0.4%)



NOTE: VINYL WINDOWS IN THE NORTH FAÇADE OF THE EXISTING BUILDING WILL BE REPLACED

4	NORTH ELEVATION
1	1/8" = 1'-0"

Revised southeast (L) and northeast (R) elevations showing the revised building configuration. The southeast wall (L) is now located five feet from the interior side lot line. The northeast elevation (R) faces the Sarah Hughes House, but, according to the site plan, is now located five feet southwest, wall to wall.



<u>GROUND FLOOR:</u>	
BUILDING FACADE LENGTH:	41'-3"
WINDOW LENGTH REQUIRED:	4'-1.5" (10%)
WINDOW LENGTH PROVIDED:	6'-0" (14.5%)

<u>UPPER FLOOR:</u>	
BUILDING FACADE LENGTH:	43'-3"
WINDOW LENGTH REQUIRED:	4'-4" (10%)
WINDOW LENGTH PROVIDED:	6'-0" (13.8%)

2	SOUTH ELEVATION
1	$1/8" = 1'-0"$

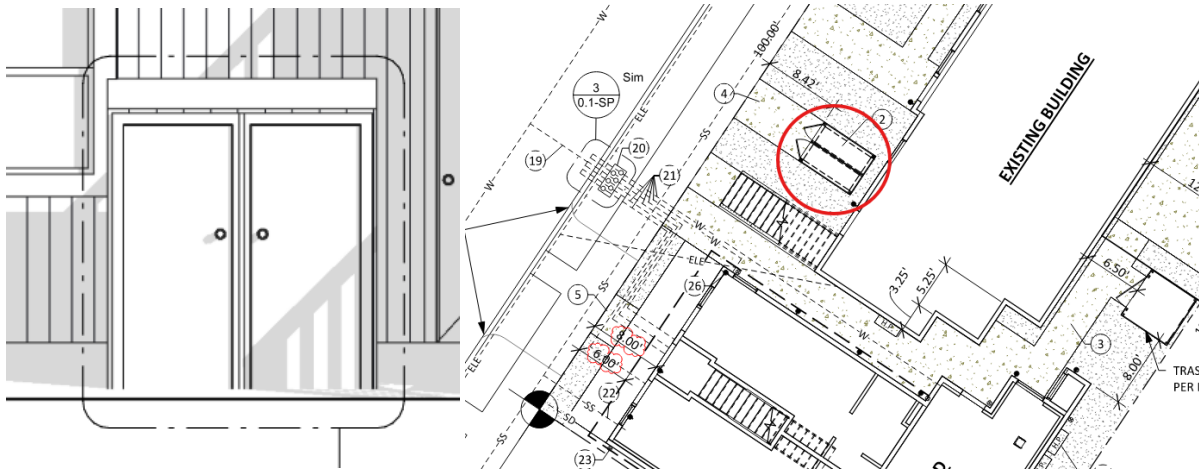
Revised southwest elevation showing the revised building configuration with no porch posts. The wall is now located one foot off rear lot line.

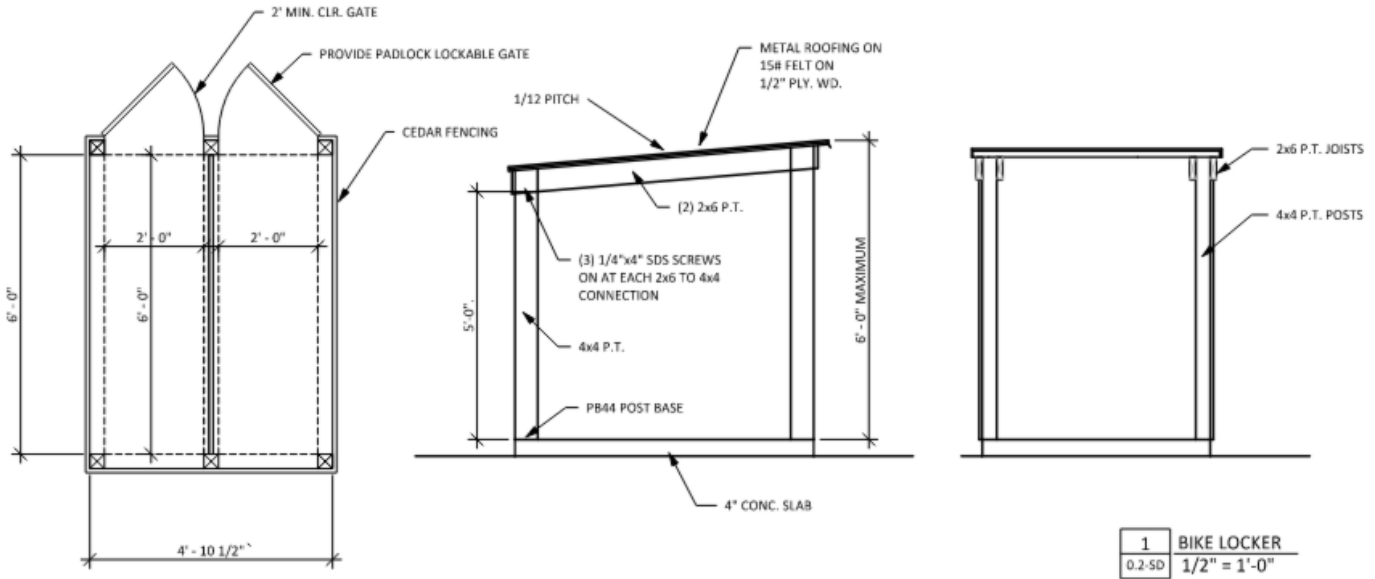
Staff Assessment

With the revised site plan and elevation drawings, the applicant has revised the project to address all of the points highlighted by the Historic Review Board:

1. Mini-splits no longer need to be mounted on the walls along the southeastern elevation. The applicant has moved the southeastern all to be 5 feet off the interior side lot line. Therefore, the ground location of the mini-splits, if fully clear of a 3-foot lot line setback for egress, is acceptable.
2. The applicant has retained the front porch cover and removed all porch posts as directed.
3. As permitted by the HRB's directions, the applicant reduced the front porch depth by 12 inches to partially accommodate the movement of the structure a further 2 feet off the interior lot line. The new porch depth is now 5 feet where 6 feet was previously proposed.
4. The cantilever of the front second floor front façade has not increased beyond the 2 feet proposed in the previous version of the building plans, as directed by the HRB.
5. The existing Sarah Hughes House and new 6-unit building are now separated by 5 feet of lateral distance. However, according to Guy Altman's comments dated 1/15 (see accompanying Exhibit) concerning the revised submittal, the applicant will need to clarify the imaginary property line issue to address fire separation. This requirement has been added as a Condition of Approval for consideration by the Historic Review Board.

Additional items not covered in the November 2025 meeting – Bicycle Parking





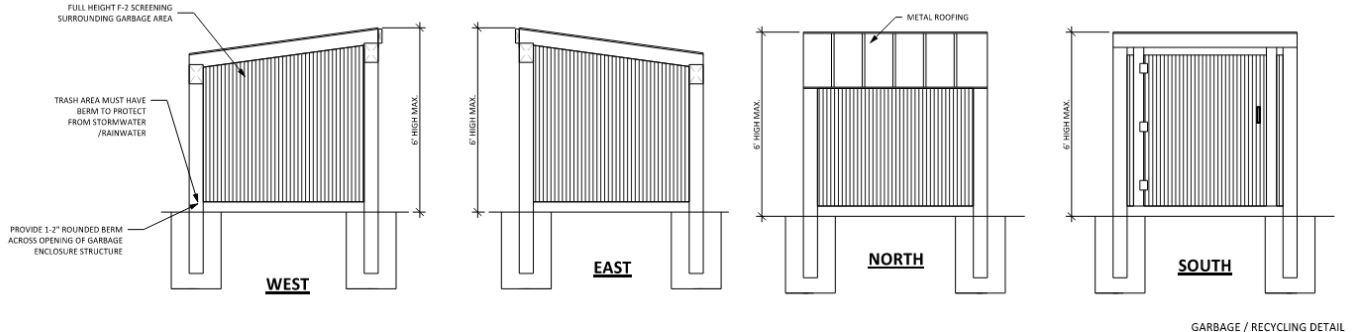
The façades and plans for the bicycle parking shed, which will face JQ Adams St and be located in front of the Sarah Hughes House approximately 5 feet northeast of the rear stairwell.

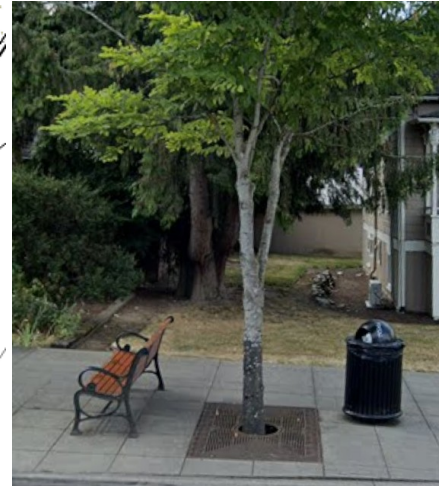
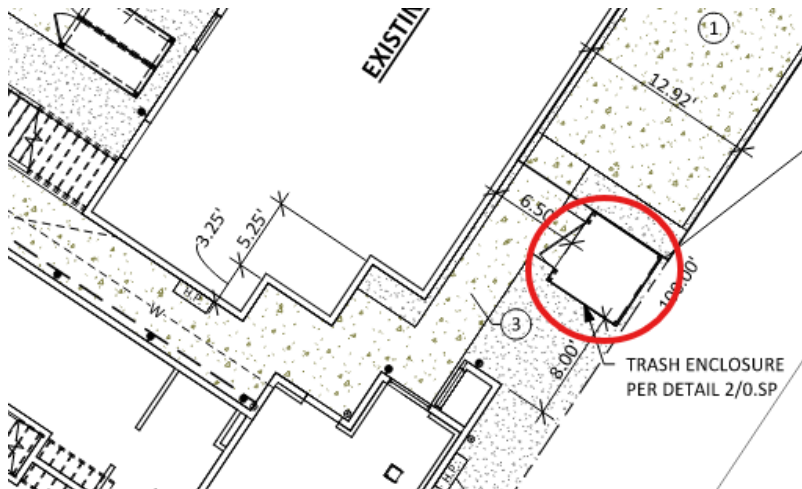
Staff Comments: The applicant proposes a 6-foot high, 33 square foot bicycle parking shed use metal shed roofing on a 1/12 slope and cedar fencing for siding. Post materials are unclear based on the revised plans. Historic Review Board Policy 7 requires accessory structures under 200 square feet to be sided, roofed, and painted to match the associated landmark in order to be approved by Staff. This structure would not match the Sarah Hughes House. The front and side façades of the structure would be visible from JQ Adams St, with the side of the structure being visible from 7th St, albeit 56 feet back from the 7th St right of way and 37 feet back from the front façade of the Sarah Hughes House. The structure is to be located between the right of way abutting JQ Adams St and the side façade of the Sarah Hughes House, approximately five feet northeast of the external stairwell facing JQ Adams St and 16 inches from the exterior wall of the landmark.

Covered bicycle parking is a Site Plan & Design Review requirement for multifamily developments, so the addition of bicycle parking to the site is proposed to fulfill that requirement under a separate land use decision. However, the form it takes can be determined by the Historic Review Board.

Given the size and significance of the structure, the Historic Review Board may accept this proposal anyway, or may condition the approval of this structure based on revised findings.

Trash Enclosure





Trash enclosure elevations, details, and location onsite. The northeastern wall of the structure is proposed to be approximately 31.5 feet back from the front façade of the Sarah Hughes House and partially obscured from the view from 7th Street by a large conifer in the front yard and a street tree. The southeastern wall of the trash enclosure is located only 5.5 inches off the southeastern lot line, which does not comply with the Historic Review Board Policy 7 requirement that accessory structures be located at least 3 feet off of interior lot lines.

Staff Comments: The applicant proposes a 6-foot-high, 38-square-foot trash enclosure with 1/12 metal shed roofing and “Full height F-2 screening” to enclose it. Post materials are unclear based on the plans. The site plan shows the structure is to be located only 5.5 inches off the southeastern property line. Historic Review Board Policy 7 requires accessory structures under 200 square feet to be sided, roofed, and painted to match the associated landmark, and to be located at least 3 feet from interior lot lines in order to be approved by Staff. This structure would not match the Sarah Hughes House or meet the setback requirement.

A trash enclosure is a Site Plan & Design Review requirement ([OCMC 17.62.085](#)) for multifamily developments. One of the requirements of that section is that the structure shall be located in a manner easily and safely accessible to collection vehicles. The intent of this structure is to contain receptacles that will be wheeled out to the curb along JQ Adams St. However, locating the structure a further 2 feet 7.5 inches from the southeastern lot line may hinder access and egress between the structure and the Sarah Hughes House, which at that point would be less than 4 feet away.

The addition of this structure to the site is proposed to fulfill a requirement under a separate land use decision. However, the form the structure takes can be determined by the Historic Review Board. Given the size and significance of the structure, the Historic Review Board may accept this proposal as-is, or may condition the approval of the structure based on revised findings.

Recommended Conditions of Approval

1. The applicant must obtain all necessary permits for the proposed demolition.
2. Upon the approval of this land use application, materials, massing, or locations may not be altered unless meeting HRB policies through a staff-level approval or without a new land use application for additional approval from the Historic Review Board. Building permits will be reviewed at the staff level and must meet all conditions of approval set forth in this report.
3. Prior to building permit issuance, the applicant shall submit a revised site plan to the Building Department, adding an imaginary property line separating the buildings, and address the requirements of *OSSC Table 705.5* with that revision.
4. The applicant shall submit product specifications for all windows, trim, siding, and roofing to demonstrate compliance with the Design Guidelines for New Construction on both accessory structures prior to the issuance of their respective building permits. The paint scheme shall include at least three colors, with the darkest used for the window sash.
5. The applicant shall replace the vinyl window on the Sarah Hughes House – subject to 2016 and 2018 code enforcement requests – with windows that meet the Historic Review Board Policy 10.
6. The applicant shall utilize a 4-6 inch reveal smooth fiber cement siding or wood lap siding.
7. Other than the proposed false plexiglass windows on the side elevation located at the property line, windows shall be installed as directed below:
 - a. If the applicant desires the look of divided lights, simulated divided lights must use a dimensional exterior grid (at least ¼” thick from face of glazing) plus a window spacer grid (between the panes of an insulated glass unit). Simulated divided lights using window spacer grids are not allowed.
 - b. Windows will be finished with exterior trim (casing) that is at least 3.5 inches wide on at least three sides (head and jambs), projecting outward from the wall by at least 3/8 inch more than the face of the window frame or sash at the jamb. Wider trim than 3.5 inches, such as 4.5 inches, is strongly encouraged. Windows will be installed with a sloped exterior sill that extends outward from the wall by at least ½ inch beyond the outer face of the exterior trim or casing. The sill must also lap beyond the casing width on both sides of the window by at least ½ inch. Prior to the release of Building Permits, the applicant shall provide staff with their window trim approach and detailed drawings demonstrating compliance with this condition.
 - c. Minor changes to window location or size will be acceptable and may be approved at a staff level prior to building permit issuance.
8. The applicant shall utilize simple exterior lighting and doors appropriate to the foursquare design. Staff shall review the final specification prior to installation. Highly ornate Victorian or high-style craftsman lighting will not be approved.

PUBLIC NOTICE

A public notice was sent to neighbors within 300 feet of the subject property, posted online, emailed to various entities, and posted onsite in compliance with [OCMC 17.50.090](#) and [100](#).

CONCLUSIONS AND RECOMMENDATIONS

Based on the findings in this staff report and the November 17, 2025, initial staff report, staff recommends that the Historic Review Board approve, with revised findings and conditions, the proposed 6-unit multi-family structure, bicycle parking shed, and trash enclosure at 1102 7th Street under file number HR-25-00014.

Exhibits

1. HR 25-013014 Staff Report & Recommendation (November 17, 2025)
2. Applicant Narrative- Supplement
3. Applicant Plans- Revised

Historic Review**Staff Report and Recommendation for Proposed Demolition and New Construction at a Designated Historic Site in the McLoughlin Conservation District**

11/17/2025

FILE NO.:	GLUA-25-00045 / HR-25-00013 / HR-25-00014
HEARING DATE:	November 25, 2025 – In person
APPLICANT:	Wendy Polk & Trevor Tyree American Made Construction 402 Beaver Creek Rd, Ste 110 Oregon City, OR 97045
OWNER:	Tony Uzuegbunam 19663 Wildwood Dr West Linn, OR 97068
LOCATION:	1102 7 th St Oregon City, OR 97045 Clackamas Map & Tax lot: 2-2E-31AD-08500
ZONING:	<ul style="list-style-type: none">• Mixed Use Corridor (MUC-1) District• Designated Historic Site in McLoughlin Conservation District
REQUEST:	Request to demolish an existing non-contributing accessory garage structure located behind the Sarah Hughes House and replace it with a new 6-unit multifamily structure in a similar location.
REVIEWER:	Jude Thaddaeus Planner
RECOMMENDATION:	Continue HR-25-00014 to the next meeting on January 27, 2026 and leave the record open so the applicant can update and submit revised and approvable plans, with a 30-day extension of the Notice of Decision date to April 3, 2026. Approve HR-25-00013 with Conditions.
CRITERIA:	Administration and Procedures are set forth in Chapter 17.50, Chapter 17.40, Historic Overlay District in Chapter 17.40 of the Oregon City Municipal Code. The City Code Book is available on-line at www.orcity.org .

Please be advised that any issue that is intended to provide a basis for appeal must be raised before the close of the hearing, in person or by letter, with sufficient specificity to afford the Historic Review Board and the parties an opportunity to respond to the issue. Failure to raise an issue with

sufficient specificity will preclude any appeal on that issue. The decision of the Historic Review Board may be appealed to the City Commission by parties with standing within fourteen (14) calendar days of the notice of decision. Any appeal will be based on the record. The procedures that govern the hearing will be posted at the hearing and are found in OCMC Chapter 17.50 and ORS 197.763. A city-recognized neighborhood association requesting an appeal fee waiver pursuant to OCMC 17.50.290(C) must officially approve the request through a vote of its general membership or board at a duly announced meeting prior to the filing of an appeal.

Staff Summary: Further Action Needed By Applicant

The applicant is seeking approval to do 2 things:

1. Demolition of an existing decades-old detached accessory garage, currently in a state of visible disrepair, and constructed of non-conforming materials that are not compatible with the design of the Sarah Hughes House.
2. New construction of a detached 6-unit 2-story multifamily building to be located 3 to 4 feet behind the Sarah Hughes House and facing the corner side lot line abutting JQ Adams St.

Guy Altman, Plans Examiner for the Building Department submitted comments (enclosed) on November 14 detailing significant revisions to the building plans – revisions that would significantly impact exterior design elements – that would be necessary for this project to be approved at the building permit phase post land use decision. While building code requirements are not the purview of the Historic Review Board, Planning Staff have significant concerns about whether the building design and location on the subject site can be constructed according to Historic Review Board Design Guidelines for New Construction as proposed in light of these building issues.

Planning Staff seeks direction from the Historic Review Board on the aspects of the proposed design that may require revisions to windows, walls, eaves, gutters, porch posts, mechanical equipment locations, building separation from the landmark, and more to coordinate the project with the issues that the building department has called out. Planning Staff believe that the Applicant would benefit from the Board’s direction on the design priorities they’ll need to inform their choices on how to revise the project so that Historic and Building standards coordinate with one another.

In order to give the Applicant time to adopt the appropriate changes in light of the HRB’s directions, and submit a more approval plan for review, Staff also recommend a Continuance of this review to the January 27, 2026 meeting and approval of a 30-day extension of the 120-Day review timeline to April 3, 2026.

The Historic Review Board may also separately consider HR-25-00013, which is the demolition request for the existing non-conforming accessory garage on the site at this time, or in conjunction with the recommended continuance for HR-25-00014 to January 27, 2026.

Recommended Conditions of Approval

1. The applicant must obtain all necessary permits for the proposed demolition.

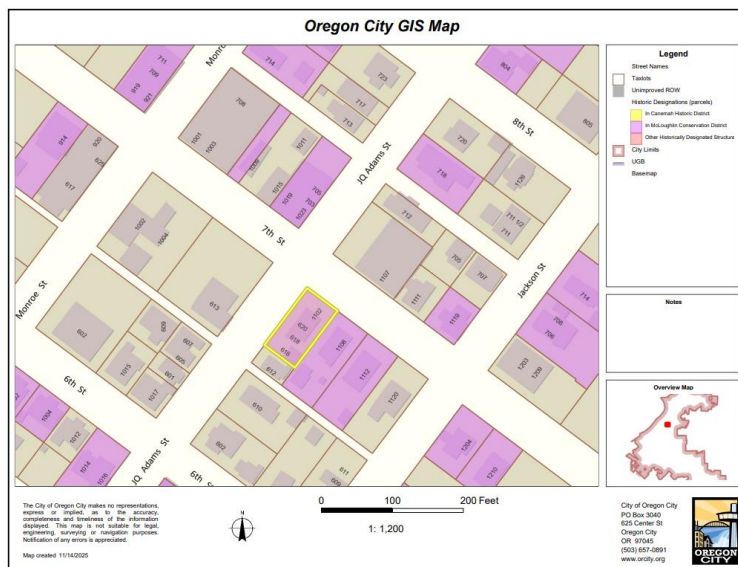
2. The applicant shall submit product specifications for all windows, trim, siding, and roofing to demonstrate compliance with the Design Guidelines for New Construction on both accessory structures prior to the issuance of their respective building permits.
3. The applicant shall replace the vinyl rear side windows on the Sarah Hughes House – subject to 2016 and 2018 code enforcement requests – with windows that meet the Historic Review Board Policy 10.
4. Additional Conditions as directed by the Historic Review Board.

BACKGROUND: Site and Context – taken from the 2002 Oregon City Historic Resource Survey Form

SARAH HUGHES HOUSE (ca. 1892)

The house at 1102-1106 7th Street is a modest vernacular Queen Anne with a hip roof. It square plan sits on a high concrete basement skirted by grooved plywood. The building is clad in channel drop siding. Windows are 1/1 wood double-hung with lamb's tongues. Under the front bay, there is a panel of diagonal shiplap. The inset porch has a solid rail with slender posts and brackets. At the eave are scrolled double brackets. Sheet metal hoods shelter the side entrances. The minimal stair at the front is a recent rebuild. There is some early porch infill on the rear and a garage addition. The front door is an incompatible replacement.

The subject site is located at the southern corner of 7th Street and JQ Adams Street in the McLoughlin Conservation District. The property directly abuts the Anna Foster Jones House (c. 1885), located to the south, the Ethel and Jabez Rayl House 2 doors down 7th St, and sits across the intersection from Ely Brothers Store (c. 1905). The lot is approximately 5,325 square feet, measuring 53.25 feet wide along the 7th Street frontage, and 100 feet deep along the JQ Adams Street frontage and is zoned Mixed Use Corridor (MUC-1), which permits retail and personal service uses, as well as high-density housing.



Vicinity Map showing designated historic landmarks in the vicinity



Clackamas County Tax Map Excerpt (subject site highlighted)



Street Views looking SW from 7th Street (L) and SE from JQ Adams Street (R), courtesy Google Maps

Project Summary:

The applicant submitted the following narrative:

The property owner Tony Uzuegbunam and the contractor, American Made Construction LLC are proposing a new build, 6-unit, 2-story multiplex. This structure will be built where the current garage stands on the northwest corner of the property. The footprint is approximately 1,150 sq ft with 2,300 sq ft of living space.

We are aware this property is within the Historic District, and we have made the corrections and changes as requested by the historical board to meet the requirements for the area. This building will provide more housing in the City of Oregon city and bring a more appealing look to the property.

Notice and Public Comment:

A public notice sign was posted to the subject site on November 3, 2025. As of November 17th, the date of this staff report, the following public comments have been received by planning staff:

Hayley McGinnis of 610 JQ Adams Street submitted comments (on file) on November 14th, 2025, which consisted of the following concerns:

1. Limited parking on JQ Adams and 7th Streets for existing uses. Of particular concern is the removal of off-street parking to accommodate the new building, as well as emergency vehicle access impacts. They request the board consider neighborhood compatibility and livability.

Staff Response: Accommodations for parking and emergency vehicle access are not approval criteria that the Historic Review Board can consider in this application under OCMC 17.40. In order for this project to be approved, the applicant must also submit a Type II site plan & design review application, and that is the review to which parking standards and emergency vehicle access requirements would apply.

2. Concerns about the building being used for short-term rental (e.g., Airbnb) purposes without a conditional use permit as required in residential zones.

Staff Response: Conditional uses reviews are not within the purview of the historic review board. However, 1102 7th Street is zoned mixed use corridor (MUC-1), which is not a residential zone. Short-term rentals are permitted outright under OCMC 17.29.020 in the zone without the need for a conditional use review and permit.

3. General livability and neighborhood compatibility concerns surrounding the existing mix of high-density rental housing to single-family residences on private property, and the impact that adding 6 additional units to the area would bring.

Staff Response: Housing density and the mix of rental to privately owned residences are not within the review criteria the historic review board may consider for this proposal. For this project to be approved, the applicant must also submit a type II site plan & design review application and demonstrate compliance with the dwelling unit density requirements of the base MUC-1 zone found in OCMC 17.29 as part of that review. The city has no code provisions that regulate the mix of rental housing to owner-occupied housing.

4. Expectations of added noise pollution from new rental housing in conjunction with the existing commercial uses that surround the site along 7th Street.

Staff Response: Noise nuisances are not under the review authority of the Historic Review Board. Instead, they are regulated through the *Health and Safety and Public Peace, Morals, and Welfare*

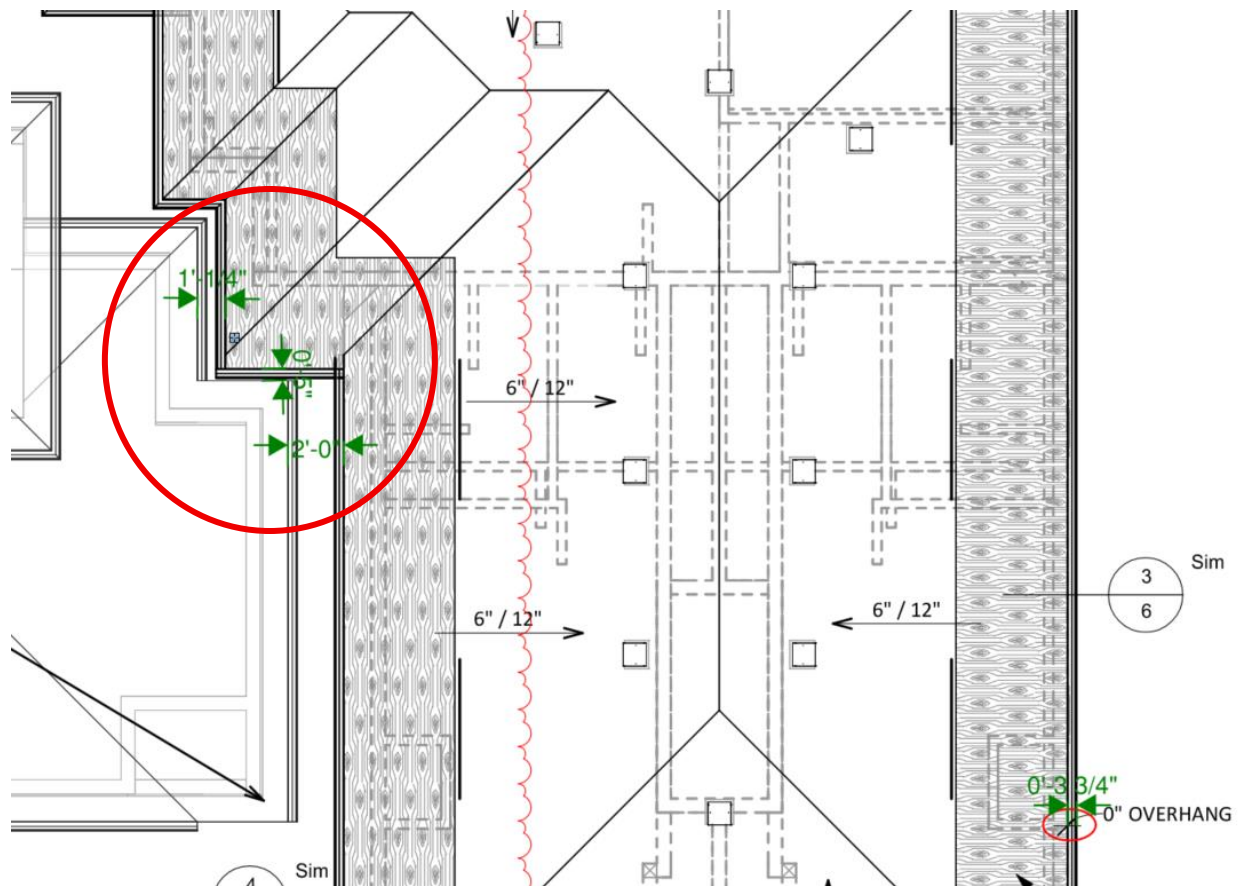
codes in OCMC Chapters 8 and 9, as administered by Code Enforcement and Oregon City police through specific incident complaints.

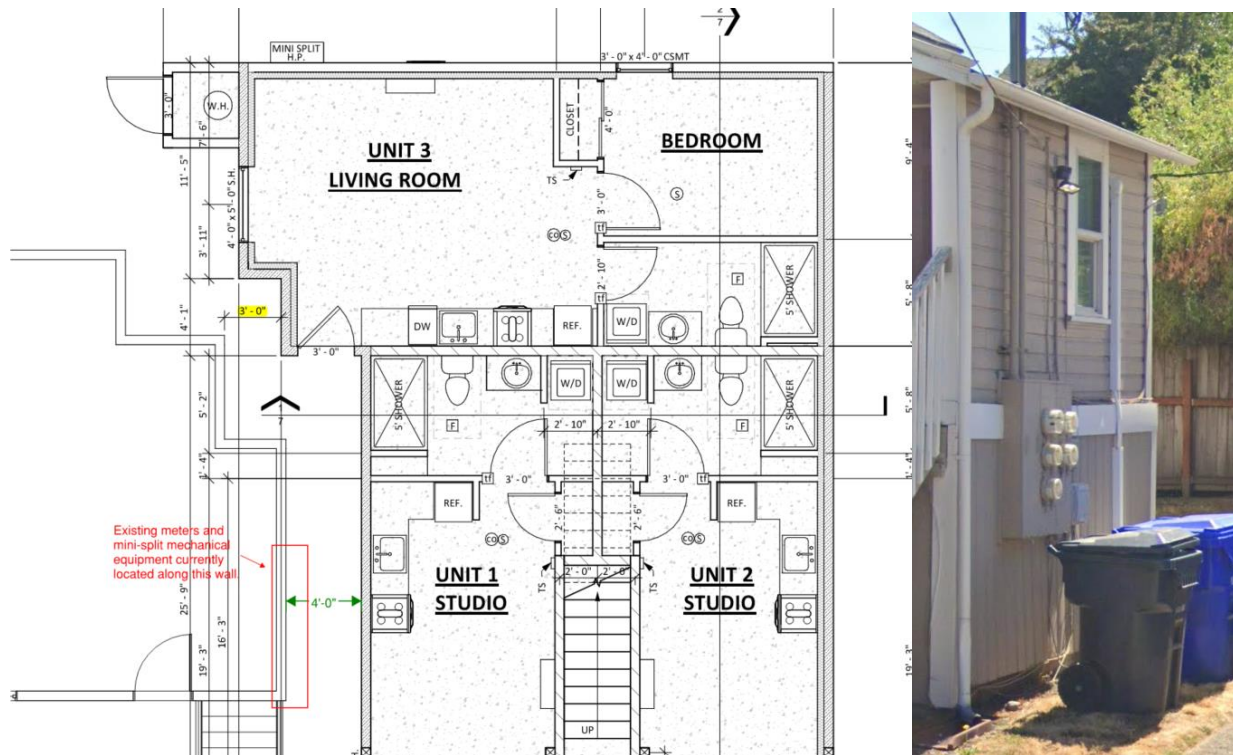
5. Concerns that the height of the new 6-unit multifamily structure are nearly taller than the Sarah Hughes House itself, and the visual disruption this causes to the historic homes in the area.

Staff Response: The Historic Review Board shall consider questions of building height, massing, and other dimensional considerations as they pertain to impacts on the existing historic landmark the new building would share its property and amenities with, neighboring landmarks, the integrity of the McLoughlin Conservation District in general, and adherence to the Historic Review Board Design Guidelines for New Construction, under OCMC 17.40.060.G.

Planning Staff is seeking direction from the Historic Review Board on the questions of the proposed new building's proximity to the existing landmark, and the Board may consider height and massing in their assessment of compatibility or adverse impact on the landmark, neighboring landmarks, and the district.

Additional comments submitted by Guy Altman, Plans Examiner for the Building Division (on file) on November 14, 2025, are summarized as follows:



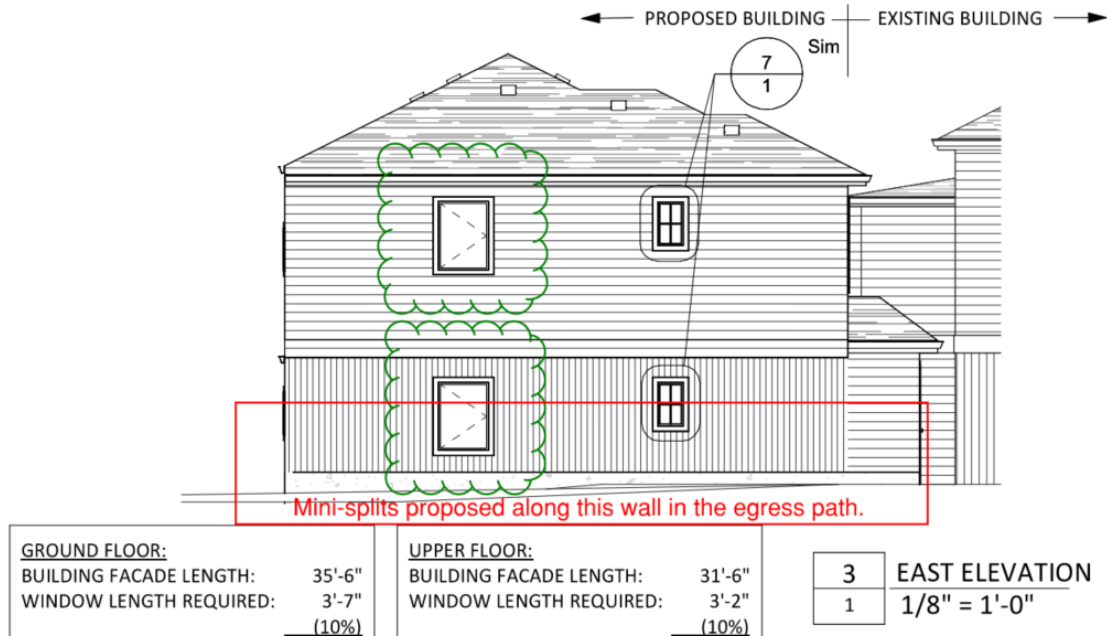


Site plan showing the proposed space between buildings (L), and a photo of the existing window®, meters, and heat pump ductwork on the southwest side of the Sarah Hughes House, which would all need to be removed to provide a fire wall between the two structures to meet building code.

1. The proximity of the 2 buildings and the egress space between them leads to **Issue 1** of the Building Division’s comments. The current proposal shows the new and existing landmark structures’ roofs as little as 5 inches apart and 12-24 inches apart for most of the length of both buildings. The wall separation between the buildings ranges from 3 feet in some areas (highlighted above) and 4 feet for much of the applicable length.

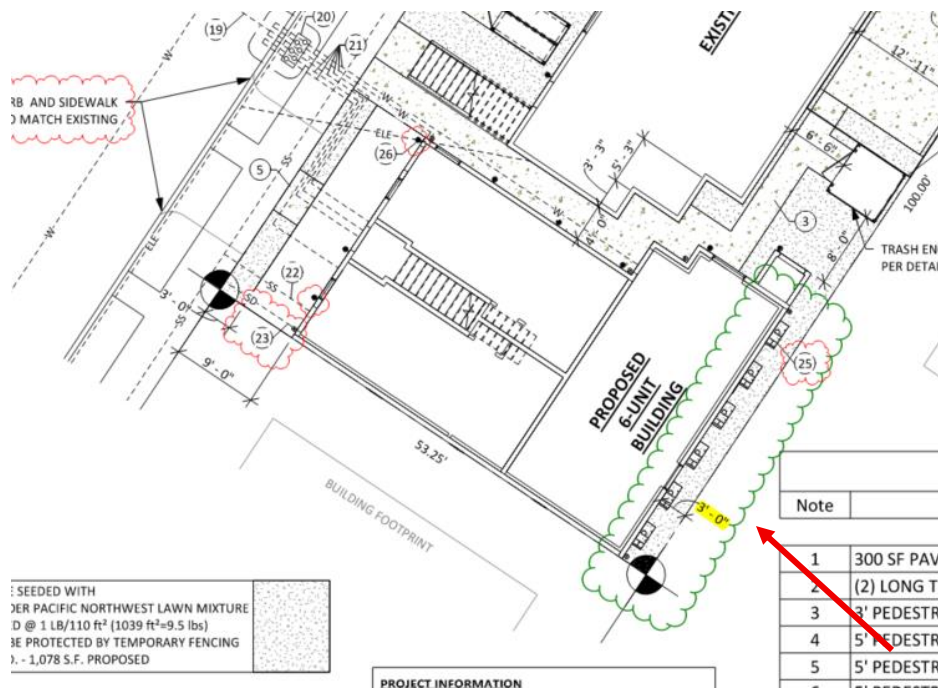
Because of this, building code requires the new structure and the existing landmark have fire-rated walls and roofs. **This means that the existing landmark would need to have its southwestern-facing window removed and replaced with a fire-rated wall**, with no apertures for the existing meters and mini-split mechanical equipment along that same wall.

2. The southeastern wall of the new building is only set back 3 feet from the property line, and thus the egress windows in the bedrooms and the openings for the mini-splits would not be permitted this close to the property line in a fire wall unless the sprinkler system is upgraded (**Issue 2** of the building comments).



Southeastern elevation showing egress windows for the bedrooms of units 3 and 6, which may need to be removed if the wall remains 3 feet from the property line.

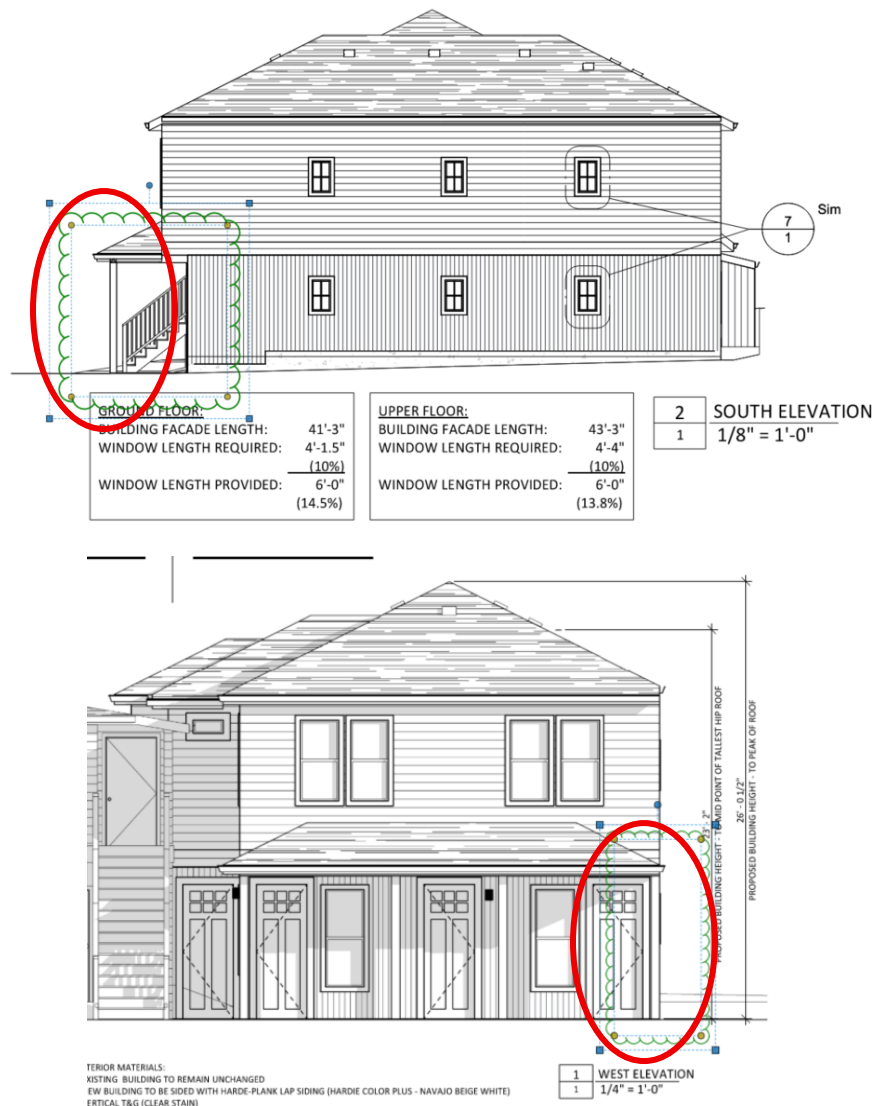
For the building to be positioned in such a way on the site, the egress windows in the bedrooms on Units 3 and 6 would need to be removed altogether. Otherwise, plans would need to be updated to show the entire wall either moved sufficiently further from the property line to create the required fire separation, or that the building will use a sprinkler system sufficient to permit windows and mini-split apertures in their proposed locations.



Site plan showing the location of the proposed heat pump/mini-splits located in the 3-foot setback and egress area for the bedroom egress windows above.

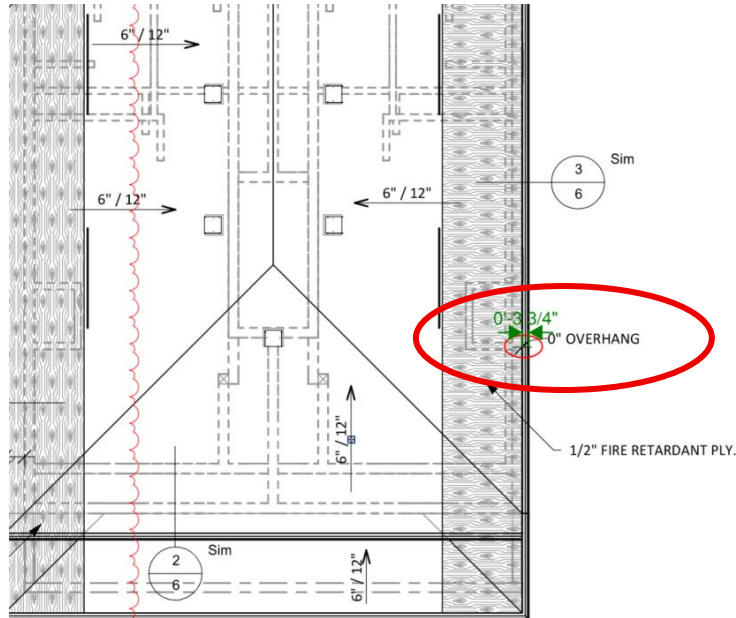
- Relatedly, the mini-splits proposed in the 3-foot building setback from the southeastern property line creates egress issues as the egress windows for the units along this wall (if retained, see Issue 2) require an unobstructed 3 foot-wide egress path that'd be obstructed by mini-split mechanicals.

Removal of the mini-splits to the southwestern wall of the building would encroach on the neighboring property since the wall is proposed at the property line. Moving the mini-splits to the area between the two buildings would also obstruct egress areas, since the buildings are already 3-4 feet apart. See **Issue 3** of the building department comments.

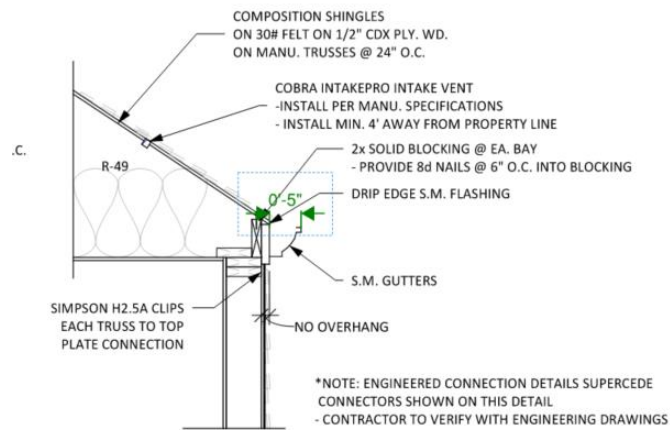


Right side (southwest) and front (northwest) elevations showing the proposed location of the porch post at the 0 lot line, which would need to be removed or joined to a fire wall extending from the structure to meet building code.

4. The porch post supporting the roof on the southwestern edge of the property constitutes an opening in the wall and would need to be addressed. This may require a redesign that changes the front façade of the new structure, whether through the extension of the fire wall to the post, movement of the post more than 3 feet inside the property line, or an adequate sprinkler solution that could be visible from the street façade. This is explained in **Issue 4** of the building comments.



Roof plan showing 3.75 to 5 inches of gutter encroachment over the neighboring property line beyond the “No Overhang” situation.



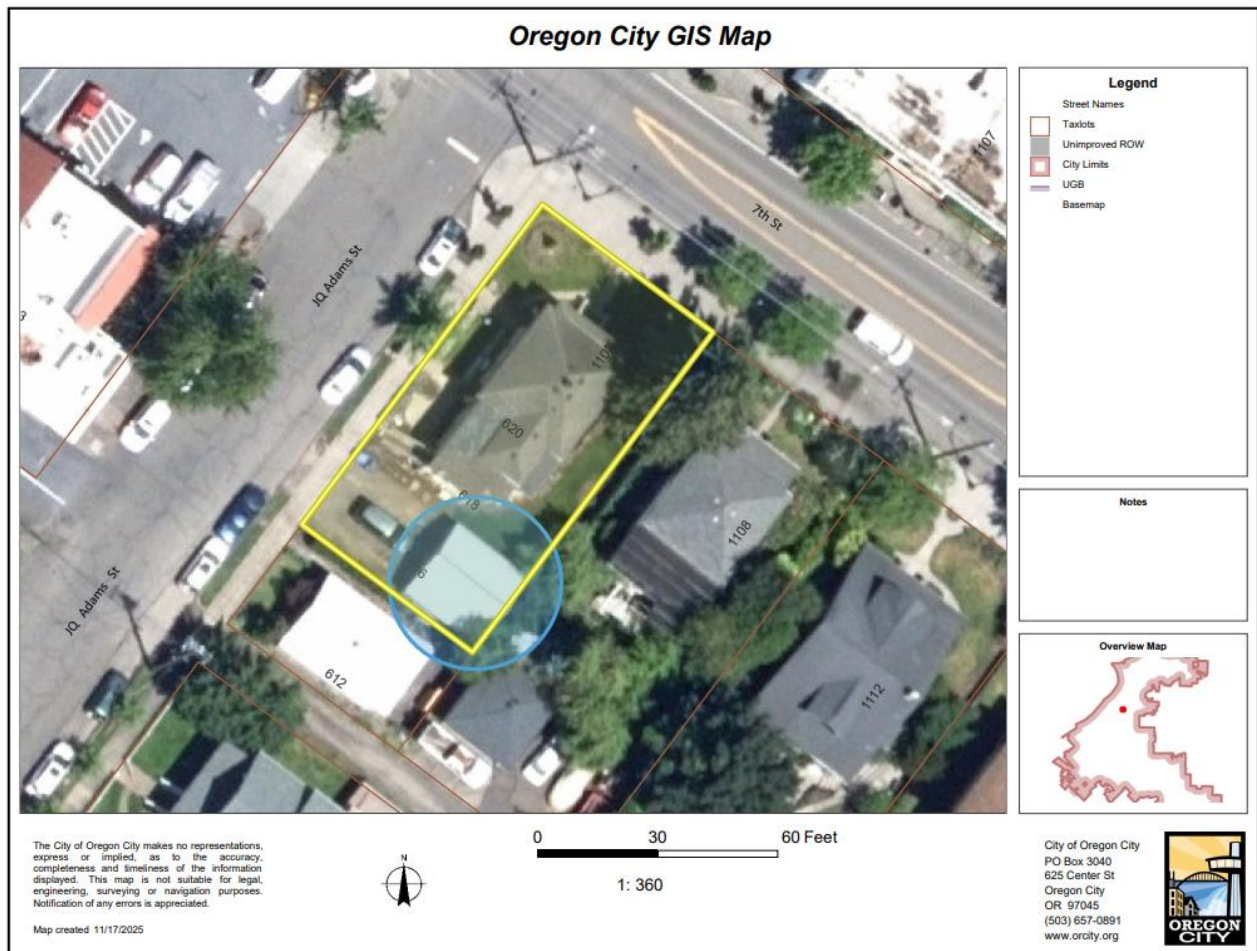
TRUSS DETAIL (W/ COBRA	
3	INTAKEPRO INTAKE VENT)
6	3/4" = 1'-0"

Plan detail showing a 5-inch gutter projecting beyond the “No Overhang” line, and therefore across the lot line shared with 612 JQ Adams Street

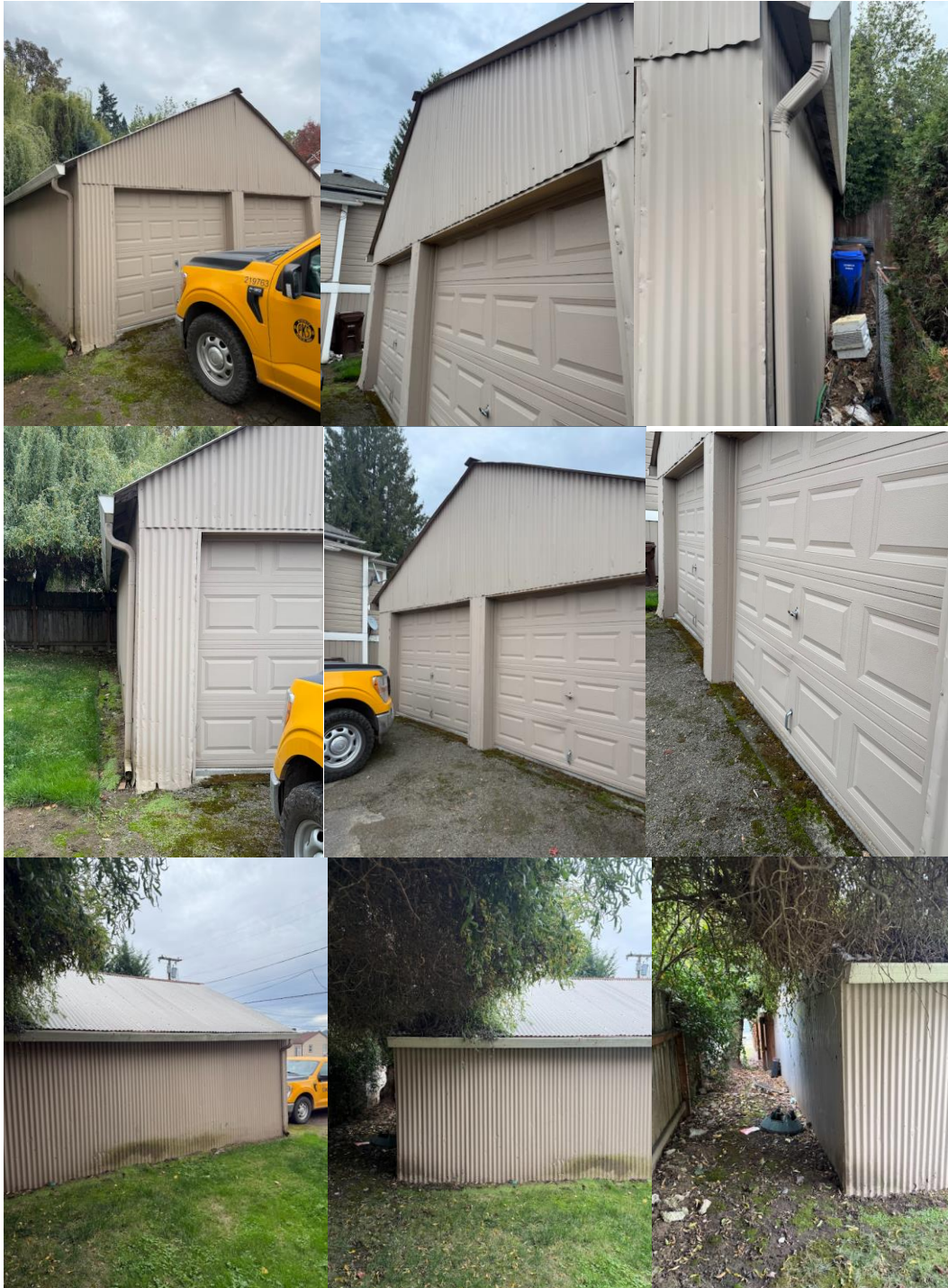
4. Acceptable extent to which windows on the landmark structure may be removed to resolve fire wall concerns.
5. Acceptable extent to which windows on the new structure's elevations may be removed to resolve fire and egress concerns.
6. Acceptable extent to which eave depths may be reduced on the proposed new structure to accommodate fire separation concerns.
7. Circumstances – if any – under which the location of mechanical equipment on street-facing facades would be acceptable.
8. Preferences on extending the southwestern wall, moving the porch post, or some other solution to resolve fire separation questions.
9. Any additional priorities the Historic Review Board may wish to express concerning other details of the current proposal.

Any additional public comments received between the HRB agenda posting date and the hearing date will be presented at the public hearing on November 25th.

Demolition Proposal (HR-25-00013)

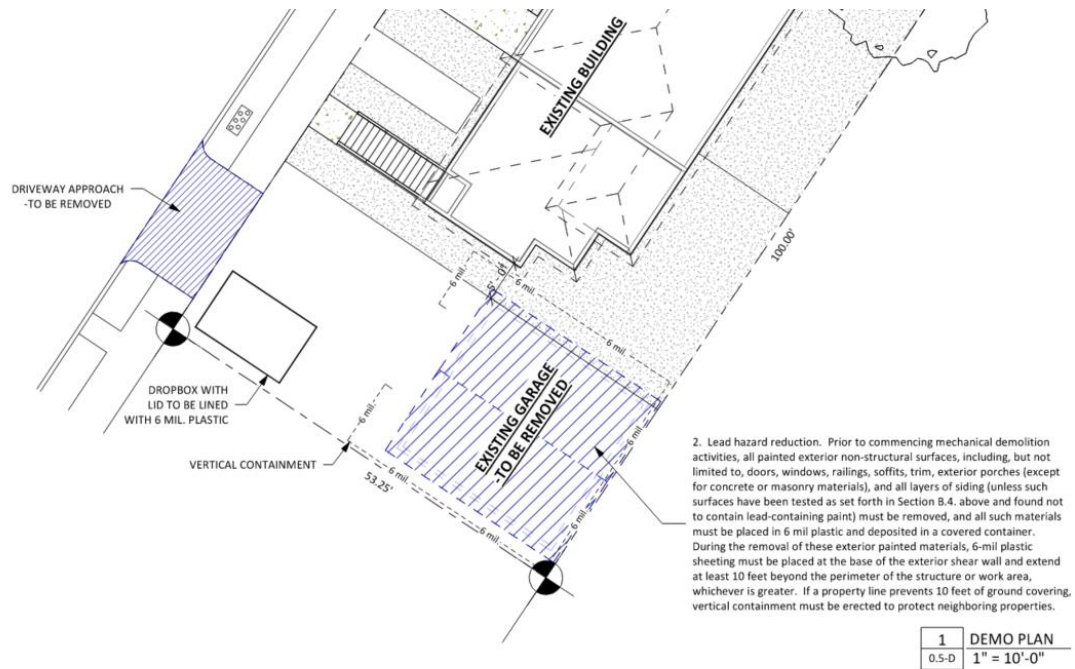


Aerial View of the layout of structure that's proposed to be demolished inside the circle.



Views of the accessory structure to be demolished, showing non-conforming corrugated metal siding with no corner moldings or lower-level masonry. Areas of the structure are corroded, as well. The applicant states that this structure does not match the design of the Sarah Hughes House, and proposes its demolition to replace it with a multifamily development that is compatible with the historic landmark.

In the applicant’s historic review demolition response, the applicant noted that the existing 462 square foot 2-car garage does not meet historic design guidelines and is proposed to be demolished along with the driveway leading to it. The driveway apron is to be removed, as well.



Demolition Site Plan submitted by the applicant

FINDINGS:

Demolition

17.40.070 - Demolition and moving.

A. *If an application is made for a building or moving permit to demolish or move all or part of a structure which is a landmark or which is located in a conservation district or an historic district, the building inspector shall, within seven days, transmit to the historic review board a copy of the transaction.*

Finding: Applicable. The existing garage proposed to be demolished is on the site of the Sarah Hughes House, a designated landmark, but was not identified in the inventory as a significant or contributing element to the resource on the property. The applicant has not submitted building demolition permit applications for this structure yet.

B. *The Historic Review Board shall hold a public hearing within forty-five days of application pursuant to the procedures in [Chapter 17.50](#).*

Finding: Complies as proposed. This application for demolition; in conjunction for construction of a replacement structure was submitted in complete form on November 3, 2025 and is subject to for Historic Review Board consideration at the public hearing on November 25, 2025 – within the required 45-day timeframe.

C. *In determining the appropriateness of the demolition or moving as proposed in an application for a building or moving permit, the board shall consider the following:*

1. *All plans, drawings and photographs as may be submitted by the applicant;*

Finding: Complies as proposed. The applicant has submitted plans, drawings, and photographs referring to the existing building.

2. *Information presented to a public hearing held concerning the proposed work;*

Finding: Complies as proposed. The submitted information is being presented in a public hearing before the Historic Review Board on November 25, 2025.

3. *The city comprehensive plan;*

Finding: Complies as proposed. The proposed demolition of the existing non-contributing accessory structure, in its deteriorating and non-conforming state, a structure which was built decades after the landmark, can be approved in accordance with Oregon City 2040 Comprehensive Plan Policy 2.3 and Strategy 2.3.C, which state the following:

POLICY 2.3: *Facilitate historic preservation programs for retention of federal, state, and locally designated historic districts and sites.*

STRATEGY 2.3.C: *Encourage property owners to preserve historic structures in a state as close to their original construction as possible while allowing the structure to be used in an economically viable manner.*

The proposed demolition allows for the construction of a new, safe, structurally sound, and landmark-compatible structure that would allow the site to be used in a more economically viable manner, particularly in accordance with the high-density multifamily uses permitted in the property's Mixed Use Corridor (MUC-1) zoning.

4. *The purpose of this section as set forth in [Section 17.40.010](#);*

Finding: Complies as proposed. Demolition of the existing accessory structure, which is in a deteriorating state and was constructed out of incompatible and nonconforming materials, so that additional needed housing can be constructed onsite according to its zoning designation, will help promote the public welfare and safety and stabilize and improve property values.

5. *The criteria used in the original designation of the landmark or district in which the property under consideration is situated;*

Finding: Complies as proposed. The existing accessory structure was not identified as a contributing component to the criteria used in the original designation of the landmark. Its deteriorated state may, in fact, detract from the elements of the Sarah Hughes House if the accessory structure were to remain in place.

6. *The historical and architectural style, the general design, arrangement, materials of the structure in question or its fixtures; the relationship of such features to similar features of the other buildings within the district and the position of the building or structure in relation to public rights-of-way and to other buildings and structures in the area;*

Finding: Complies as proposed. The existing accessory structure contains no Queen Anne vernacular elements, but is instead made of corrugated metal siding and vinyl garage doors. This structure was not identified as a contributing element to the Sarah Hughes House, and its deteriorated condition favor its demolition.

7. *The effects of the proposed work upon the protection, enhancement, perpetuation and use of the district, which cause it to possess a special character or special historic or aesthetic interest or value;*

Finding: Applicable. The accessory structure contrasts sharply in style against the landmark on which it shares property, as well as adjacent landmarks, due to its corrugated metal siding, generic vinyl doors, lack of enhancing trim or windows, or any other elements that might provide the district a special historic character, aesthetic interest, or value.

8. *Whether denial of the permit will involve substantial hardship to the applicant, and whether issuance of the permit would act to the substantial detriment of the public welfare and would be contrary to the intent and purposes of this section;*

Finding: Applicable. Denying the demolition application will involve substantial hardship to the applicant, who wishes to replace the structure with a better and higher multifamily use in a zone that specifically permits multifamily uses.

9. *The economic, social, environmental and energy consequences.*

Finding: Applicable. Replacing a deteriorating accessory structure with a new, compatible multifamily structure built to current codes, is likely to create positive economic, social, environmental, and energy consequences for the landmark and the community at large.

D. *The failure of the applicant to provide the information required by Subsection C.1.—9. shall be grounds for deeming the application incomplete.*

Finding: Not Applicable. The applicant has provided information sufficient to satisfy the requirements of subsection C.1-9.

E. *The board may approve or deny the demolition or moving request after considering the criteria contained in Section 17.40.070C. Action by the board approving or denying the issuance of a permit for demolition or moving may be appealed to the city commission by any aggrieved party, by filing a notice of appeal, in the same manner as provided in Section 17.50 for appeals. If no appeal of a demolition permit is filed, the building official shall issue the permit in compliance with all other codes and ordinances of the city.*

Finding: Applicable. The applicant acknowledges the authority of the Board and understands the appeal process regarding the demolition.

F. *In any case where the City Commission has ordered the removal or demolition of any structure determined to be dangerous to life, health or property, nothing contained in this title shall be*

construed as making it unlawful for any person, without prior approval of the historic review board, pursuant to this title, to comply with such order.

Finding: Not applicable. The City commission has not ordered the removal or demolition of this structure at this time.

New Construction Proposal (HR-25-00014)

17.40.60 - Exterior alteration and new construction.

A. Except as provided pursuant to subsection I of this section, no person shall alter any historic site in such a manner as to affect its exterior appearance, nor shall there be any new construction in an historic district, conservation district, historic corridor, or on a landmark site, unless a certificate of appropriateness has previously been issued by the historic review board. Any building addition that is thirty percent or more in area of the historic building (be it individual or cumulative) shall be considered new construction in a district. Further, no major public improvements shall be made in the district unless approved by the board and given a certificate of appropriateness.

Finding: Applicable. The proposal is being reviewed by the Historic Review Board.

B. Application for such a certificate shall be made to the planning staff and shall be referred to the historic review board. The application shall be in such form and detail as the board prescribes.

Finding: Complies as Proposed. The applicant submitted the required materials.

C. Archeological Monitoring Recommendation. For all projects that will involve ground disturbance, the applicant shall provide,

1. A letter or email from the Oregon State Historic Preservation Office Archaeological Division indicating the level of recommended archeological monitoring on-site, or demonstrate that the applicant had notified the Oregon State Historic Preservation Office and that the Oregon State Historic Preservation Office had not commented within forty-five days of notification by the applicant; and

2. A letter or email from the applicable tribal cultural resource representative of the Confederated Tribes of the Grand Ronde, Confederated Tribes of the Siletz, Confederated Tribes of the Umatilla, Confederated Tribes of the Warm Springs and the Confederated Tribes of the Yakama Nation indicating the level of recommended archeological monitoring on-site, or demonstrate that the applicant had notified the applicable tribal cultural resource representative and that the applicable tribal cultural resource representative had not commented within forty-five days of notification by the applicant.

If, after forty-five days notice from the applicant, the Oregon State Historic Preservation Office or the applicable tribal cultural resource representative fails to provide comment, the city will not require the letter or email as part of the completeness review. For the purpose of this section, ground disturbance is defined as the movement of native soils.

Finding: Complies as Proposed. The required notice was submitted after a Pre-Application Conference (PA-23-00039) for the initial application. Any comments received in response to this notice were forwarded to the applicant.

D. The historic review board, after notice and public hearing held pursuant to Chapter 17.50, shall approve the issuance, approve the issuance with conditions or disapprove issuance of the certificate of appropriateness.

Finding: Applicable. The proposal is being reviewed by the Historic Review Board.

E. The following exterior alterations to historic sites may be subject to administrative approval:

1. Work that conforms to the adopted Historic Review Board Policies.

Finding: Not Applicable. The proposal is not subject to administrative approval.

G. For construction of new structures in an historic or conservation district, or on an historic site, the criteria to be used by the board in reaching its decision on the certificate of appropriateness shall include the following:

1. The purpose of the historic conservation district as set forth in Section 17.40.010;

Finding: Complies as proposed. Adding a new compatible multifamily building will increase needed housing and will stabilize and improve property values on the subject site.

2. The provisions of the city comprehensive plan;

POLICY 2.3 Facilitate historic preservation programs for retention of federal, state, and locally designated historic districts and sites.

STRATEGY 2.3.C Encourage property owners to preserve historic structures in a state as close to their original construction as possible while allowing the structure to be used in an economically viable manner.

Finding: Complies as proposed. Adding a new compatible multifamily building will increase needed housing where multifamily housing is permitted according to the zoning code, and is likely to assist in the property being used in an economically viable manner.

3. The economic effect of the new proposed structure on the historic value of the district or historic site;

Finding: Applicable. Adding a new compatible multifamily building will increase needed housing where multifamily housing is permitted according to the zoning code, and is likely to improve the economic viability of preserving the Sarah Hughes House due to an expected positive effect on property values and revenue generated to the property owner by the additional development.

4. The effect of the proposed new structure on the historic value of the district or historic site;

Finding: HRB direction requested. As noted in the Public Comments section above, significant modifications to the proposal are necessary in order to meet building code requirements. The applicant, in pursuit of solutions to those requirements, has not submitted an alternative plan that

demonstrates the new structure's effect on the historic value of the district or the Sarah Hughes House itself. Staff seeks direction from the HRB on how the applicant might cater that plan to building requirements in light of HRB priorities.

5. *The general compatibility of the exterior design, arrangement, proportion, detail, scale, color, texture and materials proposed to be used in the construction of the new building or structure;*

Finding: Applicable. As noted in the Public Comments section above, significant modifications to the proposal are necessary in order to meet building code requirements. The applicant, in pursuit of solutions to those requirements, has not submitted an alternative plan that demonstrates the new structure's effect on the historic value of the district or the Sarah Hughes House itself. Staff seeks direction from the HRB on how the applicant might cater that plan to building requirements in light of HRB priorities, to demonstrate compatibility with the landmark and district.

6. *Economic, social, environmental and energy consequences;*

Finding: Applicable. The proposed structure would provide needed housing in an area designated for increased density through the zoning code, would support nearby businesses within an easy walk, be easily accessible by bus, and be required to meet open space standards through the Site Plan & Design Review code in a subsequent review.

7. *Design guidelines adopted by the historic review board.*

The following design guidelines are applicable to this project:

Design Guidelines for New Construction – McLoughlin Commercial

1. STYLE

Determining the appropriate style for a new infill project is an important initial step in the design process. Each historic district has different styles that were prevalent during the historic period of significance. These styles are what create the historic context. New construction shall complement one of these styles to support the historic context. Use of other styles dilutes and distracts from the historic context of the district. While there may be several styles dominant within the district, the specific choice of a style shall be compatible with adjacent properties, the block, and the neighborhood. It also must be fitting for the particular function of the building and its size.

Outside of the Seventh Street Commercial Corridor, commercial uses shall employ a residential style architecture to better integrate into the neighborhood fabric. The larger residential styles, such as Queen Anne, Vernacular [single buildings or grouped], and Foursquare, are appropriate. They create a suitable transition to adjacent residential areas and can be built relatively close together to achieve appropriate density. These styles could be utilized for any uses: retail, office or multifamily residential. The carriage building on High Street is an existing residential style structure used for commercial purposes.

Finding: Complies as proposed. The proposed new structure adheres to the basic residential design principles of Queen Anne, Vernacular, and Foursquare styles, of the adjacent landmarks, would be built close to the Sarah Hughes House, as a multifamily residential use with a hip roof, full-width one-story covered porch, and 2 pairs of double-hung windows. The applicant has

modified the design to better comply with the advice they received from the Historic Review Board in the May 2023 meeting.

2. SITE

Siting principles involve both how the site is used and how the building(s) is placed within the site. The specific lot location and its topography can dictate many requirements.

Commercial buildings are to face the street squarely with their primary face and display areas in full view, to engage the pedestrian, and to be set back only slightly, if at all from the front and side lot lines. Small courtyard area may be appropriate for multifamily and certain commercial uses. Vehicle access to be on the less visible sides or rear.

SITE CHARACTERISTICS OF MCLOUGHLIN COMMERCIAL BUILDINGS

- *Rectangular footprint that largely fills the width of the lot.*
- *Oriented to street for access, and display. No or small setback from the sidewalk along street; may not extend all way to rear lot line.*
- *Small front or side setback is appropriate for residential uses.*
- *Central or individual ground floor customer-tenant entries. Grouped residential entry to lobby or foyer. Separate service entries.*
- *Vehicle access and storage at side or rear; may be hidden under the building.*
- *Landscape: small plantings if there are setbacks; otherwise street trees. Upper story gardens visible from the sidewalk were not used in the historic period and are discouraged.*

Finding: Staff seeks direction from the Historic Review Board as to how the new multi-family structure, with its small courtyard, rectangular footprint filling the depth of the lot, oriented to JQ Adams Street on this corner lot, with small setbacks, separate entries, and the proposed landscaping can best be tailored to meet building codes fire separation and position the new structure so that it does not adversely impact the existing landmark.

3. BUILDING FORM

Address the overall size, shape and bulk of the building. The architectural style used for the building defines many aspects of its appropriate form and proportions. Excessive variation in the size, shape, or configuration creates an inappropriate solution that is stylistically incorrect and not complementary to the district. The building form needs to relate to the buildings in the immediate neighborhood, and to take into account both similarities and changes on the block. The new building form shall reference the principles, proportions and scale of an historically appropriate style. Existing commercial historic buildings are now less numerous in the districts. Acceptable styles will produce new infill form based on historic character qualities of the original buildings and those found in other similar districts. This new development will then successfully relate to adjacent residential neighborhoods. The appropriate style and form of the new buildings depends upon the site and neighboring, or transitioning context.

BUILDING FORM CHARACTERISTICS OF MCLOUGHLIN COMMERCIAL BUILDINGS

- *Building form and footprint primarily rectangular, possible rectangular additions or wings; possible interior light court, courtyard or areaway.*
- *Massing: A simple rectangular primary form encompassing the primary and visible facades. a parapet or false front that provides the height boundary of the building and hides the view of the roof. Single story with retail or service use; Two or three story with single or mixed use. Basement option*
- *Ground floor typically has high ceilings; retail use with office or residential use above.*
- *Height: Main level close to grade. Single story buildings: minimum 16 foot high parapet. First to Second floor height to be at least 12 feet unless for multi-family use, then may be 10 feet. Upper floor to floor heights at least 10 feet. Maximum Height: Per City code*
- *Height for Commercial Buildings using a Residential Style: First to Second floor height to be at least 10 feet. Main Floor Level Height Above Grade: 2½ feet minimum. Eave Height: 28 feet maximum. Ridge Height maximum: 40 feet.*
- *Residential styles, including Queen Anne, or Foursquare, are encouraged on Seventh above John Q Adams and on Center and High, and where facing or adjoining residential zoning. Alternatively, the use(s) may be embodied in a grouping of smaller buildings.*
- *Full width one or two story porches at front (accessed by interior stair), or rear are appropriate for residential.*
- *Grade level or depressed parking if accessed from rear or rear end of side and generally concealed from sidewalk by building wall, provided commercial or residential use is located along primary street.*

Finding: Complies as proposed. The proposed new multifamily building employs a largely rectangular building footprint, simple rectangular primary form, with a main level close to grade, eave heights within requirements, of foursquare design, with a full width one-story porch accessed by interior stair.

4. DESIGN COMPOSITION

Include a range of more detailed design issues that address groups of elements, individual elements, their design and how they relate to the overall composition and finish. The principles place a traditional emphasis on the design’s composition as seen from the exterior, rather than as a result of interior functional planning requirements. They also outwardly convey a sense of quality craftsmanship. The design composition principles, being more detailed, and stylistically dependent, are typically developed after the previous principles are resolved. These principles also reflect historically appropriate materials, respective finishes, and unobtrusive integration of new technology.

DESIGN COMPOSITION CHARACTERISTICS OF MCLOUGHLIN COMMERCIAL BUILDINGS

- *Mostly single or double store design to 100 feet in width. Wider than 100 feet requires style change.*
- *False front: covering front gable roof or just an extended wall; may have a parapet on each side (possibly not rear) hiding a low sloped roof.*
- *Streetcar Commercial: wood or masonry construction and finish; generous ground floor retail display with individual or grouped upper level double hung windows in an otherwise solid wall.*

- *Large ground floor storefront windows with short bulkhead wall below and very often with transom windows above; wood frames or appropriate metal. Trim at window/transom frame edges.*
- *Often recessed store entries; side entries typically not recessed. Separate entries for individual stores.*
- *Streetcar Multifamily: wood or masonry construction and finish. Less emphasis on retail display, but location of public and lobby areas adjoining the public way. Possible upper level window bays within the width and height of the primary or side façades. Possible entry projection.*
- *Upper Level Entry: typically a single shared entry with small lobby.*
- *Upper story wood framed windows designed as ‘punched’ openings in the otherwise solid wall, regularly spaced; individual, paired double hung design or triple units with fixed center and double hung side lights. Possible transom windows. Possible flat arch windows in masonry walls.*
- *Façade with modest, but defining cornice, possible belt cornice. Wood exteriors can support more detailing; masonry or plaster finished buildings with less detail and ornamentation; typically, no significant form projections or recesses except window bays or entries.*
- *Materials/Finish: cement plaster (stucco), brick, concrete with plaster over, horizontal board siding; fabric awnings, possible flat steel/wood building supported canopy.*

Finding: Complies as proposed. The proposed building has ground floor windows and wood frames. The entry for the upper-level units is a single shared entry with small lobby. The upper story has wood-framed, regularly spaced and paired single hung windows. Faux windows are used to meet building code requirements for amount of window openings required on the southwestern and southeastern walls. Vinyl windows in the existing building in the north façade on JQ Adams Street will be replaced with wood in response to a code violation.

PUBLIC NOTICE

A public notice was sent to neighbors within 300 feet of the subject property, posted online, emailed to various entities, and posted onsite in compliance with [OCMC 17.50.090](#) and [100](#).

CONCLUSIONS AND RECOMMENDATIONS

Based on the following findings, staff recommends that the Historic Review Board approve with conditions the proposed demolition of the accessory garage structure at 1102 7th Street under file number HR-25-00013, continue HR-25-00014 to the January 27, 2026 meeting, and provide direction to Staff and the Applicant on the extent to which the design attributes described above can change to accommodate the revisions necessary to meet building code requirements.

Exhibits

1. Applicant Submittal (On File)
2. Pre-Demolition Photos (On File)
3. New Construction Plans (On File)
4. Proposed Building Materials and Specification (On File)
5. Public Comments (On File)

Jude Thaddaeus

From: Trevor Tyree <t.tyree@amadeconstruct.com>
Sent: Monday, January 12, 2026 2:13 PM
To: Jude Thaddaeus
Cc: Wendy Polk; Tony Uzuegbunam; Kody Geertz
Subject: Fwd: Staff Report to be presented at the 11/25 HRB meeting

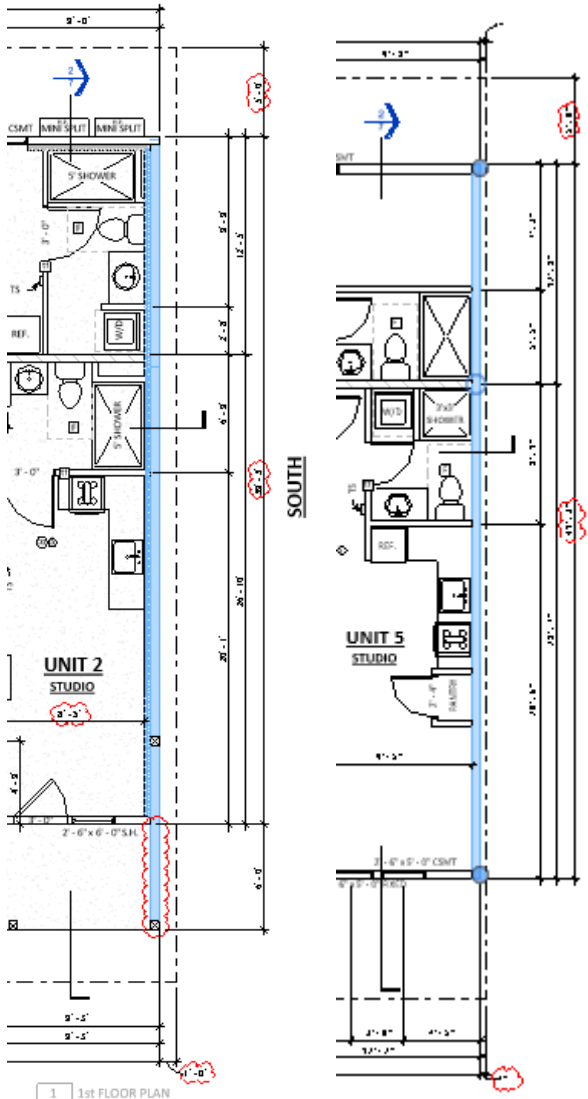
CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good afternoon Jude, here is the summary report you asked for regarding the changes.

Summary of changes below.

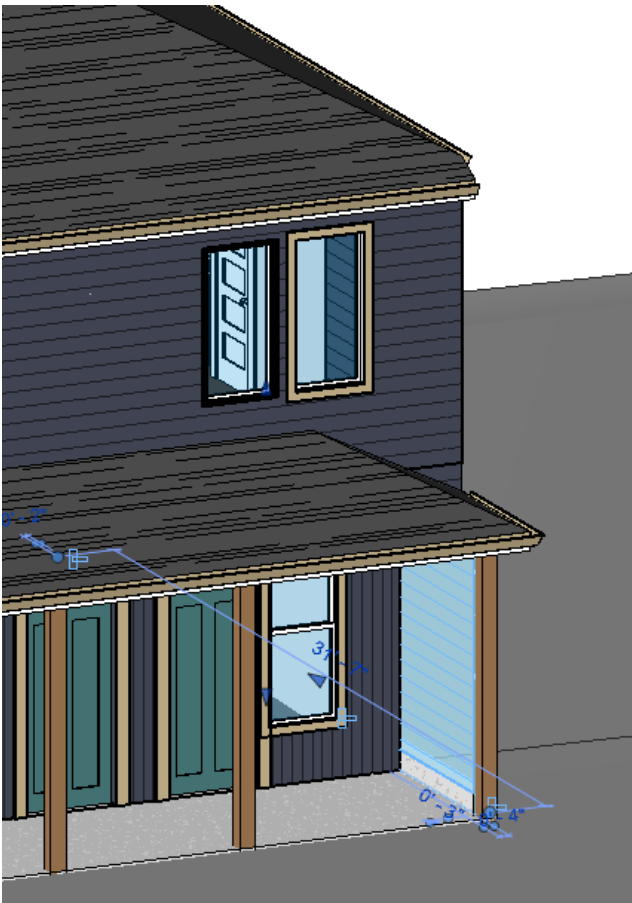
Issues 1 and 2 – South Wall:

The first floor has been set back 1 foot, and the second floor 4 inches to ensure that the foundation and gutter remain fully within the property line.



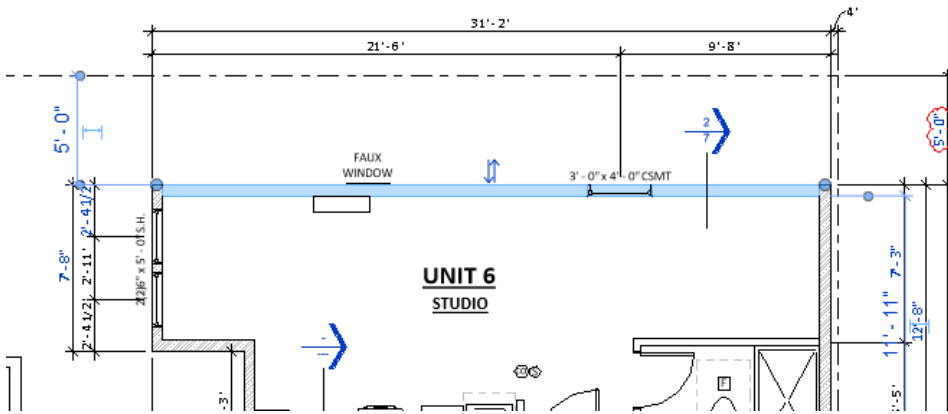
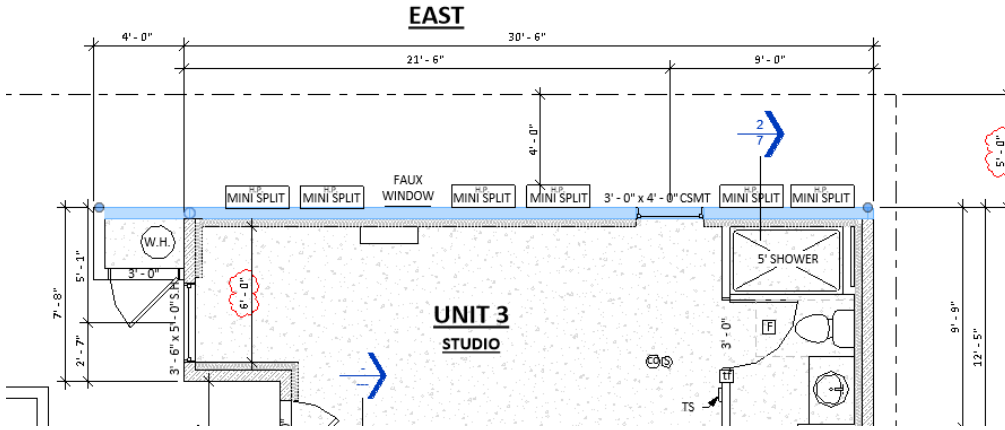
Issue 3 – South Wall:

The south side of the covered porch has been enclosed to eliminate the previously existing opening.



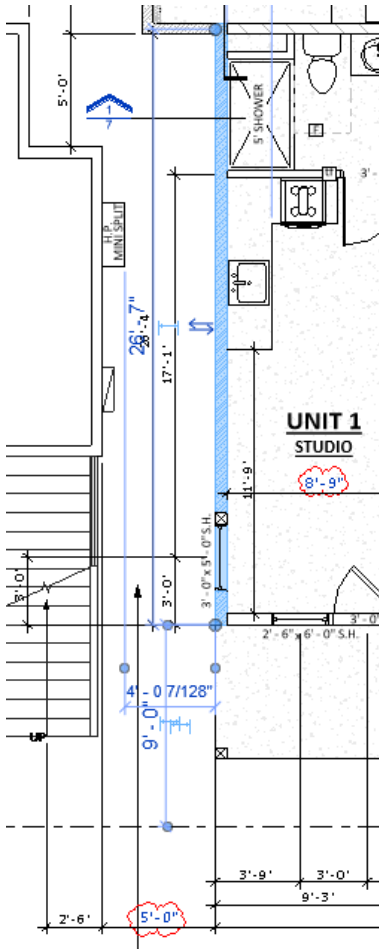
Issues 4 and 5 – East Wall:

The east wall has been shifted inward by 2 feet to provide adequate clearance for egress and to maintain the proposed openings and sprinkler protection requirements, as specified in Table 705.8.



Issue 6 – North Wall:

The north wall has been moved inward by 1 foot to maintain a minimum 5-foot separation from the existing building and to increase the distance between the proposed roofline and the adjacent landmark structure.



Thank you,

Kody Geertz

Builders Design, Inc.
 15 NE 3rd St,
 Gresham, OR 97030.
 Office : (503) 252-3453
 Cell : (503) 467-9011

From: Trevor Tyree <t.tyree@amadeconstruct.com>

Sent: Monday, January 12, 2026 12:54 PM

To: Kody Geertz <kody@buildersdesignpdx.com>

Cc: Astrid England <astridenglanddesigns@gmail.com>; Wendy Polk <w.polk@amadeconstruct.com>; Tony Uzuegbunam <tony@designsbythor.com>; Brandon Yoder <buildersdesign@gmail.com>

Subject: Fwd: Staff Report to be presented at the 11/25 HRB meeting

Good afternoon Kody, if you guys could provide a quick summary of how the changes comply with the boards review and comments that would be great.

Thank you

Trevor Tyree
American Made Construction
P.O. Box 30
Gladstone, OR 97027
T.Tyree@amadeconstruct.com
Work (503)344-7666
CCB# 236518

----- Forwarded message -----

From: **Jude Thaddaeus** <jthaddaeus@orcify.org>
Date: Mon, Jan 12, 2026 at 12:39 PM
Subject: RE: Staff Report to be presented at the 11/25 HRB meeting
To: Trevor Tyree <t.tyree@amadeconstruct.com>
CC: Wendy Polk <w.polk@amadeconstruct.com>, Tony Uzuegbunam <tony@designsbythor.com>

Hi Trevor,

Thanks for sending this! It goes a long way to getting us where we need to be.

Could you also write a short summary of how each of the changes you've made to the proposal comply with each of the directions you received from the Historic Review Board?

This will help the Board determine whether and how their concerns about the former version are addressed in this new version.

If you could get that to me by Thursday, I'd appreciate it.

Thanks,



**Jude
Thaddaeus**
(he/him)

Planner

Community
Development

jthaddaeus@orcity.org

City of Oregon City
[695 Warner Parrott Rd](#)
[Oregon City, OR 97045](#)
503-496-1540 Direct

503.722.3789 Office
www.orcity.org

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From: Trevor Tyree <t.tyree@amadeconstruct.com>

Sent: Friday, January 9, 2026 6:55 AM

To: Jude Thaddaeus <jthaddaeus@orcity.org>

Cc: Wendy Polk <w.polk@amadeconstruct.com>; Tony Uzuegbunam <tony@designsbythor.com>

Subject: Re: Staff Report to be presented at the 11/25 HRB meeting

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good morning, Jude

I've attached our most recent modifications to account for the requirements from the HRB. As of right now, this is the road we will be going for this project.

I am also working on some value engineering to upgrade the sprinkler system so we can increase the south rooms by a couple of feet, but so far it's not looking beneficial.

Trevor Tyree

American Made Construction

P.O. Box 30

Gladstone, OR 97027

T.Tyree@amadeconstruct.com

Work (503)344-7666

CCB# 236518

On Mon, Jan 5, 2026 at 3:04 PM Jude Thaddaeus <jthaddaeus@orcitey.org> wrote:

Hi folks,

I hope you all are having a happy new year so far!

I just wanted to check in concerning the status of your project and the next Historic Review Board meeting scheduled for 1/27/26.

During the previous meeting in November, you submitted some revised plans to my email. However, those plans were created prior to the meeting and don't take into account all of the directions from the Historic Review Board that evening.

Have you had a chance to review those directions and incorporate those changes to the project?

If so, please submit your new site plan, elevations, and other plans to me so that they can be included in the new staff report in time for the January 27 meeting. I'll want to be able to review them by 1/13 at the latest in order to have time to generate a new staff report with recommendations for the HRB to consider on 1/27.

Does that make sense? Let me know if you have any questions.

All the best,



**Jude
Thaddaeus**
(he/him)

Planner

Community
Development

jthaddaeus@orc.org

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public.*

From: Jude Thaddaeus
Sent: Monday, December 1, 2025 2:20 PM
To: 'Wendy Polk' <w.polk@amadeconstruct.com>; 'Trevor Tyree' <t.tyree@amadeconstruct.com>
Cc: 'Tony Uzuegbunam' <tony@designsbythor.com>
Subject: RE: Staff Report to be presented at the 11/25 HRB meeting

Good afternoon folks,

I hope each of you had a great holiday weekend.

I wanted to follow up on the meeting last Tuesday with the Historic Review Board. As you're aware, they approved HR-25-00013, which is the demolition of the accessory garage at 1102 7th St. I have attached the Notice of Decision for that file to this email, for your records.

They also voted to continue the review and hearing for HR-25-00014 to the next HRB Meeting on January 27, 2026. At that meeting, you confirmed verbally that you agree to extend the 120-day decision deadline by 30 days to April 3, 2026 to avoid issues in the event of an Appeal. I have attached the formal request form (2nd attachment).

Please complete it and send it back to me as soon as possible so we have it on file.

For reference, the Historic Review Board's direction to you on necessary revisions to HR-25-00014 were recorded in the public hearing, and you may refer to those directions [at this link](#). The specific directions start around the 1:35:00 mark and ends around the 1:47:00 mark.

Once you've updated your plans for the new structure in accordance with these directions, please send your revised site plan and elevations to me **ideally by January 13, 2026**.

Let me know if you have additional questions.

All the best,



**Jude
Thaddaeus**
(he/him)

Planner

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jthaddaeus@orcity.org

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From: Jude Thaddaeus
Sent: Wednesday, November 19, 2025 9:59 AM
To: Wendy Polk <w.polk@amadeconstruct.com>; Trevor Tyree <t.tyree@amadeconstruct.com>
Cc: Tony Uzuegbunam <tony@designsbythor.com>
Subject: Staff Report to be presented at the 11/25 HRB meeting

Hi folks,

I hope you're having a good week so far.

I have completed the Staff Report with recommendations for your project. It has been published to the HRB agenda for the 11/25 meeting and is attached here for your convenience.

Because we are recommending a continuance to the January 27, 2026 meeting, we are also requesting that your team extends the decision deadline for the project by 30 days to April 3, 2026. This will allow time for an appeal (if one is submitted) to be heard by the City Commission prior to the decision deadline.

This staff report will be presented to the Historic Review Board in the 11/25/2025 public hearing to take place at [1234 Linn Ave](#) at the Libke Public Safety Building beginning at 7:00pm. We recommend someone from your team attend the meeting so that the Historic Review Board can ask questions and gain any clarification they might need to render a decision.

Let us know if you have any questions.

All the best,



**Jude
Thaddaeus**
(he/him)

Planner

Community
Development

jthaddaeus@orccity.org

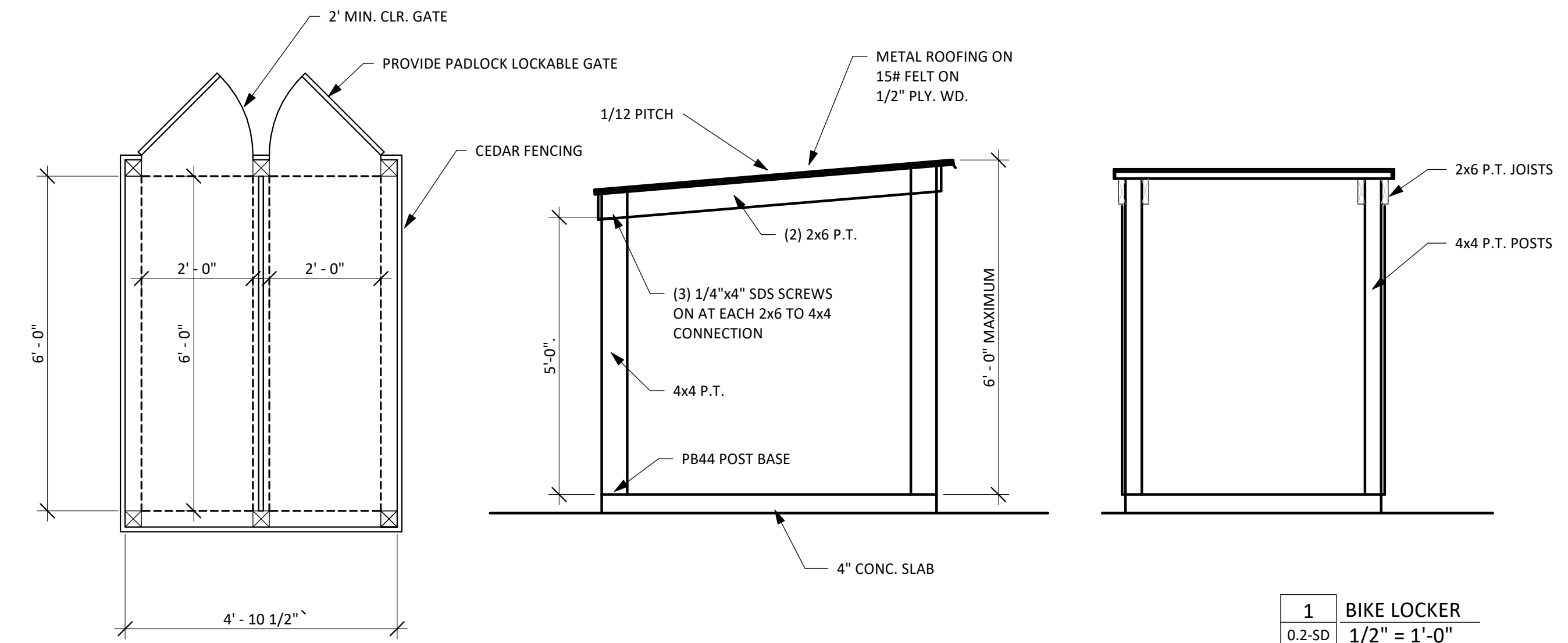
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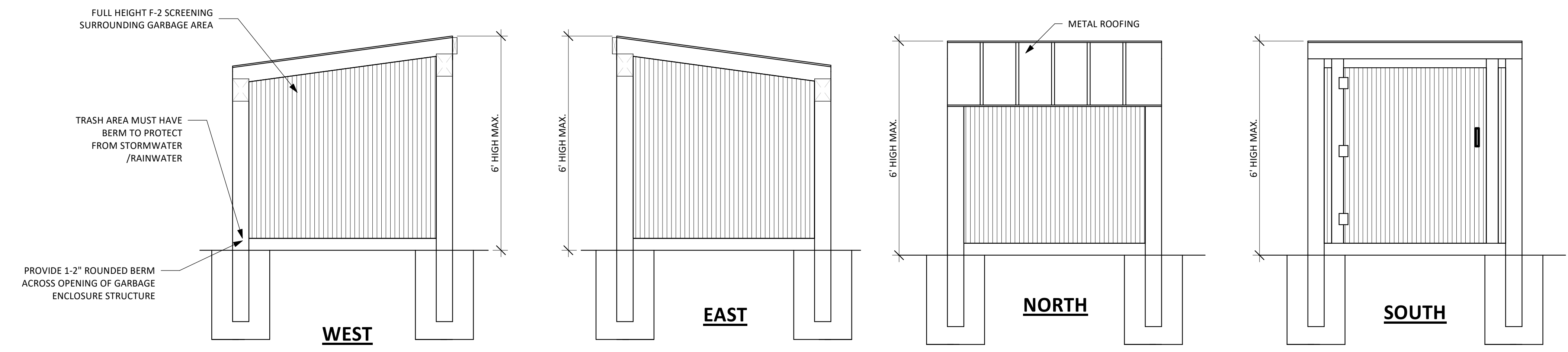
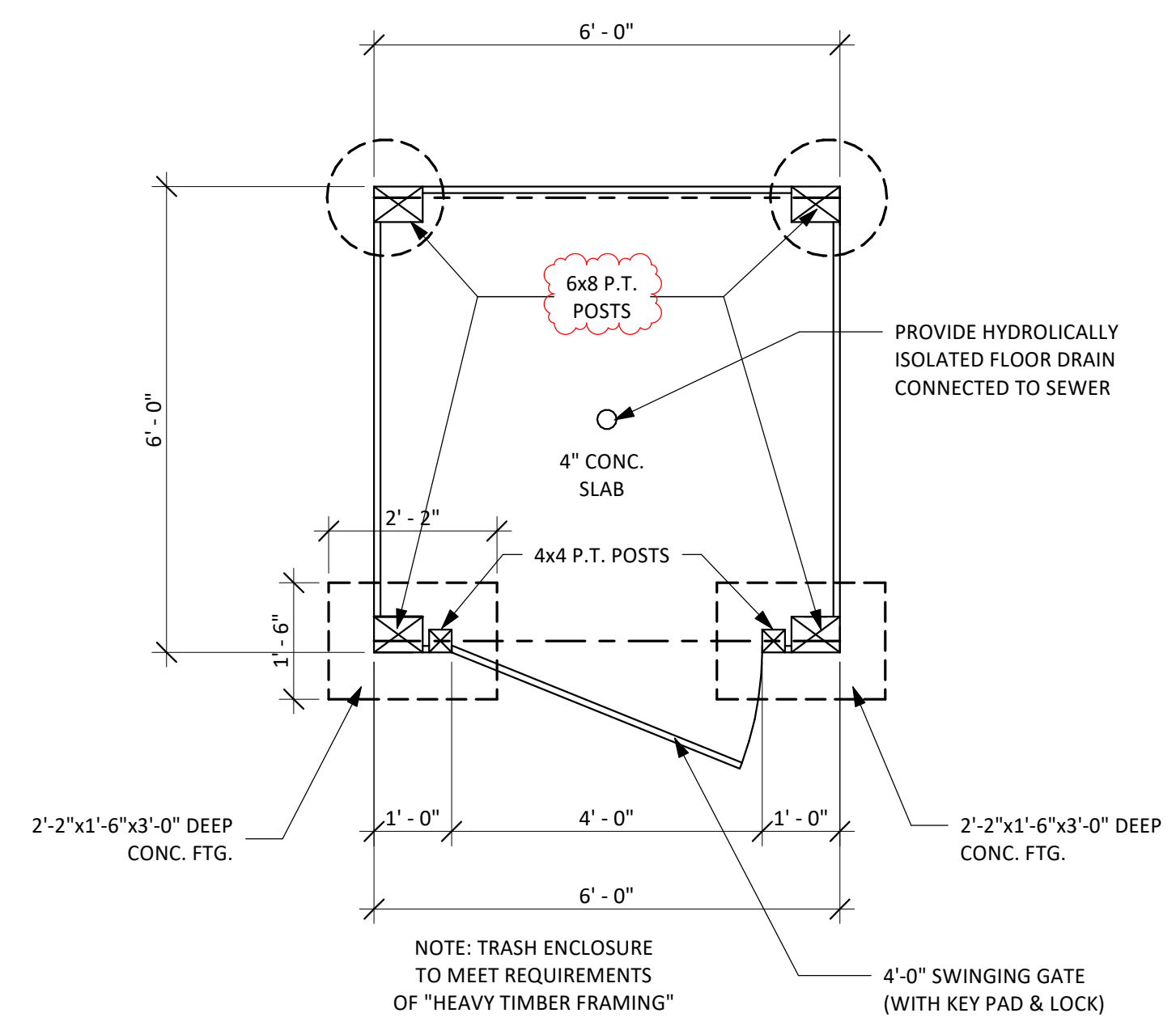
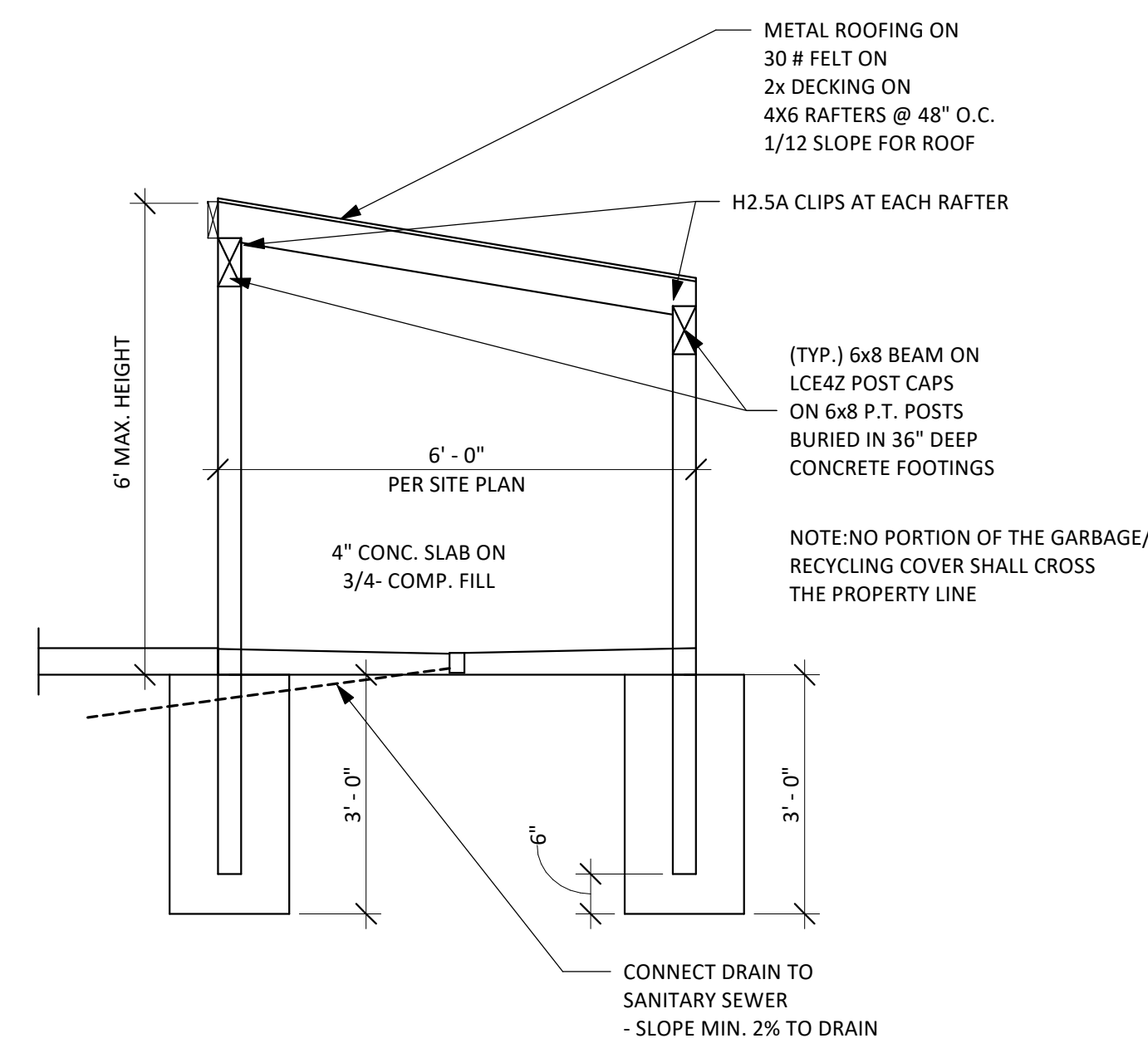
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1 BIKE LOCKER
0.2-SD 1/2" = 1'-0"



GARBAGE / RECYCLING DETAIL
2 (6'x6')
0.2-SD 1/2" = 1'-0"

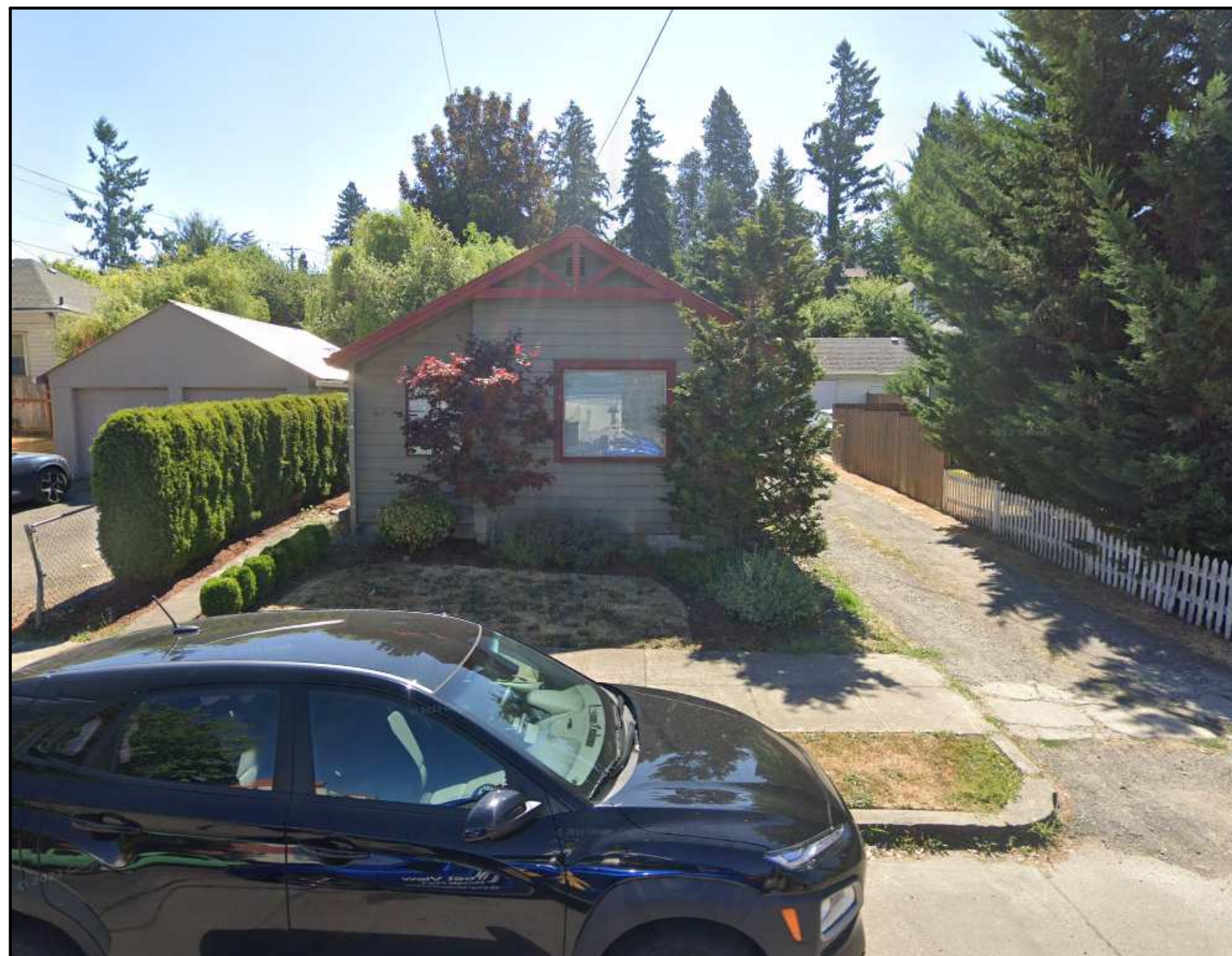
TONY UZUEGBUNAM
1102 7th St. Oregon City, OR 97045
SITE DETAILS

No.	Date	Issued by
2	11/17	

Project number: 13276
Date: 12/18/2025 7:43:27 AM
Drawn by: KG
Area:
Scale: 1/2" = 1'-0"

0.2-SD

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2 EXHIBIT 'A'
0.3-AB N.T.S.



3 EXHIBIT 'B'
0.3-AB N.T.S.



1 SITE MAP
0.3-AB N.T.S.



4 EXHIBIT 'C'
0.3-AB N.T.S.



5 EXHIBIT 'D'
0.3-AB N.T.S.



6 EXHIBIT 'E'
0.3-AB N.T.S.

TONY UZUEGBUNAM
 1102 7th St, Oregon City, OR 97045
ADJACENT BUILDINGS MAP

No.	Date	Issued by

Project number: 13276
 Date: 12/18/2025 7:43:28 AM
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 Area:
 Scale: N.T.S.

0.3-AB

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TONY UZUEGBUNAM
 1102 7th St. Oregon City, OR 97045

STREETSCAPE ILLUSTRATIONS

No.	Date	Issued by

Project number: 13276

Date: 12/18/2025 7:43:28 AM

Drawn by: KG

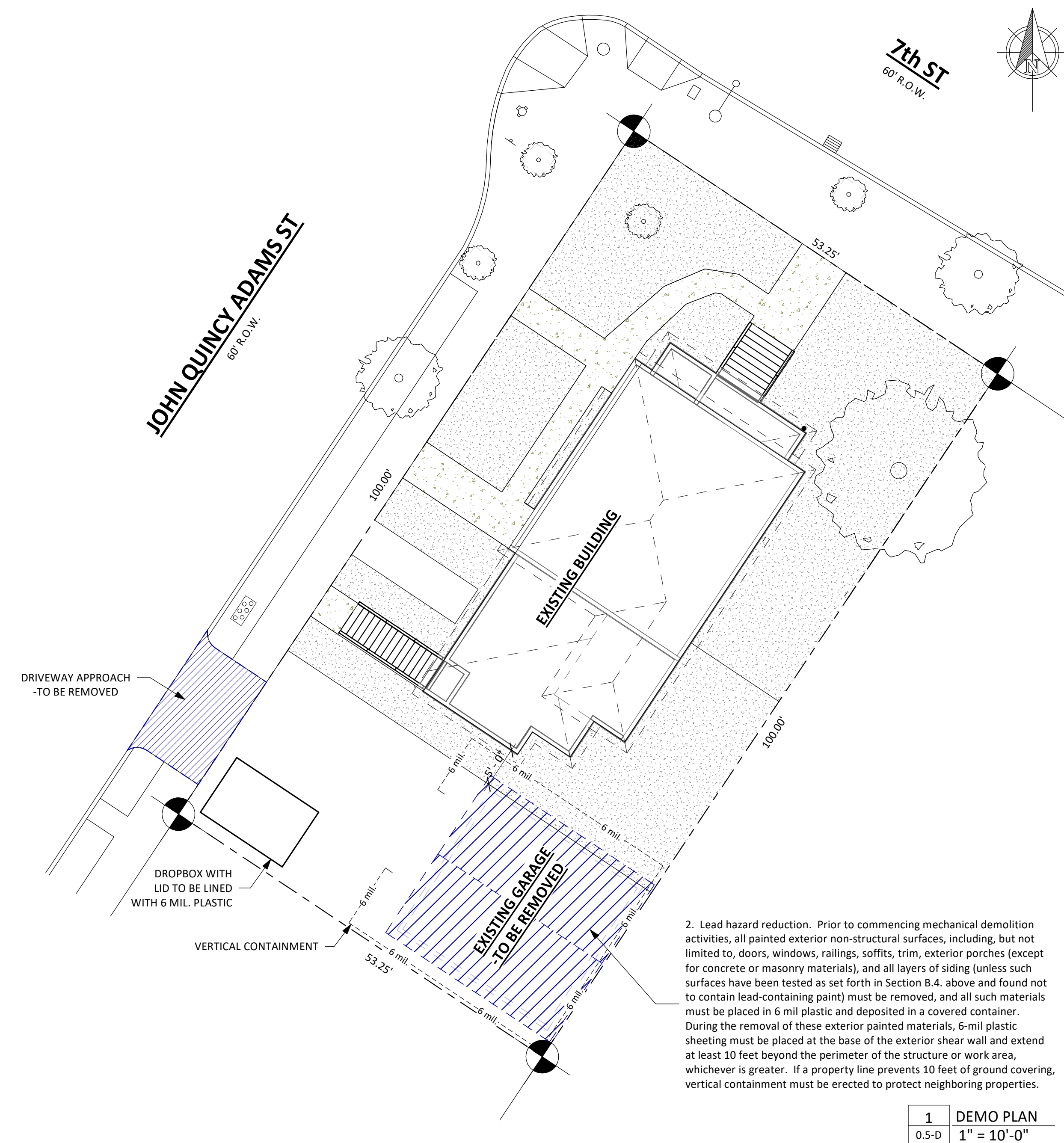
Area:

Scale:

0.4-SI



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2. Lead hazard reduction. Prior to commencing mechanical demolition activities, all painted exterior non-structural surfaces, including, but not limited to, doors, windows, railings, soffits, trim, exterior porches (except for concrete or masonry materials), and all layers of siding (unless such surfaces have been tested as set forth in Section B.4. above and found not to contain lead-containing paint) must be removed, and all such materials must be placed in 6 mil plastic and deposited in a covered container. During the removal of these exterior painted materials, 6-mil plastic sheeting must be placed at the base of the exterior shear wall and extend at least 10 feet beyond the perimeter of the structure or work area, whichever is greater. If a property line prevents 10 feet of ground covering, vertical containment must be erected to protect neighboring properties.

1 DEMO PLAN
0.5-D 1" = 10'-0"

Pre-Demolition Inspection Preparation Requirements

3.8.2.1. Review all approved documents and plans
3.8.2.2. Post the hotline signage in a location that is visible to the public from the right-of-way
3.8.2.3. Install the required best management practices as shown on the Erosion and Sediment Control Plan
3.8.2.4. Install and stage all required Demolition Plan site controls, including:

- Soil protection and dust containment (6 mil plastic/geotextile installed; vertical containment should be installed if required)
- Dust suppression – equipment must be on-site and operational
- Wind speed monitor must be on-site
- Covered containers
- Erosion and sediment control logbook

Name and certification of on-site accredited asbestos inspector, certified asbestos supervisor or certified asbestos worker, unless Comprehensive Asbestos Inspection and Testing as defined in Section 2.4 above and abatement for asbestos have been completed and confirming documentation has been provided to the inspector before the demolition begins. 3.8.2.5. Request the #200 inspection (plan for the Demolition Manager to be on-site for this inspection)
3.8.2.6. Provide the BDS Site Inspector with the approved plans and permit card
3.8.2.7. Notify the inspector of the expected timeline for the demolition completion

3.9. On-Site Requirements

3.9.1. Pre-demolition inspection: See Section 3.11.1 below
3.9.2. Lead hazard reduction: One of the key components of PCC 24.55.205 is the requirement to remove all painted exterior non-structural surfaces, such as doors, windows, railings, soffits, trim, exterior porches (except for concrete or masonry materials) and all layers of siding (unless the layer has been tested and found not to contain lead-based paint).
3.9.2.1. The removed painted exterior material must be placed in "6 mil plastic and deposited in a covered container." (PCC 24.55.205.C.2.) These materials must be treated as contaminated material and must be placed in 6 mil plastic liner or equivalent (not placed directly on the soil). Non-woven geotextile fabric ("road fabric") of a density to be determined by BDS is the equivalent of 6 mil plastic and, for purposes of placing removed material on the ground, is the preferred material because it is safer for workers and is more likely than plastic to adhere to paint chips and other small debris. It is also less likely that wet debris will wash off on to the soil. Any material that is stockpiled (not placed in the dumpster or other lined container by the end of the day) must be covered with plastic (not necessarily 6 mil; just sufficient to keep it from blowing away and protect it from the elements). The material can either be wrapped in 6 mil plastic, then picked up and placed in the dumpster/debris container, or the material can be placed directly into dumpster/debris container if the dumpster or debris container is fully lined with the 6 mil plastic or thicker before any materials are placed in it. Plastic or non-woven geotextile fabric must be placed under stockpiles of demolition debris or painted materials, unless the painted material is tested and determined not to be lead-containing.

3.9.2.2. If the structure to be demolished was constructed on or after January 1, 1978, then the lead hazard reduction requirements do not apply. The requirement to remove the exterior painted materials also does not apply to a full deconstruction since those materials will be removed without heavy machinery. However, the materials still need to be placed on the 6 mil plastic or non-woven geotextile fabric, unless they are placed directly into the lined container as described above.
3.9.2.3. To minimize exposure to neighboring properties while the exterior painted materials are being removed, either non-woven geotextile fabric or 6-mil plastic sheeting must be placed at the base of the exterior wall and extend at least 10 feet beyond the perimeter of the structure or work area on the ground. If the structure is too close to the neighboring property line to place horizontal containment, or if preferred over using horizontal containment, vertical containment needs to be attached from the top of the structure to the ground. This can be done by attaching plastic to the gutters or similar method

Dust suppression. During mechanical demolition activities, including transfer and loading of materials, the structure, equipment parts that come in direct contact with building materials, and debris must be continuously wetted with a water spray sufficient in volume and force to prohibit airborne emission of dust and particulates from leaving the site. In addition, the entire demolition site and all debris piles must be wetted down each day prior to commencing mechanical demolition activities and at the end of each day during which mechanical demolition activities have occurred.

SPRAY METHOD:
2 – 2" Firehoses
Adjustable, spray nozzles
Water truck to be used as water source

THE STRUCTURES MUST BE ADEQUATELY WETTED PRIOR TO AND DURING DEMOLITION, ALL STOCKPILES MUST BE WETTED DURING TRANSFER AND PRIOR TO COVERING AT END OF DAY IF STOCKPILED. THIS IS KNOWN AS THE WET-WET-WET METHOD

WIND SPEED RESTRICTIONS
Mechanical demolition activities must be suspended when winds exceed 25 MPH, verified regularly during mechanical demolition activities by using a hand-held anemometer prior to commencing mechanical demolition activities each day and any time wind speeds noticeably increase. Only deconstruction or other activities that do not generate dust may be conducted on the site when winds exceed 25 MPH.

DEMO LEGEND
1/4" = 1'-0"

TONY UZUEGBUNAM
1102 7th St. Oregon City, OR 97045
DEMO PLAN

No.	Date	Issued by
1	10/29	

Project number: 13276
Date: 12/18/2025 7:43:29 AM
Drawn by: AE
Area:
Scale: As indicated

0.5-D

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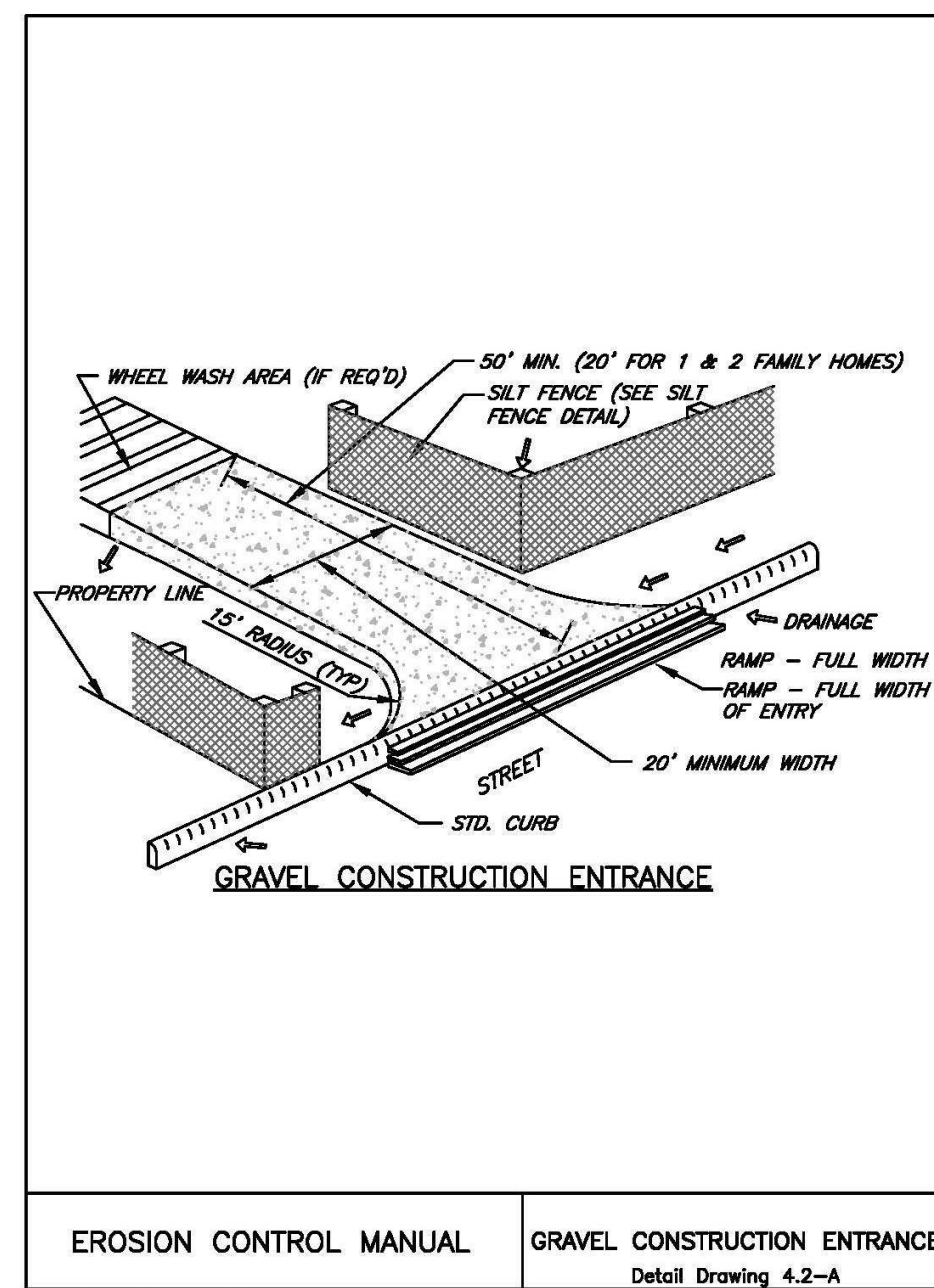
TONY UZUEGBUNAM
1102 7th St. Oregon City, OR 97045

EROSION AND SEDIMENT CONTROL PLAN

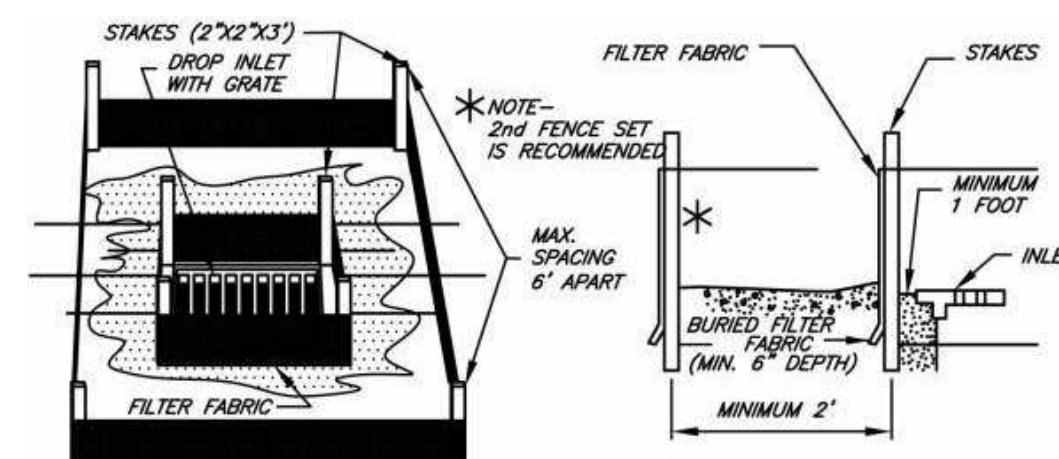
No. Date Issued by

Project number: 13276
Date: 12/18/2025 7:43:30 AM
Drawn by: AE
Area:
Scale: As indicated

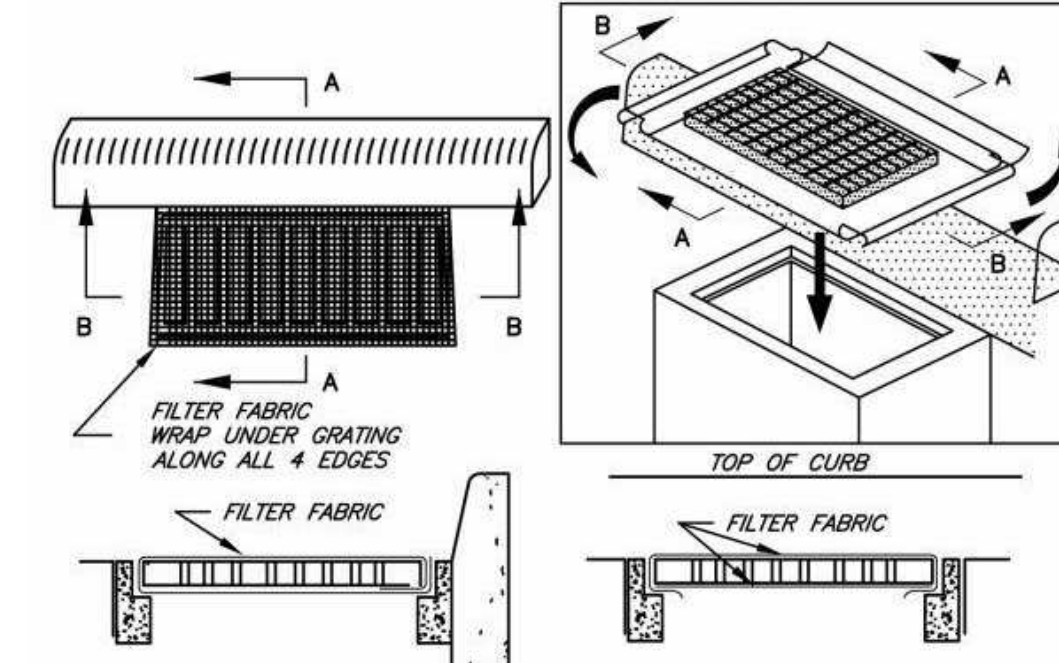
0.ESCP



3 CONSTRUCTION ENTRANCE
0.ESCP 1/4" = 1'-0"



FOR 24HR. PROTECTION ONLY



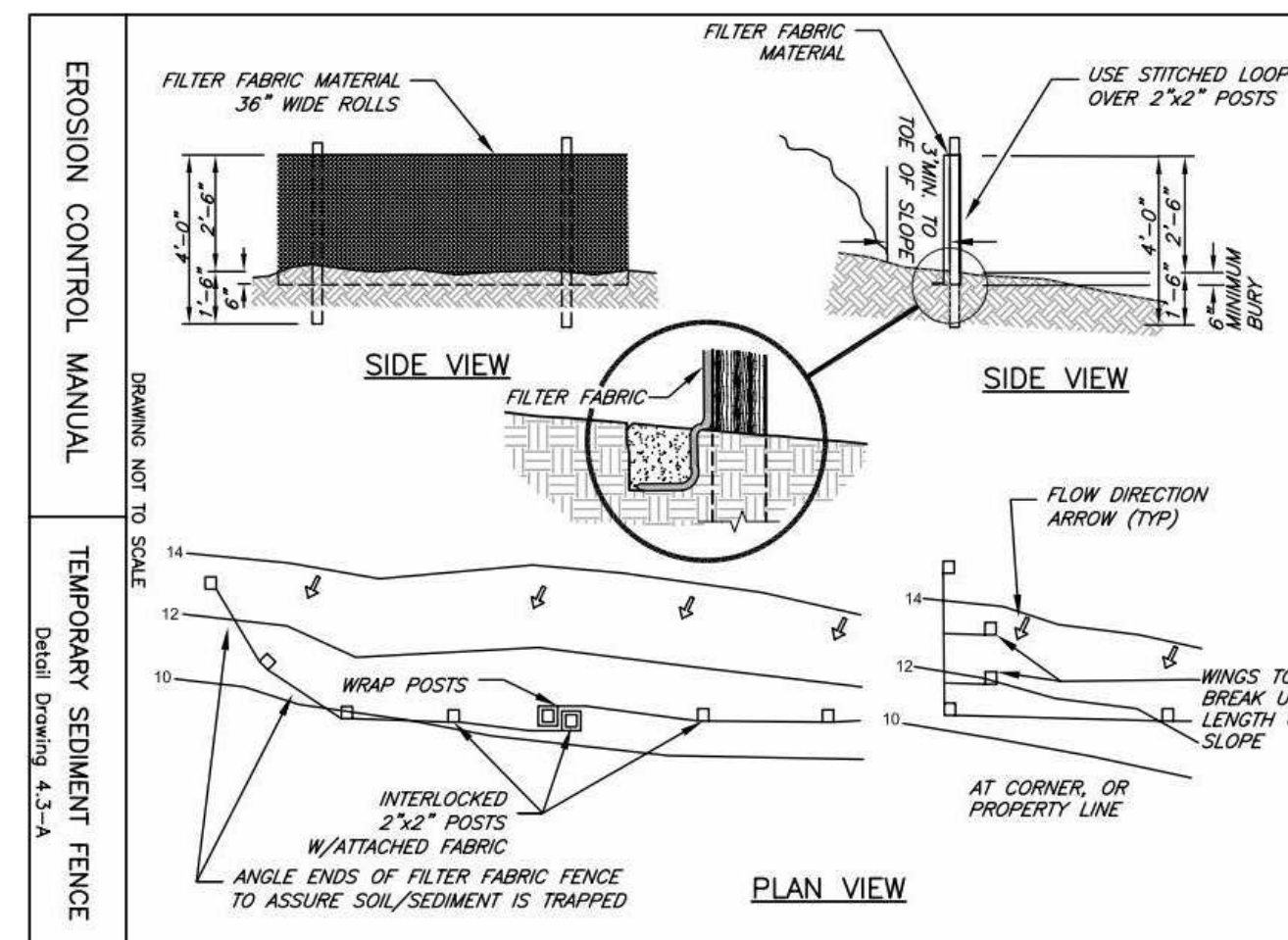
EROSION CONTROL MANUAL INLET PROTECTION MEASURES
Detail Drawing 4.3-F

4 INLET PROTECTION
0.ESCP 1/4" = 1'-0"

Minimum Erosion Control Requirements	Additional Requirements
1. Temporary sediment control (silt fences, bio-filter bags or fiber rolls, storm drain inlet protection).	Prevent the transport of sediment from the site. (Manual Sections 2-2 and 4-2) Call for #200 inspection. These items must be provided even with undisturbed vegetative buffers as allowed by manual.
2. Stabilize access points by installing a gravel construction entrance. Do not use rock or dirt ramps in the gutter; use a wood ramp if needed to get over curb.	Limit construction vehicle access, whenever possible, to one route. Stabilize access points. Provide street cleaning by sweeping or shoveling any sediment that may have been tracked out. Place sediment in a suitable disposal area where it will not erode again. (Manual Sections 2-2 and 4-1)
3. Stabilize all soils, including stockpiles that are temporarily exposed. Use one or more of the temporary soil stabilization Best Management Practices (BMP's): temporary grasses, mulch applications, erosion blankets, plastic sheeting, plus dust control measures.	Soil Stabilization (Manual Sections 2-2 and 4-4)
4. Maintain erosion controls identified in requirements 1 through 3 above according to specifications prescribed in manual.	Inspect and maintain erosion and sediment controls to ensure continued performance of their intended function. (Manual Chapters 4 and 5)
5. Comply with the necessary development activity controls, including controls for fuel spill control, waste removal, concrete waste management or painting preparation.	During construction, prevent the introduction of pollutants in addition to sediment into stormwater. (Manual Section 5)
6. Use one or more of the following to permanently stabilize soils before final building inspection: Permanent vegetative cover, mulch applications or application of soil.	After construction but before project completion, permanently stabilize all exposed soils that have been disturbed during construction. (Manual Sections 4-4)
7. Prevent sediment from entering all storm drains, including ditches, which receive runoff from the disturbed area.	Remove temporary drain inlet protection measures after final site clean-up. Call for #210 inspection.
8. Post signage on-site that identifies the City's Erosion Control complaint number.	The sign will be provided upon approval of the pre-construction inspection. It must be maintained on-site until the final inspection.

You must request a pre-construction erosion control inspection prior to construction. Call 503-823-7000 and request a #200 inspection using your IWR number.

2 EROSION CONTROL NOTES
0.ESCP 1/4" = 1'-0"



5 SILT FENCE
0.ESCP 1/4" = 1'-0"

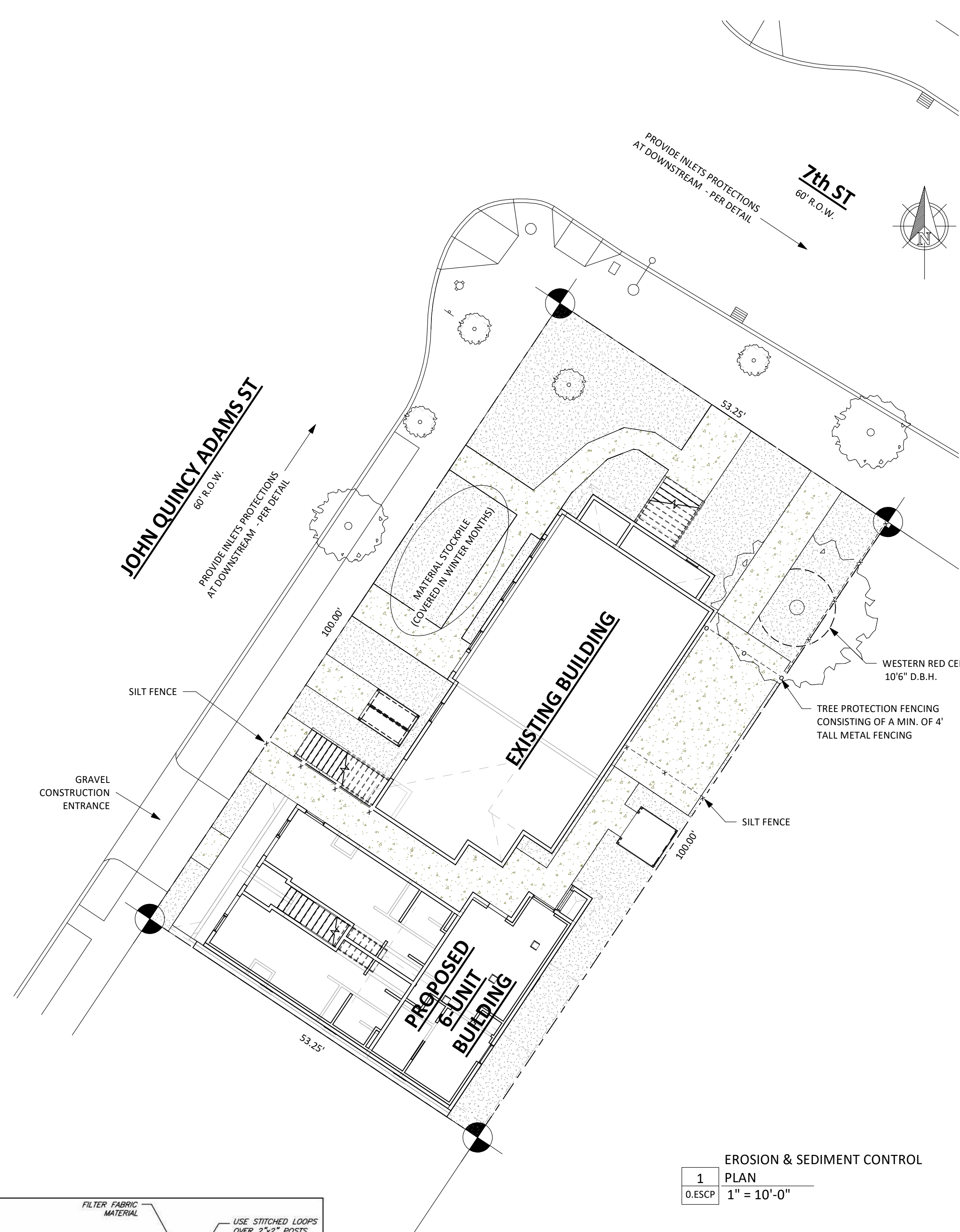
PERMANENT EROSION CONTROL MEASURES -

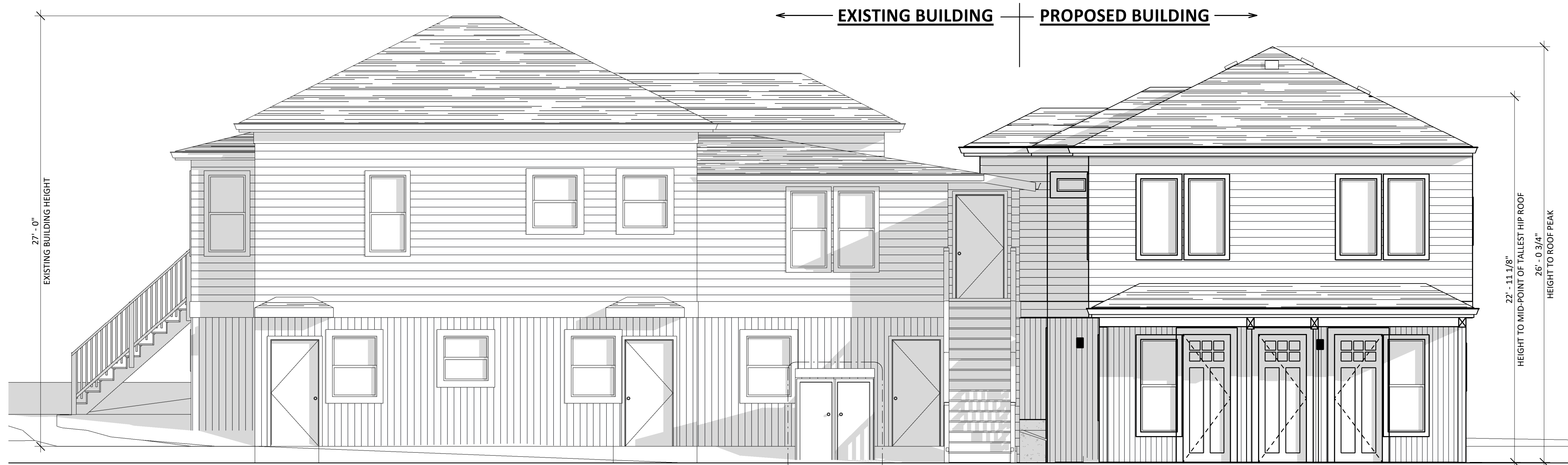
1. THE RESPONSIBLE PARTY SHALL MAINTAIN ALL EROSION, SEDIMENT AND POLLUTANT CONTROL MEASURES, TEMPORARY AND PERMANENT, IN PROPER FUNCTIONING ORDER.
2. THE RESPONSIBLE PARTY SHALL MAINTAIN, ADJUST, REPAIR, AND REPLACE EROSION, SEDIMENT AND POLLUTANT CONTROL MEASURES WITHIN 24 HOURS FOLLOWING A STORM EVENT TO ENSURE THAT THE MEASURES ARE FUNCTIONING PROPERLY.
3. DURING ACTIVE GROUND DISTURBING ACTIVITY, THE RESPONSIBLE PARTY SHALL INSPECT AND MAINTAIN EROSION, SEDIMENT AND POLLUTANT CONTROL MEASURES DAILY MEASURES DAILY BETWEEN OCTOBER 1 AND APRIL 30.
4. ALL INSPECTIONS BY A RESPONSIBLE PARTY SHALL BE NOTED IN AN INSPECTION LOG INDICATING THE DATE AND TIME OF THE INSPECTION. THE INSPECTION LOG SHALL BE MADE AVAILABLE TO THE DIRECTOR UPON REQUEST.
5. ALL SITE PUBLIC NOTIFICATION SIGNS REQUIRED BY 10.30.020 SHALL BE MAINTAINED TO REMAIN EASILY READABLE FROM THE PUBLIC RIGHT-OF-WAY THROUGHOUT THE DURATION OF THE GROUND DISTURBING ACTIVITY. (FOR PERMIT PROJECTS ONLY.)

NOTE : ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLE ONTO ROADWAYS OR INTO THE STORMWATER COLLECTION SYSTEM SHALL BE REMOVED OR CLEANED UP IMMEDIATELY, AND NO LATER THAN THE END OF THE WORK DAY. THE USE OF WATER TRUCKS TO WASH THE MATERIAL OFF THE ROADWAY IS NOT ALLOWED. WATER TRUCKS MAY BE USED IMMEDIATELY BEFORE SWEEPERS OR VACUUM SYSTEM TO LOOSEN SEDIMENT, PROVIDED THAT DISCHARGE TO THE STORMWATER COLLECTION SYSTEM DOES NOT OCCUR.

24/7 EMERGENCY CONTACT :

EROSION CONTROL NOTES
1/4" = 1'-0"





5 PROJECT DESCRIPTION

- 1 1/4" = 1'-0"
- NEW 2 STORY BUILDING
 - ZONING CODE:
 - BUILDING CODE: 2019 OSSC
 - CONSTRUCTION TYPE VB
 - OCCUPANCY - R-2
 - TOTAL BUILDING SQUARE FOOTAGE - 2,295 S.F.
 - TOTAL BUILDING HEIGHT - 26'

81' LONG BUILDING ELEVATION
 Min 15% Ground Floor Windows: 17' of windows (21%)
 Min 15% Upper Floor Windows: 26' of windows (32%)

- EXTERIOR MATERIALS:**
- EXISTING BUILDING TO REMAIN UNCHANGED
 - NEW BUILDING TO BE SIDED WITH HARDE-PLANK LAP SIDING (HARDIE COLOR PLUS - NAVAJO BEIGE WHITE)
 - VERTICAL T&G (CLEAR STAIN)
 - 5/4"x3.5" TRIM AROUND DOORS AND WINDOWS (PURE WHITE) - TYP.
 - ENTRY DOORS - FEATHER RIVER 6 LITE EXTERNAL GRILLE CLEAR GLASS CRAFTSMAN - SMOOTH FIBERGLASS FINISH
 - COMPOSITION ROOFING
 - VINYL WINDOWS

1 WEST ELEVATION
 1 1/4" = 1'-0"

SEPARATE PERMITS REQUIRED:

- HVAC
- PLUMBING
- EGRESS LIGHTING
- ELECTRICAL
- SPRINKLERS - NFPA 13R SYSTEM

PERMITS TO BE OBTAINED FROM THE FIRE MARSHAL'S OFFICE:
 2021 OREGON FIRE CODE IS APPLICABLE
 FOR THE PURPOSES OF THIS PERMIT, DRAWINGS OR REFERENCES OF ANY FIRE-EXTINGUISHING SYSTEMS OR FIRE ALARM SYSTEMS ARE FOR INFORMATION ONLY AND WILL REQUIRE SEPARATE APPROVAL FROM THE FIRE MARSHAL'S OFFICE UNDER BENEFIT OF A PERMIT PRIOR TO SYSTEM INSTALLATION.
 - CARBON MONOXIDE DETECTORS TO BE INSTALLED IN ACCORDANCE WITH OFC 908

FIRE SAFETY NOTES

- FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED ON THE STREET SIDE OF BUILDINGS, FULLY VISIBLE AND RECOGNIZABLE FROM THE STREET AND WITHIN 150 FEET OF A PUBLIC FIRE HYDRANT.

- SIGNAGE TO BE MOUNTED ON ALL FIRE DEPARTMENT CONNECTIONS SERVING AUTOMATIC SPRINKLER CONNECTIONS AND BE VISIBLE FROM THE PUBLIC RIGHT-OF-WAY. TO BE VERIFIED UPON FIRE FINAL.

BUILDING CODE SUMMARY

CHAPTER 5 - GENERAL BUILDING HEIGHTS AND AREAS:
 TABLE 504.3: ALLOWABLE BUILDING HEIGHTS AND AREAS; OCCUPANCY R-2
 BASE ALLOWABLE HEIGHT PER STORY: 21,000 S.F.
 MAXIMUM NUMBER OF STORIES: 3
 MAXIMUM BUILDING HEIGHT: 60'
 BUILDING SPRINKLERS INSTALLED WILL BE FULL NFPA 13R

CHAPTER 6

TABLE 602 - WALLS REQUIRED TO BE 1 HOUR FIRE RATED - SEE PLAN
 - ALL WALLS USED TO SUPPORT FIRE RATED FLOORS ARE TO BE 1-HOUR RATED

CHAPTER 9 - FIRE PROTECTION SYSTEMS

903.2.8 - AUTOMATIC SPRINKLER SYSTEM REQUIRED
 903.3.1.2 - NFPA 13R SPRINKLER SYSTEM REQUIRED.

CHAPTER 10 - MEANS OF EGRESS

TABLE 1004.5 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT - RESIDENTIAL = 200 GSF PER OCCUPANT

CHAPTER 11 - ACCESSIBILITY

ACCESSIBILITY REQUIREMENTS APPLY TO THE ENTIRE FIRST FLOOR OF ALL BUILDINGS OF THIS PROJECT.
 THE SECOND STORY UNITS ARE EXEMPT FROM ACCESSIBILITY REQUIREMENTS
 ALL GROUND FLOOR DWELLING UNITS ARE TO BE TYPE B UNITS

TABLE 601 FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS)

BUILDING ELEMENT	TYPE V	
		B
Primary structural frame ^a (see Section 202)		0
Bearing walls		
Exterior ^{a,b}		0
Interior		0
Nonbearing walls and partitions		
Exterior		0
Nonbearing walls and partitions		
Interior ^a		0
Floor construction and associated secondary members (see Section 202)		0
Roof construction and associated secondary members (see Section 202)		0

GROUND FLOOR:

BUILDING FACADE LENGTH: 35'-6"
 WINDOW LENGTH REQUIRED: 3'-7"
 WINDOW LENGTH PROVIDED: 5'-0"
 (14.0%)

UPPER FLOOR:

BUILDING FACADE LENGTH: 31'-6"
 WINDOW LENGTH REQUIRED: 3'-2"
 WINDOW LENGTH PROVIDED: 5'-0"
 (15.8%)

3 EAST ELEVATION
 1 1/8" = 1'-0"

494 SF BUILDING ELEVATION
 WINDOWS: 24 SF of openings (5%)
 MINISPLITS: 1.77 SF approx. (0.4%)

TABLE M1507.4 EXHAUST RATES FOR RESIDENTIAL DWELLINGS

DOMESTIC KITCHENS		
RANGE HOODS / DOWNDRAFT EXHAUST		MIN. 150 CFM INTERMITTENT
BATHROOMS-TOILET ROOMS		
ROOMS CONTAINING BATHING AND SPA FACILITIES (STATIC PRESSURE SHALL BE RATED @ 0.10-INCH WATER GAUGE FOR INTERMITTENT FANS)		MIN. 80 CFM INTERMITTENT OR 20 CFM CONTINUOUS
TOILET ROOMS WITHOUT BATHING OR SPA FACILITIES, WHEN NOT PROVIDED WITH NATURAL VENTILATION IN ACCORDANCE WITH SECTION R303.3.2		MIN. 50 CFM

NOTE: MECHANICAL EXHAUST VENTS SHALL NOT TERMINATE WITHIN 36" OF OPERABLE WINDOWS

TABLE 5.5-4 BUILDING ENVELOPE REQUIREMENTS

CLIMATE ZONE 4	GROUP R
ROOFS	U-0.032
INSULATION ENTIRELY ABOVE DECK WALLS, ABOVE GRADE	U-0.064
WOOD FRAMED AND OTHER WALLS, BELOW GRADE	U-0.0119
BELOW GRADE WALL	
SLAB-ON-GRADE FLOORS	
UNHEATED SLABS	F-0.860

BUILDING WILL COMPLY WITH PRESCRIPTIVE BUILDING ENVELOPE COMPLIANCE PATH

TABLE 5.5-4 BUILDING ENVELOPE REQUIREMENTS

CLIMATE ZONE	GROUP R
ROOFS	R-30c1
INSULATION ENTIRELY ABOVE DECK WALLS, ABOVE GRADE	R-21
WOOD FRAMED AND OTHER WALLS, BELOW GRADE	N/A
BELOW GRADE WALL	
SLAB-ON-GRADE FLOORS	
UNHEATED SLABS	R-15 FOR 24"
OPAQUE DOORS	U-0.37
SWINGING	

TABLE 502.3 BUILDING ENVELOPE REQUIREMENTS: FENESTRATION VERTICAL FENESTRATION (30% MAX. ABOVE-GRADE WALL FRAMING MATERIALS OTHER THAN METAL FRAMING - 0.35 MINIMUM 50% OF PERMANENTLY INSTALLED INTERIOR LIGHTING FIXTURES TO BE FITTED WITH HIGH EFFICACY LAMPS

Whole-building air leakage: Compliance with Section 5.4.3.1.1 for whole-building air leakage has been demonstrated and documentation has been provided to the building official

Continuous air barrier: The entire building envelope is designed and constructed with a continuous air barrier in accordance with Section 5.4.3.1.2.

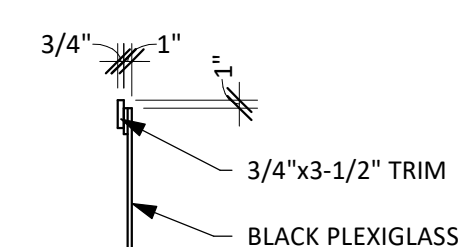
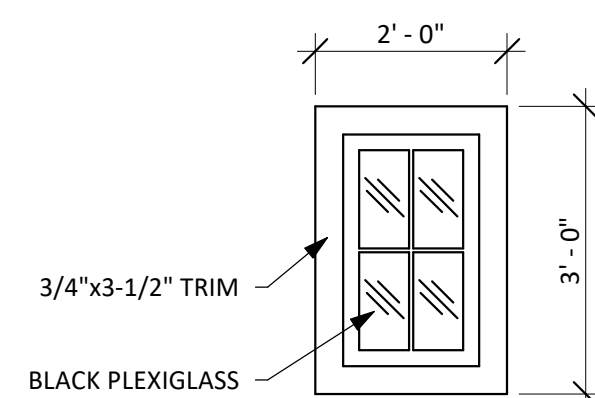
Insulation: Insulation complies with the product information and installation requirements in Section 5.8.1.

Fenestration and doors: Fenestration and doors comply with the product rating and labeling requirements and U-factor, SHGC, and VT determination requirements in Section 5.8.2.

TABLE 5.5-4 BUILDING ENVELOPE REQUIREMENTS: FENESTRATION VERTICAL FENESTRATION 0-40% OF WALL

FIXED	0.36
OPERABLE	0.45
ENTRANCE DOOR	0.63
SKYLIGHTS (3% MAXIMUM OF ROOF AREA)	N/A

6 INSULATION REQUIREMENTS
 1 1/4" = 1'-0"



7 FAUX WINDOW DETAIL
 1 1/2" = 1'-0"



NOTE: VINYL WINDOWS IN THE NORTH FAÇADE OF THE EXISTING BUILDING WILL BE REPLACED

4 NORTH ELEVATION
 1 1/8" = 1'-0"



GROUND FLOOR:
 BUILDING FACADE LENGTH: 41'-3"
 WINDOW LENGTH REQUIRED: 4'-1.5"
 WINDOW LENGTH PROVIDED: 6'-0"
 (14.5%)

UPPER FLOOR:
 BUILDING FACADE LENGTH: 43'-3"
 WINDOW LENGTH REQUIRED: 4'-4"
 WINDOW LENGTH PROVIDED: 6'-0"
 (13.8%)

2 SOUTH ELEVATION
 1 1/8" = 1'-0"

TONY UZUEGBUNAM

1102 7th St. Oregon City, OR 97045

ELEVATIONS

No.	Date	Issued by
1	10/29	
2	11/17	

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 Area:
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BATHROOMS

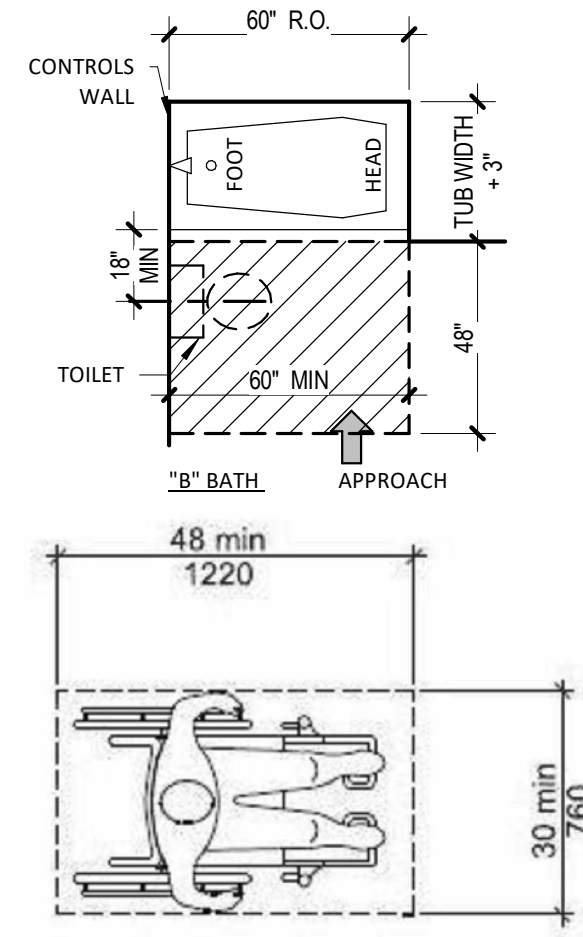
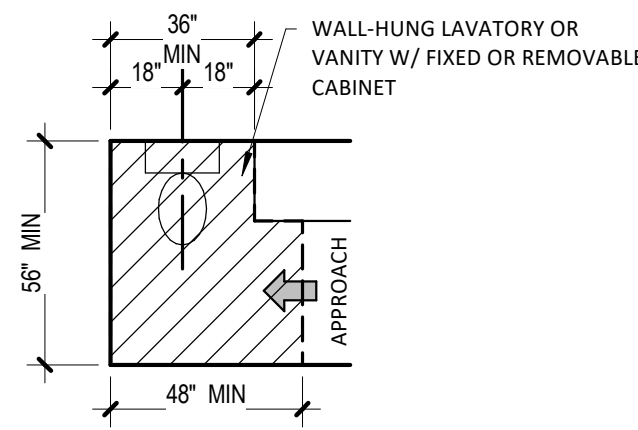


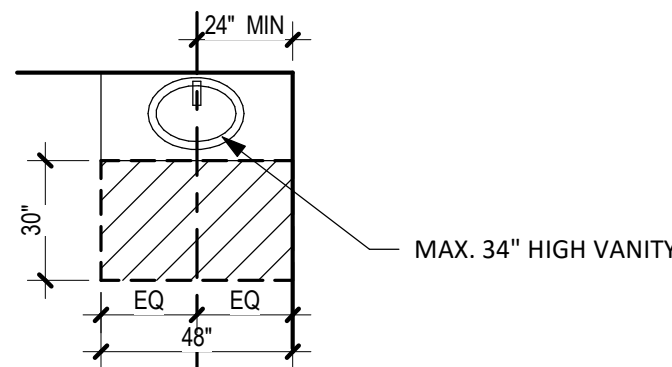
Fig. 305.3 Size of Clear Floor Space

CLEARANCE AT TUB, TUB/SHOWERS

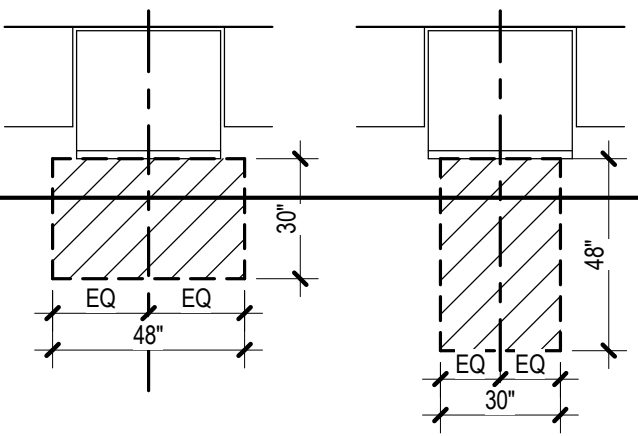


2

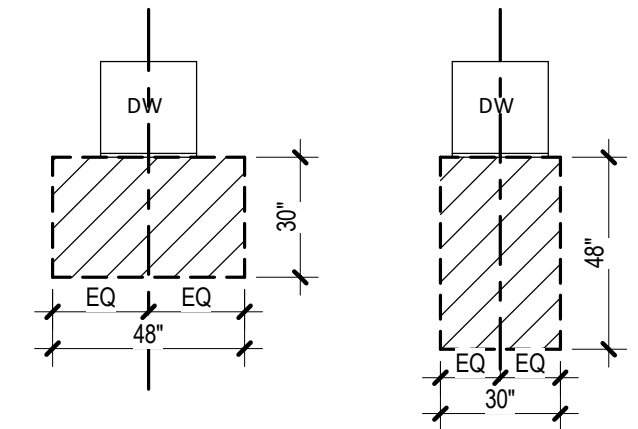
CLEARANCE AT WATER CLOSETS (ONE OF THREE CLEAR FLOOR SPACES REQUIRED IN BOTH A AND B BATHROOMS)



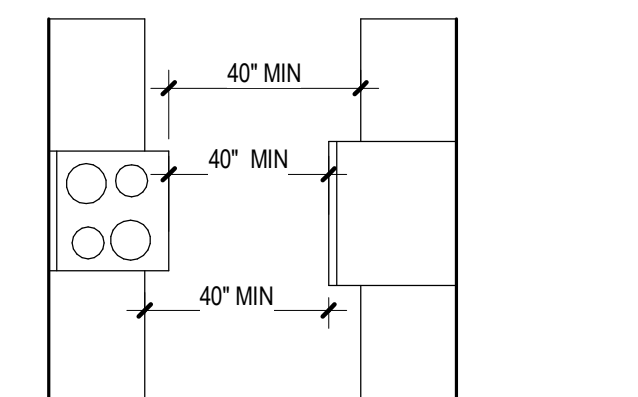
CLEAR FLOOR SPACE AT LAVATORY



CLEAR FLOOR SPACE AT SINK



CLEAR FLOOR SPACE AT DISHWASHER

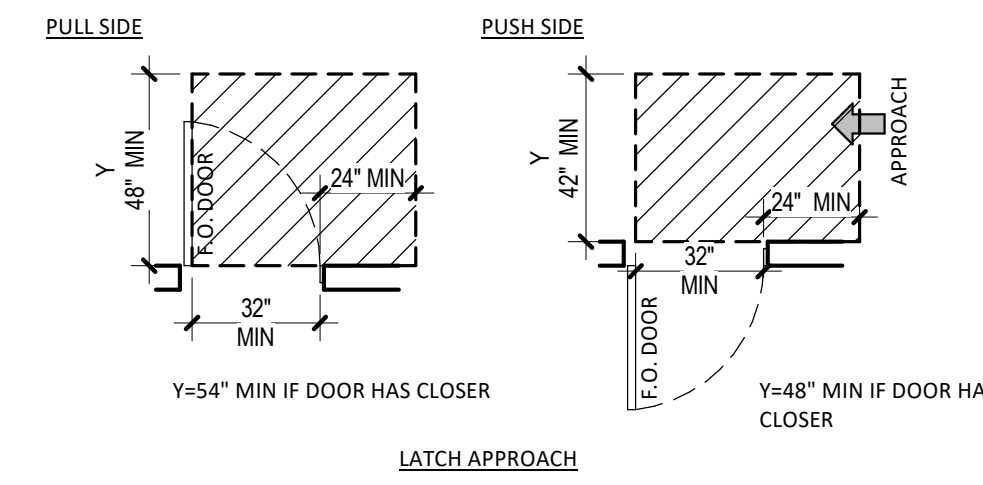
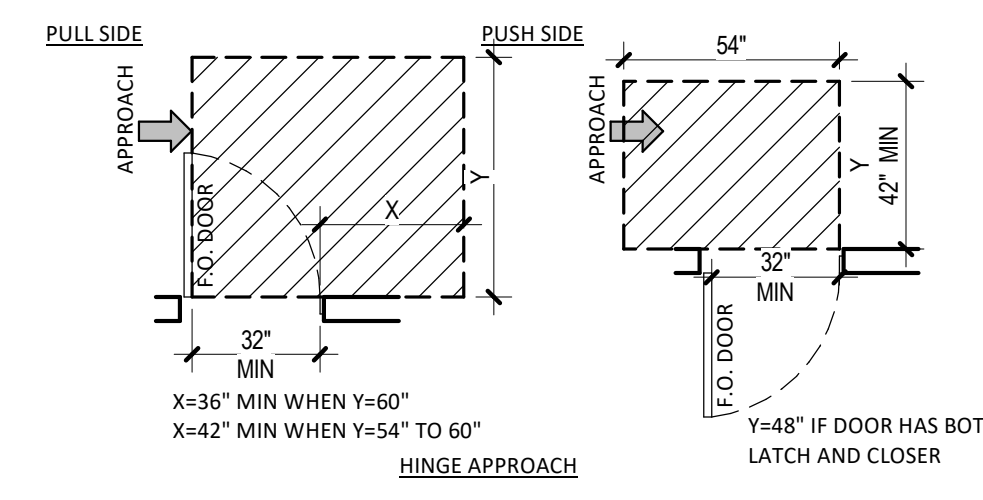
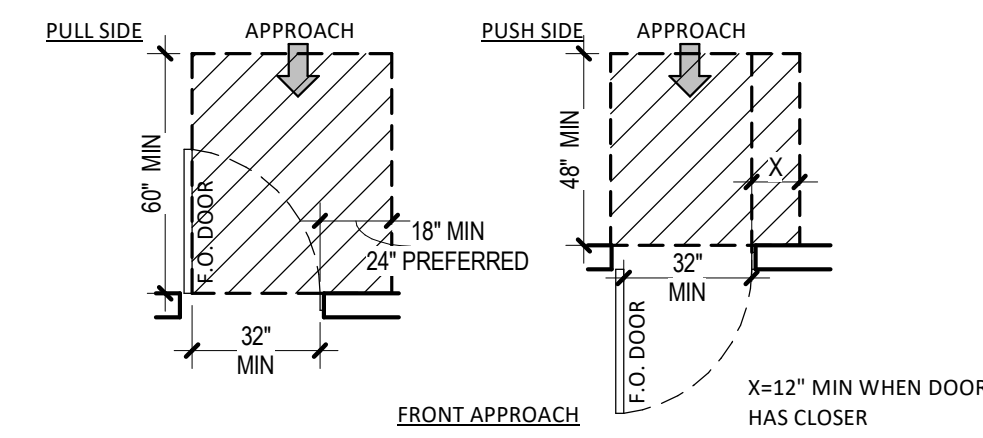


CLEAR BETWEEN OPPOSING ELEMENTS

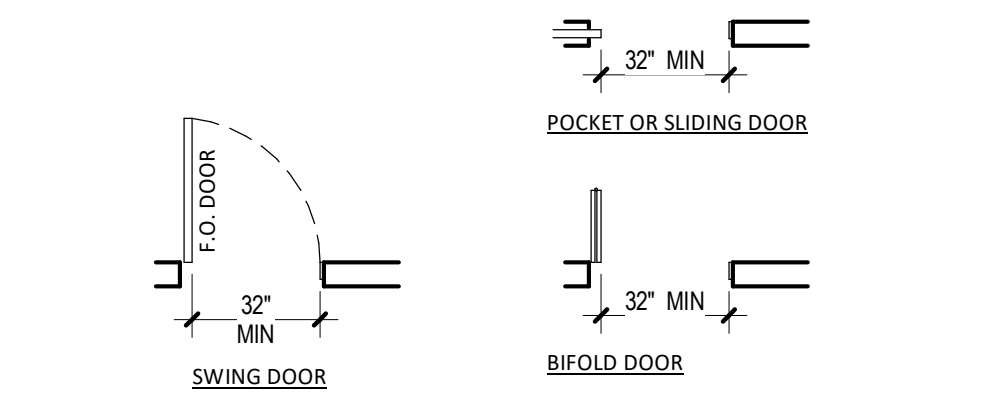


2 ICC A117.1-2009 DETAILS
2 1/4" = 1'-0"

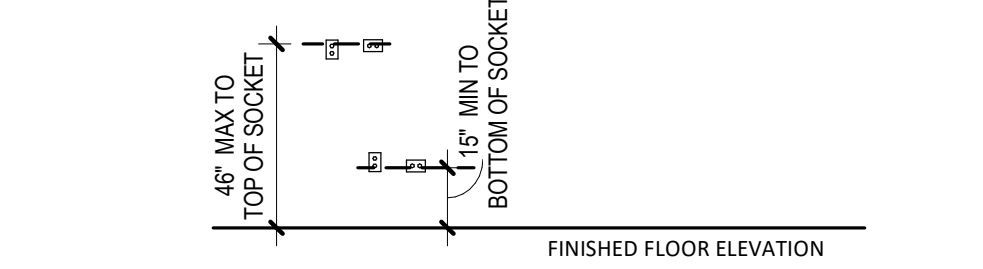
GENERAL



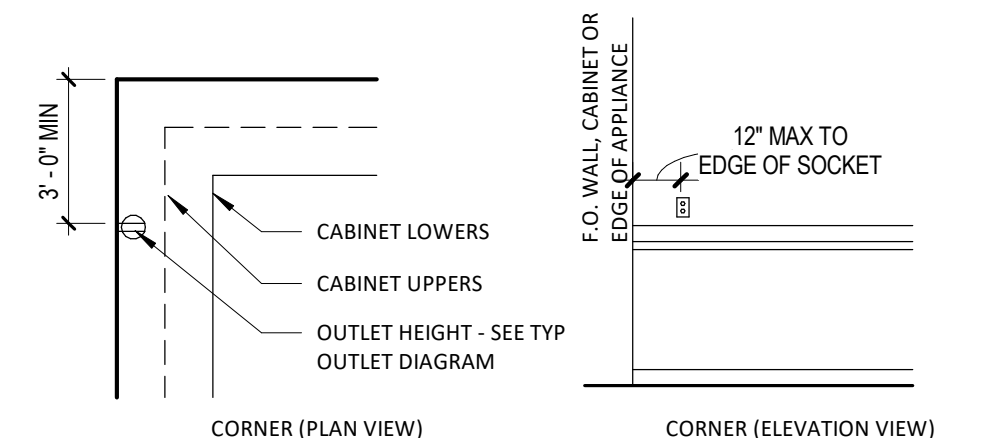
DOOR CLEARANCES AT UNIT ENTRY DOORS ADAAG FIGURE 25



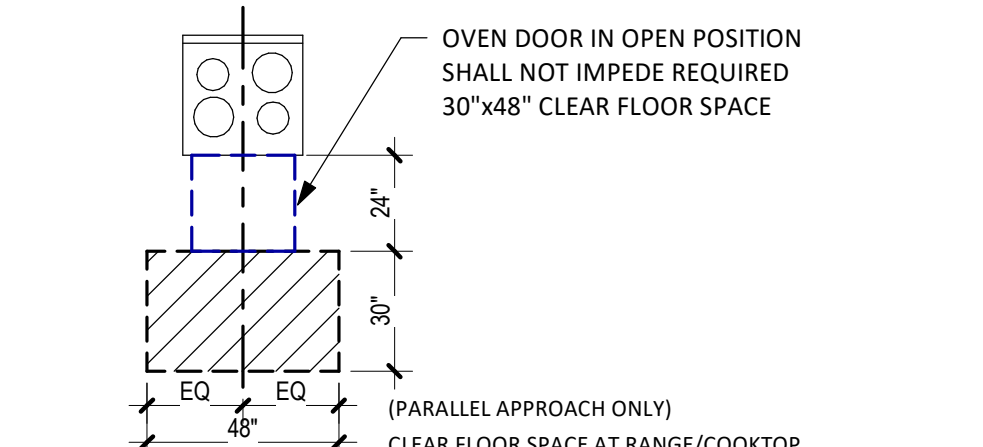
DOOR CLEARANCES AT USABLE UNIT DOORS



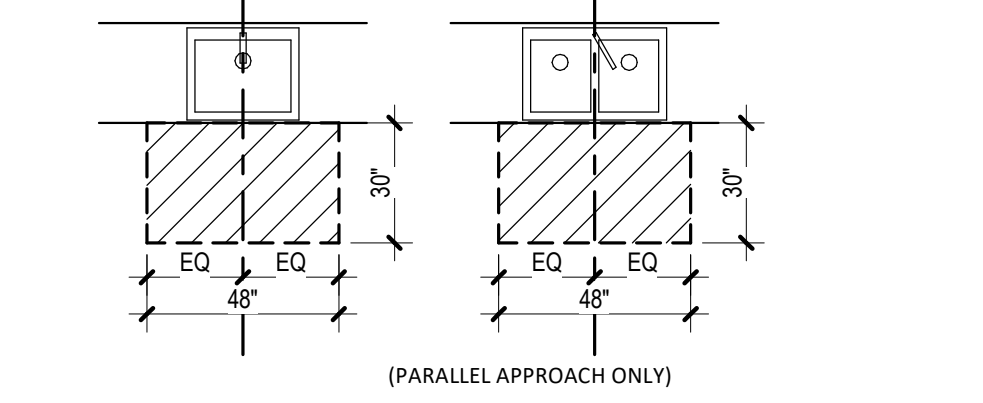
TYPICAL OUTLET ELEVATIONS



CLEARANCE AT OUTLETS/SWITCHES IN CORNERS OVER CABINET LOWERS



CLEAR FLOOR SPACE AT RANGE/COOKTOP



CLEAR FLOOR SPACE AT SINK

ADA NOTES
MAXIMUM MOUNTING HEIGHT FOR SWITCHES AND CONTROLS IS 48" AT MAIN FLOOR ADA UNITS. MINIMUM 15" MOUNTING HEIGHT FOR OUTLETS RECEPTACLES

- GENERAL DOOR NOTES:
1. MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 8.5 LB'S FOR EXTERIOR DOORS AND 5 LB'S FOR INTERIOR DOORS, ADA/ANSI 404.2.
 2. HAND ACTIVATED HARDWARE SHALL BE CENTERED BETWEEN 34" MIN. AND 48" MAX. ABOVE FLOOR. LATCHING AND LOCKING DOORS THAT ARE HAND-ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE, PANIC BARS, PUSH-PULL ACTIVATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE.
 3. THE FLOOR OR LANDING SHALL BE NOT MORE THAN 1/2" LOWER THAN THE THRESHOLD OF THE DOORWAY. CHANGES IN LEVEL GREATER THAN 1/4" (NOT MORE THAN 1/2" MAX. IN HEIGHT SHALL BE BEVELED WITH A SLOPE NOTE STEEPER THAN 2:1. (SEE FIG. 303.3)
 4. DOOR HARDWARE SHALL NOT BE MOUNTED BELOW 34" ABOVE FINISH FLOOR.
 5. EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. EXTERIOR DOORS MAY BE EQUIPPED WITH A NIGHT LATCH, DEAD BOLT OR SECURITY CHAIN PROVIDED THE DOOR IS OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR TOOL

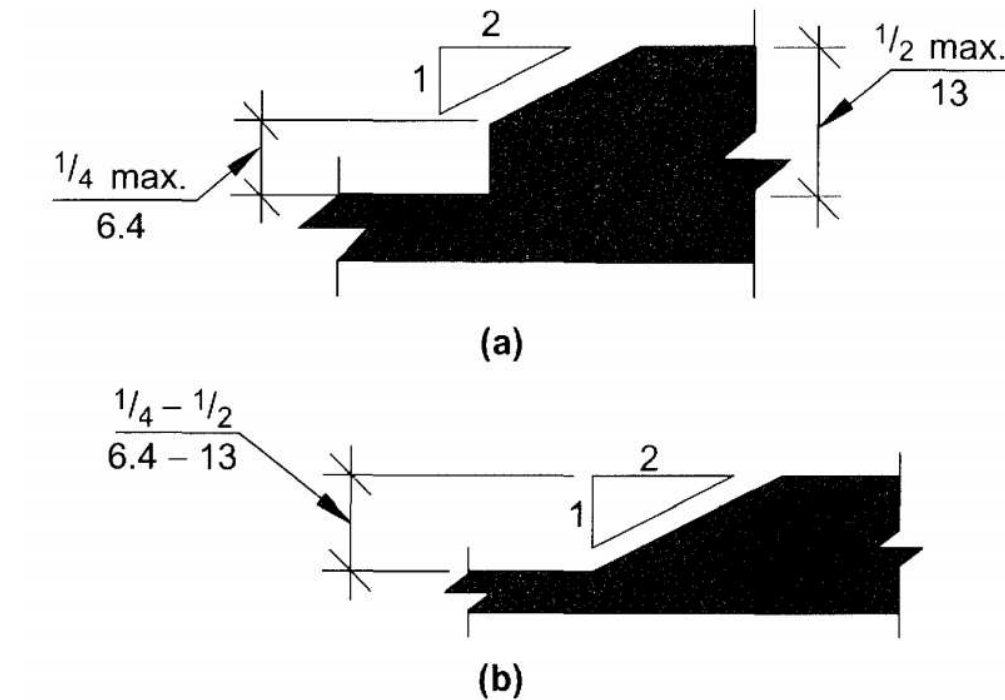


FIG. 303.3 BEVELED CHANGES IN LEVEL

TYPICAL THRESHOLD AT EXTERIOR DOORS

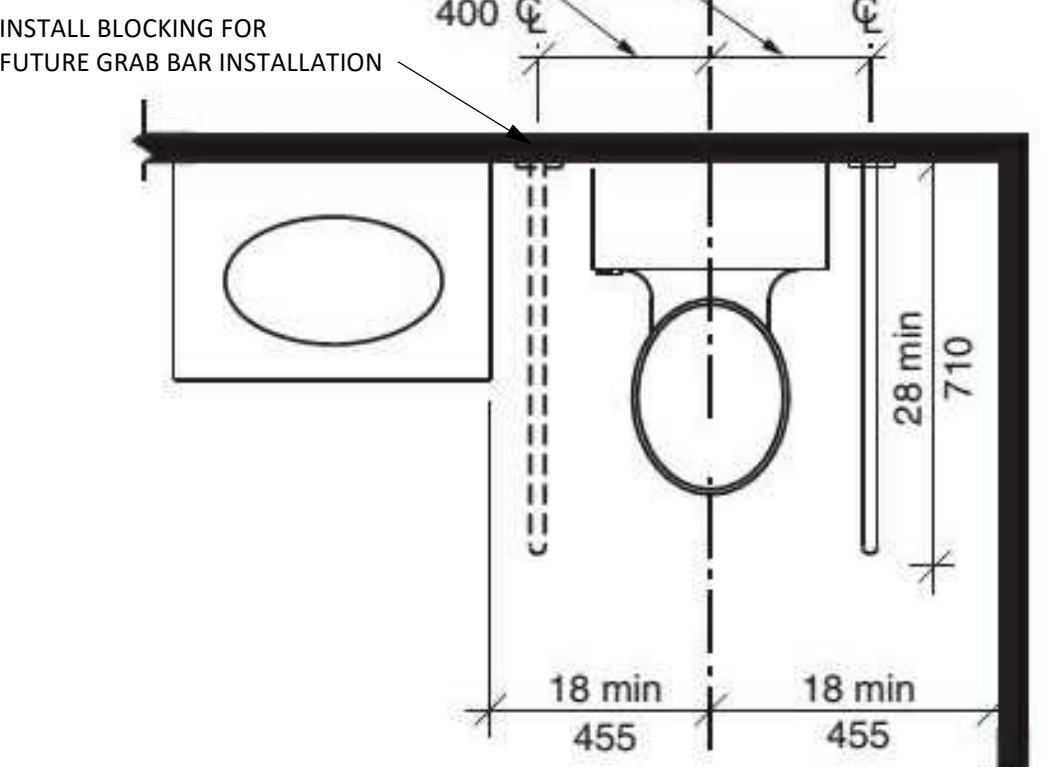
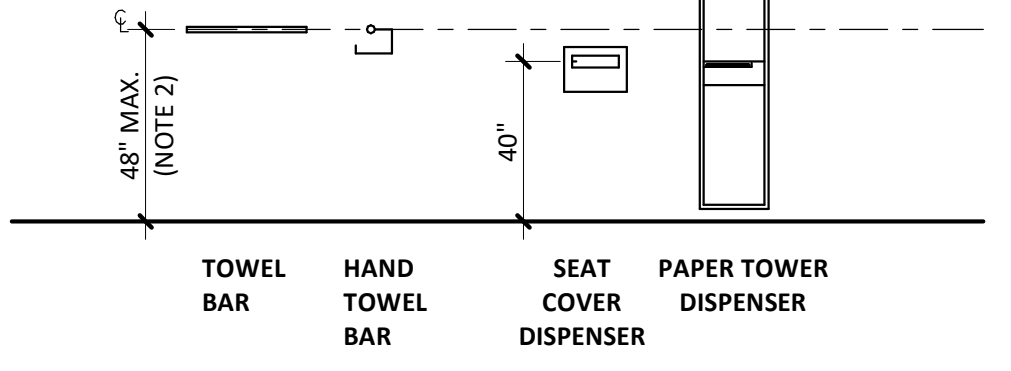


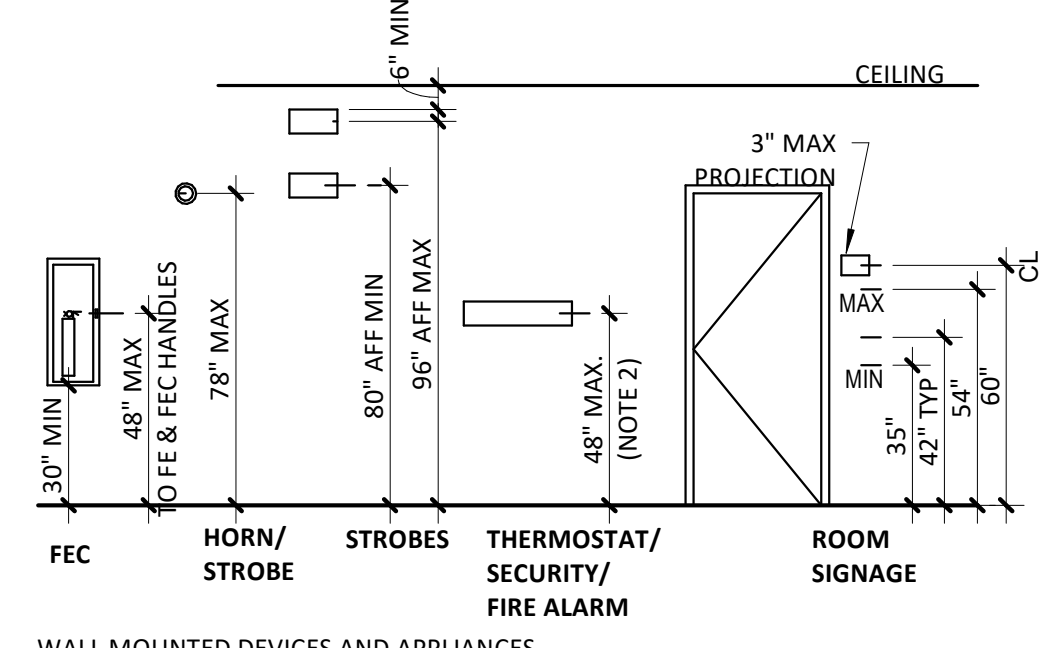
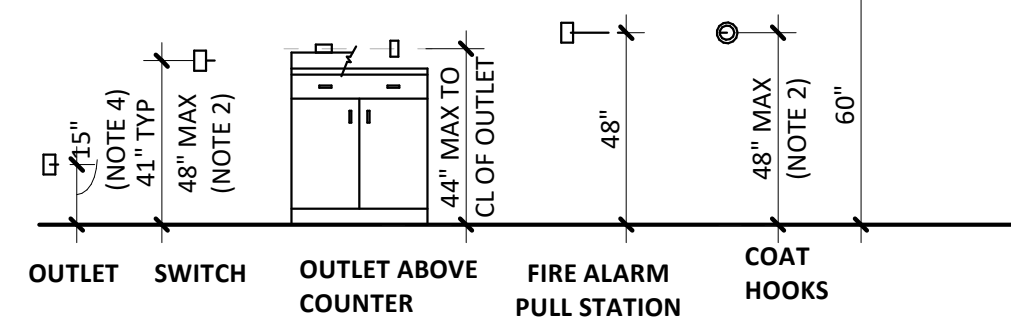
FIG. 1104.11.1.1 SWING-UP GRAB BARS FOR WATER CLOSETS AT ADA UNITS - PROVIDE BLOCKING IN WALL

MOUNTING HEIGHTS

- NOTE:
1. WALL MOUNTED DEVICES SHALL NOT EXTEND MORE THAN 4" BEYOND WALL SURFACE WHEN LOCATED BELOW 6'-8"
 2. MAXIMUM HEIGHT TO TOP OF ALL OPERABLE PARTS
 3. LOCATE OUTLET SO THAT CENTERLINE OF BOTTOM OUTLET IS ABOVE 15" MINIMUM SIDE REACH HEIGHT.



TOILET ROOM ACCESSORY MOUNTING HEIGHTS

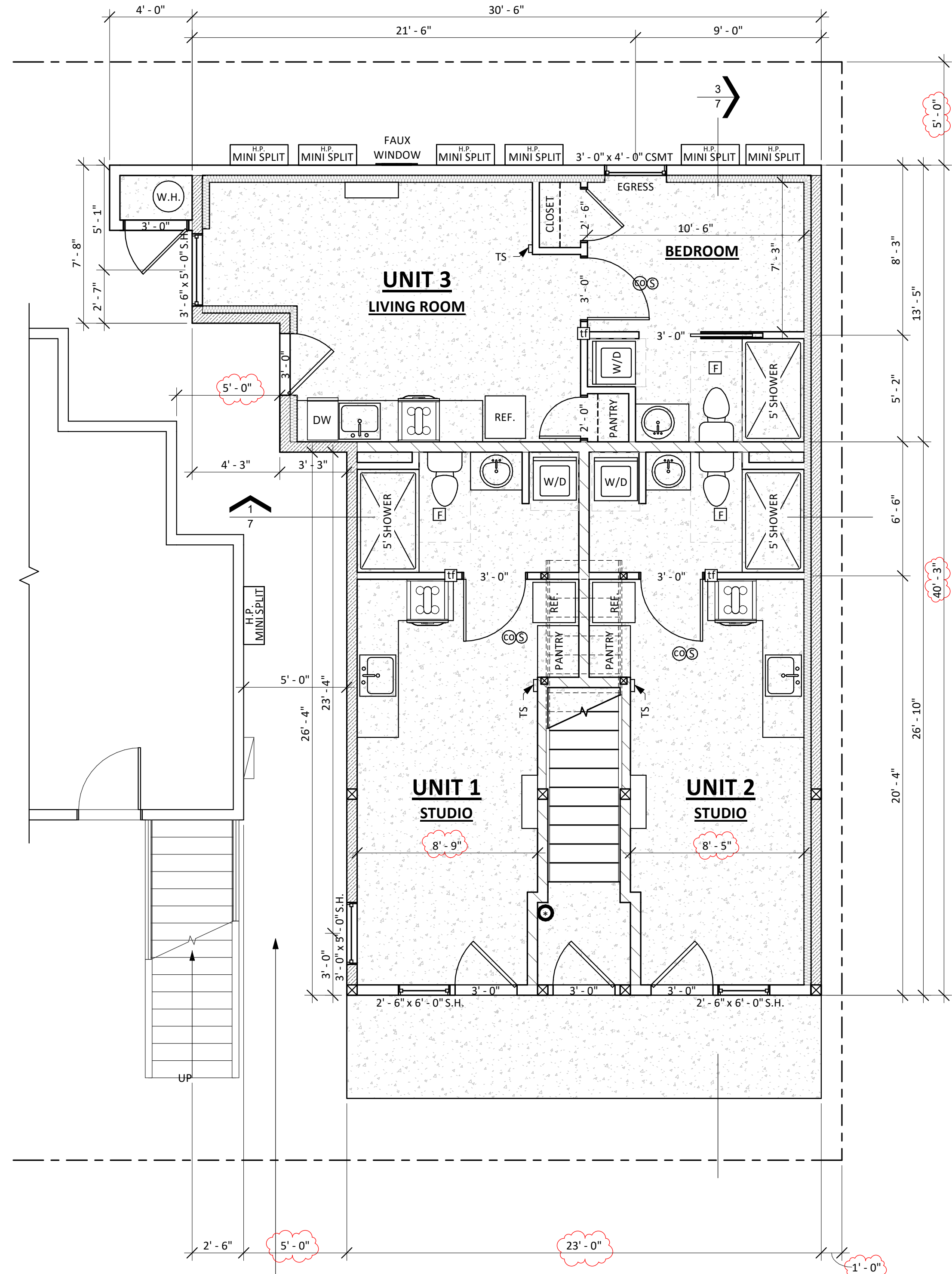


WALL MOUNTED DEVICES AND APPLIANCES

NOTES

1. THESE DIAGRAMS ARE BASED ON THE INFORMATION CONTAINED IN THE ADAAG MANUAL AND CHAPTER 11 OF THE BUILDING CODE. THEY ARE REPRESENTATIVE OF THE GENERAL REQUIREMENTS THAT APPLY TO THIS PROJECT. THEY ARE NOT REPRODUCTIONS OF THE INFORMATION CONTAINED IN THE ADAAG. REFER TO THE ADAAG FOR ADDITIONAL INFORMATION.

3 MOUNTING HEIGHTS
2 1/4" = 1'-0"



NOTE: ACCESSIBLE ROUTE TO ENTRY DOORS NOT TO EXCEED 5% SLOPE & 2% CROSS SLOPE

1 1st FLOOR PLAN
2 1/4" = 1'-0"

Area Schedule	
Name	Area
UNIT 1	279 SF
UNIT 2	279 SF
UNIT 3	386 SF
UNIT 4	317 SF
UNIT 5	309 SF
UNIT 6	392 SF



15 NE 3RD ST. GRESHAM, OR 97030
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TONY UZUEGBUNAM
1102 7th St. Oregon City, OR 97045
1st FLOOR PLAN

No.	Date	Issued by
2	11/17	

Project number: 13276
Date: 12/18/2025 7:43:33 AM
Drawn by:
Area:
Scale: 1/4" = 1'-0"

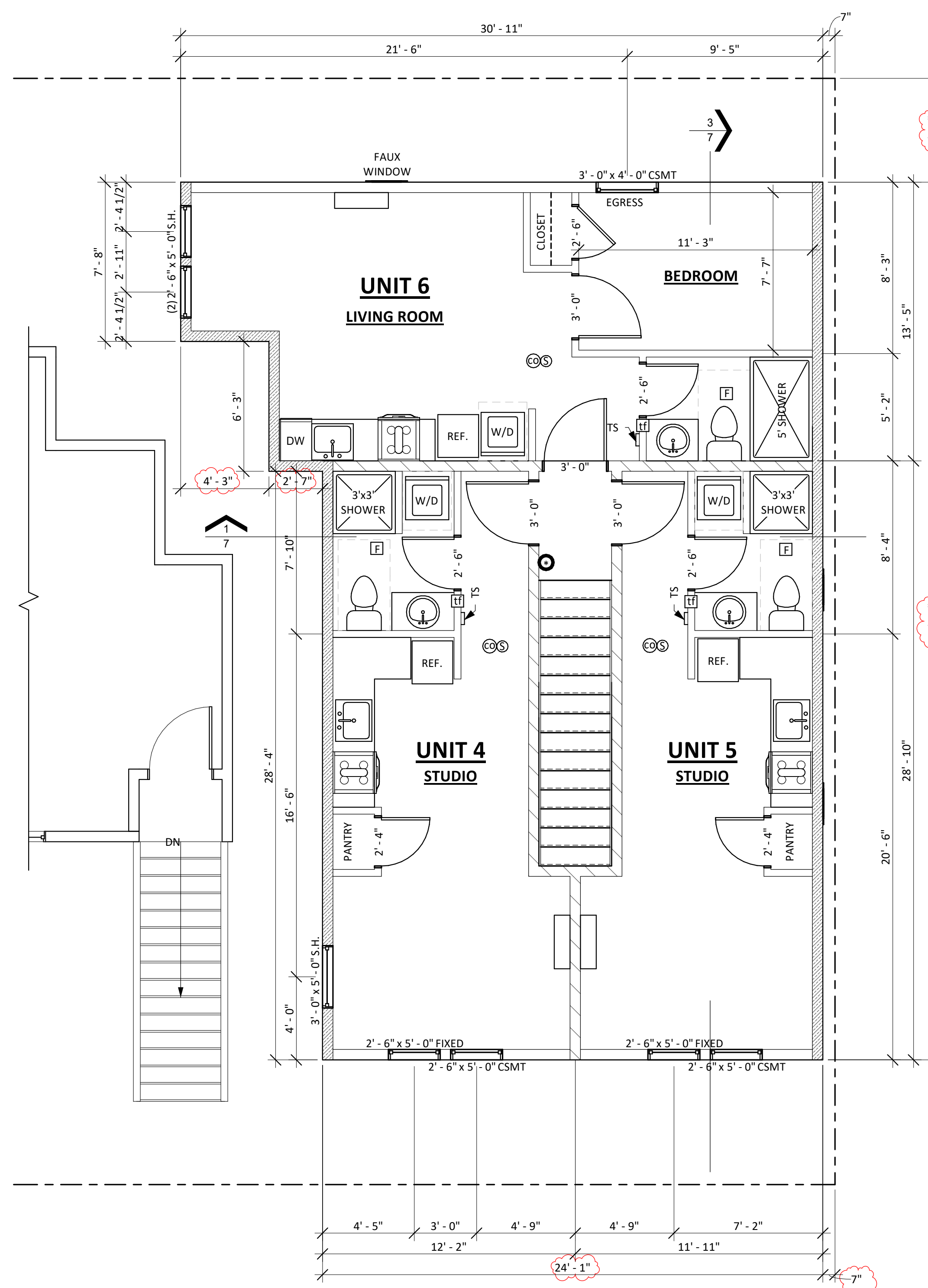
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1102 7th St, Oregon City, OR 97045
2nd FLOOR PLAN

No.	Date	Issued by
2	11/17	

Project number: 13276
Date: 12/18/2025 7:43:34 AM
Drawn by: KG
Area:
Scale: 1/4" = 1'-0"



1 2nd FLOOR PLAN
3 1/4" = 1'-0"

GA FILE NO. WP 3242	GENERIC	1 HOUR FIRE	50 to 54 STC SOUND
GYPSUM WALLBOARD, RESILIENT CHANNELS, MINERAL OR GLASS FIBER INSULATION, WOOD STUDS			
Resilient channels 16" o.c. attached at right angles to ONE SIDE of 2 x 4 wood studs 24" o.c. with 11/4" Type S drywall screws. One layer 5/8" type X gypsum wallboard or gypsum veneer base applied at right angles to channels with 1" Type S drywall screws 8" o.c. with vertical joints located midway between studs. 3" mineral or glass fiber insulation in stud space.			
OPPOSITE SIDE: One layer 5/8" type X gypsum wallboard or gypsum veneer base applied parallel or at right angles to studs with 6d cement coated nails, 17/8" long, 0.0915" shank, 15/16" heads, 7" o.c.			
Vertical joints staggered 24" on opposite sides. (LOAD-BEARING)			
		Thickness: 5/8"	Fire Test: Based on UL R14196, 05NK05371, 2-15-05, UL Design U309, NRCC TL-93-098, IRC-IR-761, 3/98
		Approx. Weight: 7 psf	Sound Test: NRCC TL-93-098, IRC-IR-761, 3/98
		Fire Test:	

GA FILE NO. WP 8105	GENERIC	1 HOUR FIRE
GYPSUM WALLBOARD, GYPSUM SHEATHING, WOOD STUDS		
EXTERIOR SIDE: One layer 48" wide 5/8" type X gypsum sheathing applied parallel to 2 x 4 wood studs 24" o.c. with 1 3/4" galvanized roofing nails 4" o.c. at vertical joints and 7" o.c. at intermediate studs and top and bottom plates. Joints of gypsum sheathing may be left untreated. Exterior cladding to be attached through sheathing to studs.		
INTERIOR SIDE: One layer 5/8" type X gypsum wallboard, water-resistant gypsum backing board, or gypsum veneer base applied parallel or at right angles to studs with 6d coated nails 1 7/8" long, 0.0915" shank, 1/4" heads 7" o.c. (LOAD-BEARING)		
		Thickness: Varies
		Approx. Weight: 7 psf
		Fire Test: See WP 3510 (UL R3501-47, -48, 9-17-65, UL Design U309; UL R1319-129, 7-22-70, UL Design U314)
WALL TYPE LEGEND		
1/4" = 1'-0"		

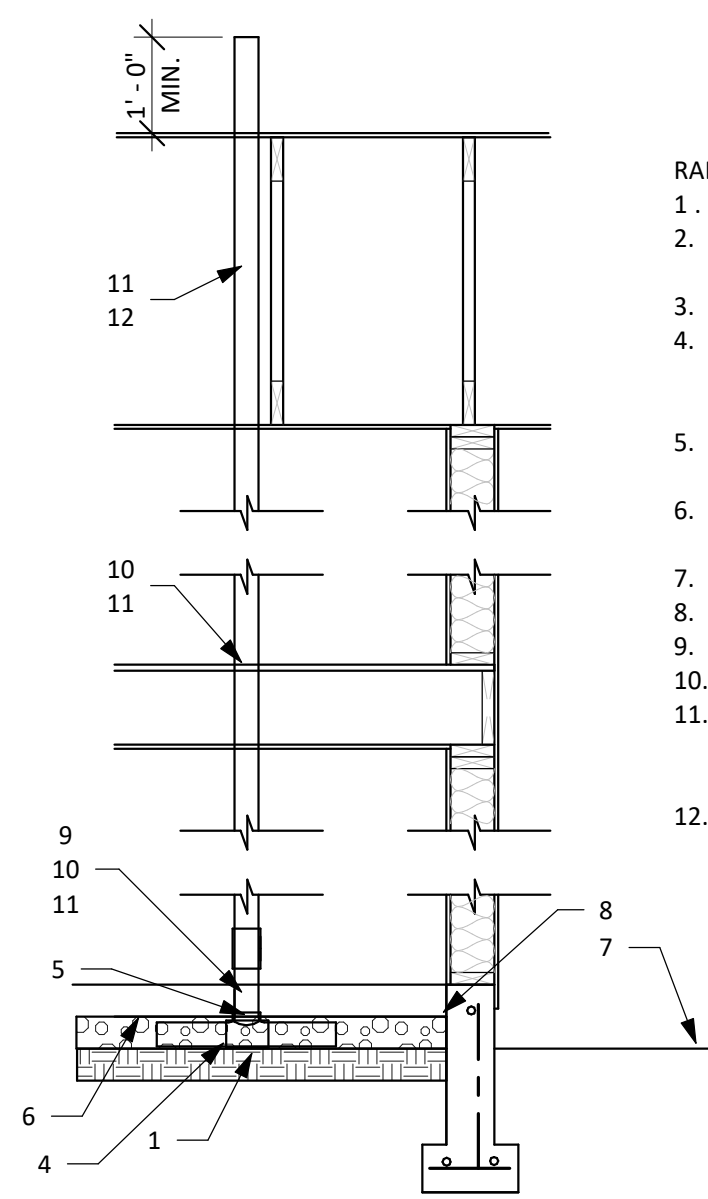
F	FAN - 110 CFM
S	SMOKE DETECTOR
P	RADON MITIGATION PIPE
CO	CARBON MONOXIDE
FD	FLOOR DRAIN
W/D	STACKED WASHER DRYER UNITS - PROVIDE PAN BENEATH - SEE FIRE PROTECTION DETAIL ON SHEET A8 FOR CONNECTION BOXES
WH	WATER HEATER LOCATION - PROVIDE PAN BENEATH
EXT	FIRE EXTINGUISHER - MINIMUM 2A:10BC EXTINGUISHER SHALL BE INSTALLED - SEE PLAN FOR LOCATIONS
DU	26 GUAGE DUCTING INSTALLED IN ACCORDANCE WITH MECHANICAL CODE - SEE PENETRATION DETAILS ON SHEET 12 VENTS SHALL NOT TERMINATE WITHIN 3'-0" HORIZ. & VERT. FROM OPERABLE WINDOWS OR DOORS
MSZ-GL	MITSUBISHI MSZ-GL12NA INDOOR UNIT
TF	TRANSFER FAN
TS	THERMOSTAT CONTROL

ALL ELECTRICAL FIXTURES AND OUTLETS TO BE INSTALLED PER ELECTRICAL CODE

Area Schedule	
Name	Area
UNIT 1	279 SF
UNIT 2	279 SF
UNIT 3	386 SF
UNIT 4	317 SF
UNIT 5	309 SF
UNIT 6	392 SF

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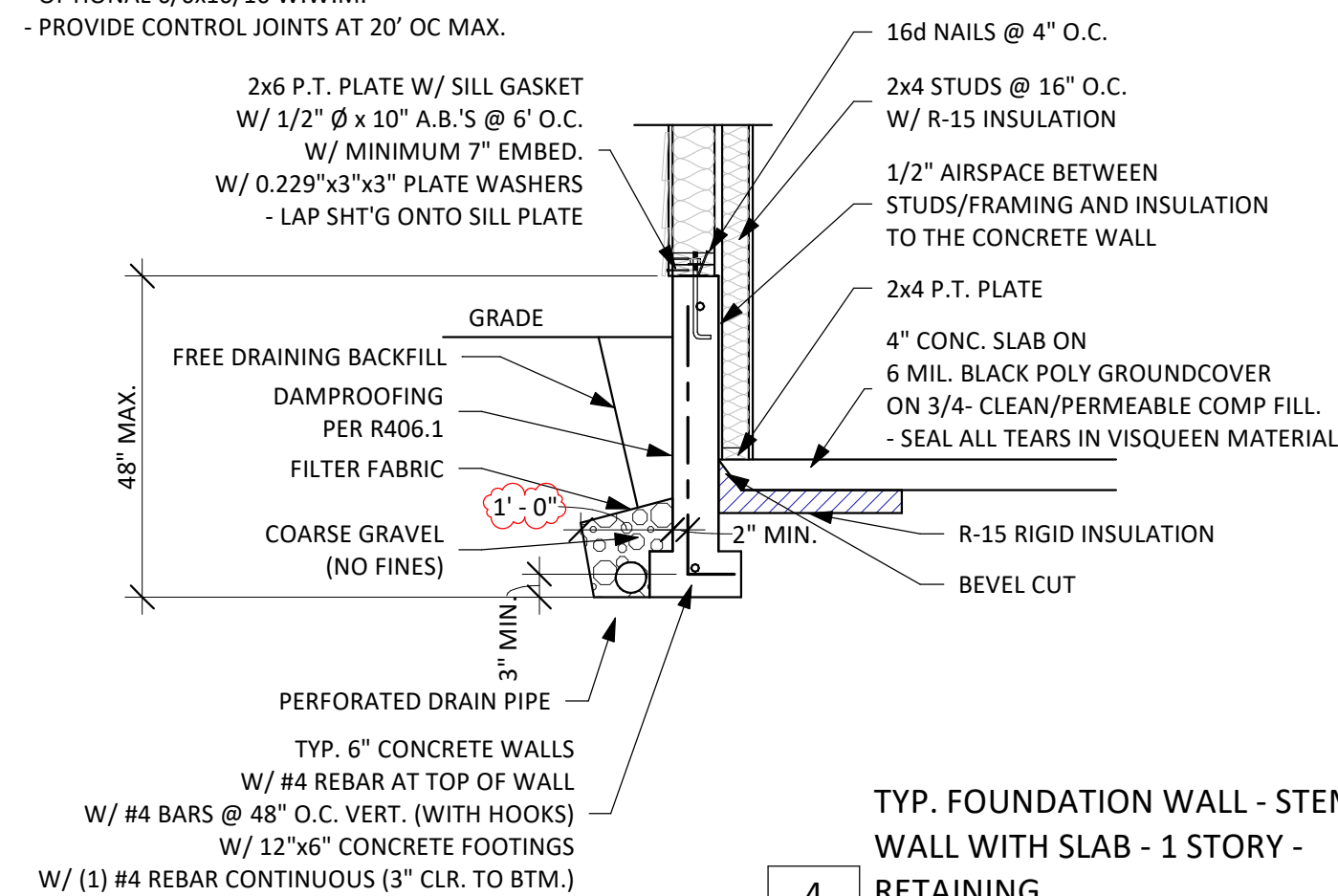
TONY UZUEGBUNAM
1102 7th St. Oregon City, OR 97045
FOUNDATION PLAN



- RADON CONTROL NOTES**
- 3" OR 4" PLUMBING TEE UNDER 6-MIL VAPOR BARRIER
 - 3" OR 4" PLUMBING TEE IN 4" PERMEABLE CLEAN AGGREGATE UNDER SLAB. SIZE OF AGGREGATE 2" MAX, 1/4" MIN.
 - 3" OR 4" PERFORATED PIPE.
 - 3" OR 4" VENT PIPE UNDER CONCRETE SLAB. THIS VENT SHALL BE EXTENDED AND TERMINATED 12" ABOVE THE ROOF OR CONNECTED TO THE VENT PIPE FROM THE CRAWL SPACE SEAL VENT TO VAPOR BARRIER BY TAPING OR OTHER MEANS SUCH AS A HOSE CLAMP.
 - 6 MIL. POLYETHYLENE OR EQUIVALENT FLEXIBLE SHEETING MATERIAL. THE JOINTS SHALL BE LAPPED 12" AND SEALED OR TAPED. CONCRETE SLAB ON GRADE.
 - MEMBRANE SHALL BE SEALED AGAINST WALL WITH BEAD OF CAULK OR ADHESIVE. SEAL THE PENETRATION.
 - 3" OR 4" PIPE VENT SHALL BE EXTENDED AND TERMINATED 12" ABOVE THE ROOF. ALL EXPOSED AND VISIBLE INTERIOR RADON VENT PIPES SHALL BE IDENTIFIED WITH AT LEAST ONE LABEL AT EACH FLOOR AND IN AN ACCESSIBLE ATTIC. THE LABEL SHALL READ "RADON DEDUCTION SYSTEM PROVIDE AN ELECTRICAL CIRCUIT TERMINATED IN AN APPROVED BOX FOR FUTURE INSTALLATION OF AN ACTIVE RADON MITIGATION SYSTEM AND A SYSTEM FAILURE ALARM."

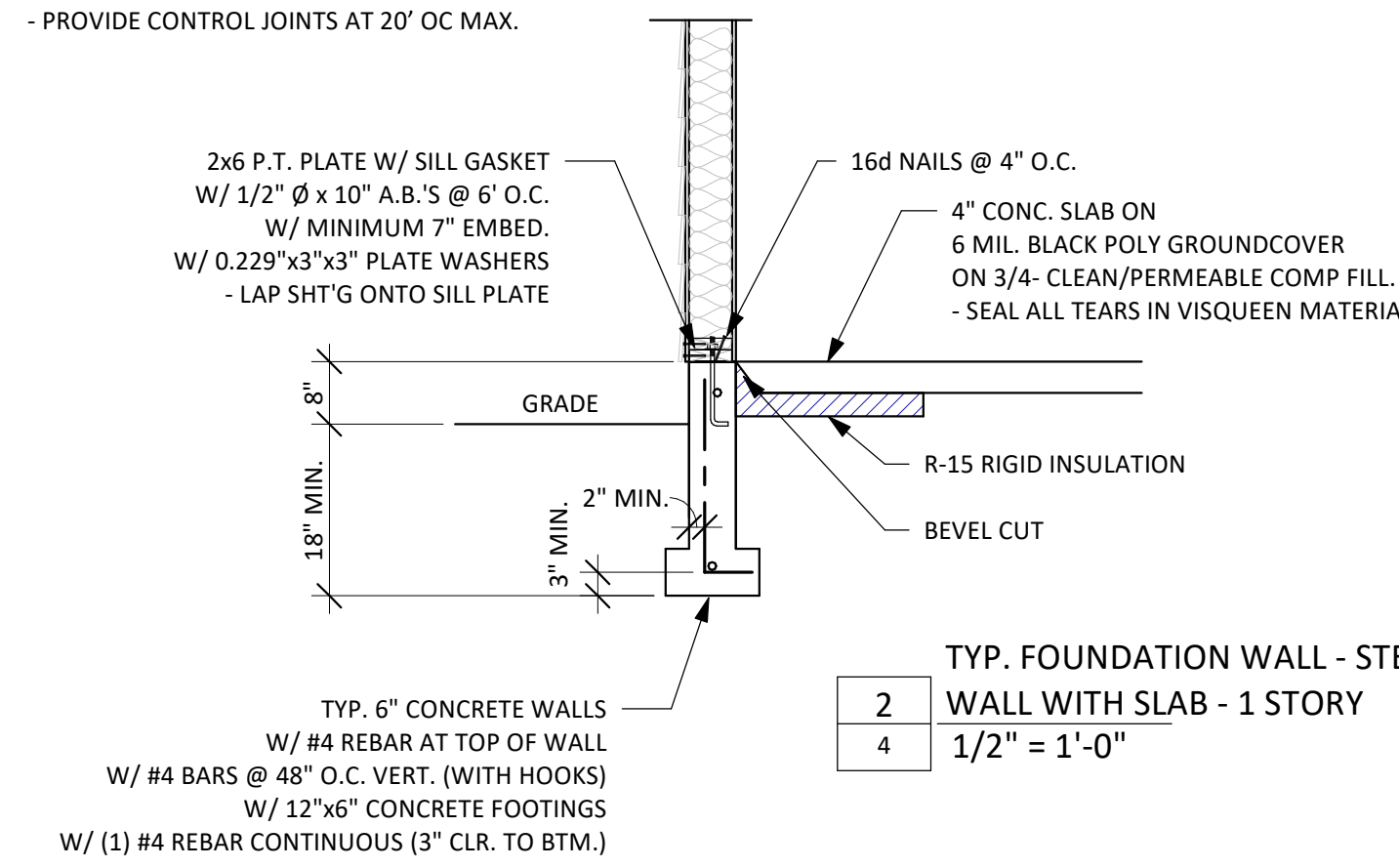
RADON CONTROL VENT UNDER SLAB
1/2" = 1'-0"

- GENERAL NOTES**
FLOOR SLAB:
- OPTIONAL 6/6x10/10 W.W.M.
- PROVIDE CONTROL JOINTS AT 20' OC MAX.

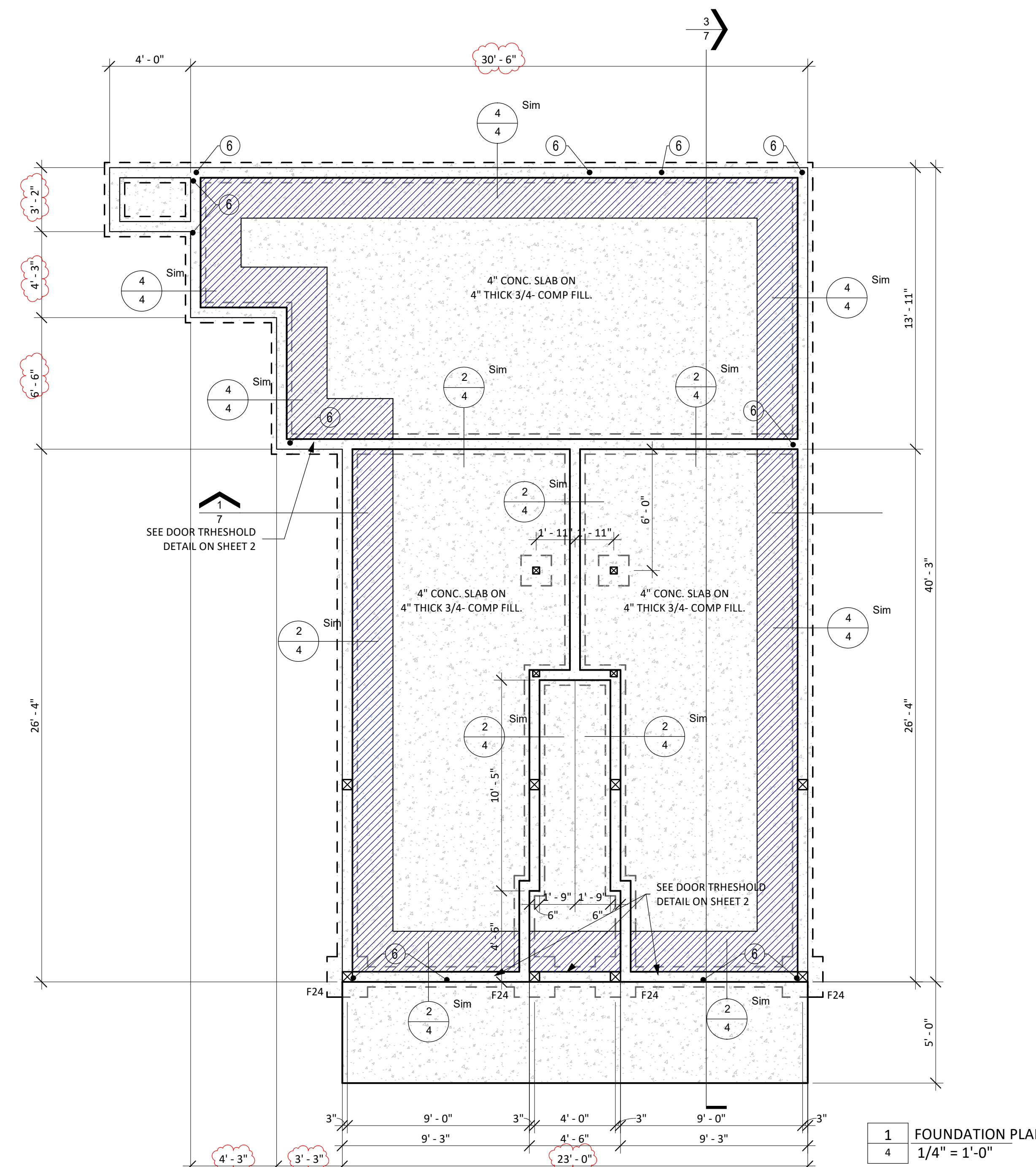


TYP. FOUNDATION WALL - STEM WALL WITH SLAB - 1 STORY - RETAINING
1/2" = 1'-0"

- GENERAL NOTES**
FLOOR SLAB:
- OPTIONAL 6/6x10/10 W.W.M.
- PROVIDE CONTROL JOINTS AT 20' OC MAX.

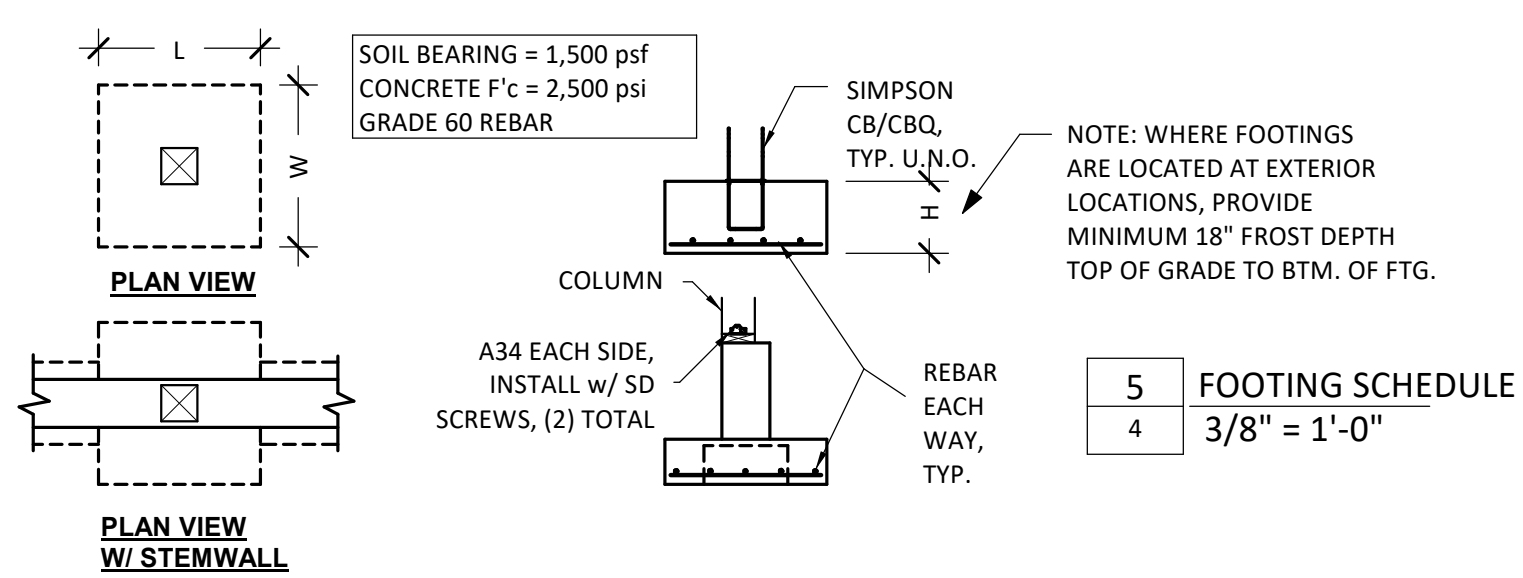


TYP. FOUNDATION WALL - STEM WALL WITH SLAB - 1 STORY
1/2" = 1'-0"



FOUNDATION PLAN
1/4" = 1'-0"

MARK	SIZE (L" X W" X H")	REBAR (EACH WAY TYP.)	CAPACITY kips
F18	18 X 18 X 12	(2) #4	3
F24	24 X 24 X 12	(2) #4	6



FOOTINGS SCHEDULE
3/8" = 1'-0"

CONCRETE FOUNDATION WALL - SEE DETAILS	CONCRETE SLABS
<ul style="list-style-type: none"> 6 MIL. BLACK POLY GROUNDCOVER SEAL ALL TEARS IN MATERIAL SEAL ALL PENETRATIONS AND CONNECTIONS TO FOUNDATION WALLS JOINTS LAPPED 12 AT SEAMS AND 	<ul style="list-style-type: none"> 4" CONC. SLAB w/ 6"x6" W1.4xW1.4 W.W.F. OVER 6" MIN. WASHED GRAVEL OVER 98% COMPACTED FILL ON UNDISTURBED SOIL. SLOPE TOWARD DOOR MIN 1/4":1'-0"
<ul style="list-style-type: none"> CONCRETE PAD FOOTING SIZE & REBAR PER PLAN MIN. 18" FROST DEPTH 	

- HOLD-DOWNS LOCATIONS SHOWN ARE APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE FOR THE PRECISE LOCATION. SEE SHEAR NOTES PAGE AND EMBEDMENT & HOLD-DOWN SPECIFICATIONS.

CRAWL SPACE FOUNDATION LEGEND
1/4" = 1'-0"

No.	Date	Issued by
2	11/17	

Project number: 13276
Date: 12/18/2025 7:43:36 AM
Drawn by: -
Area: -
Scale: As indicated

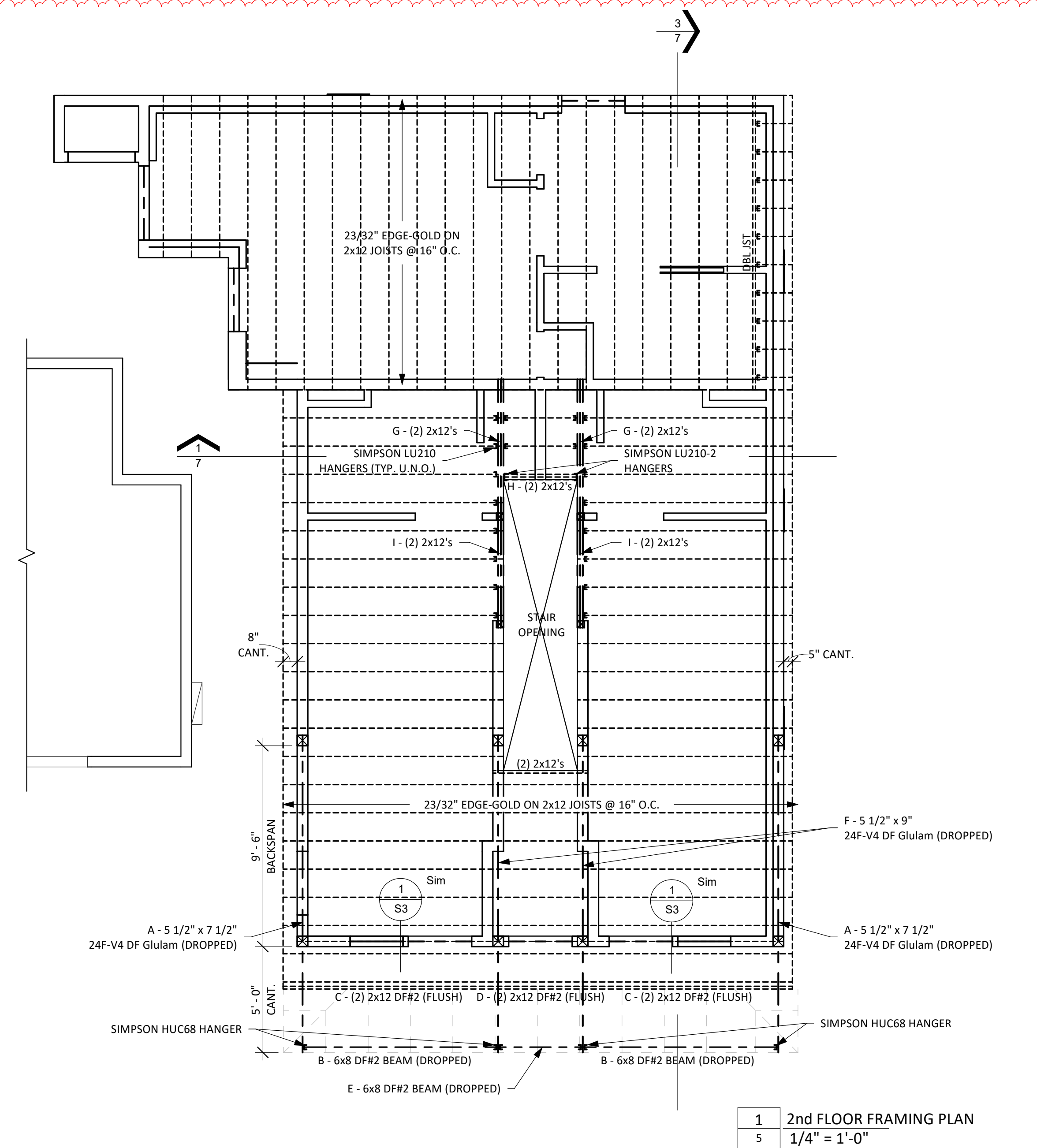
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TONY UZUEGBUNAM
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FRAMING PLAN

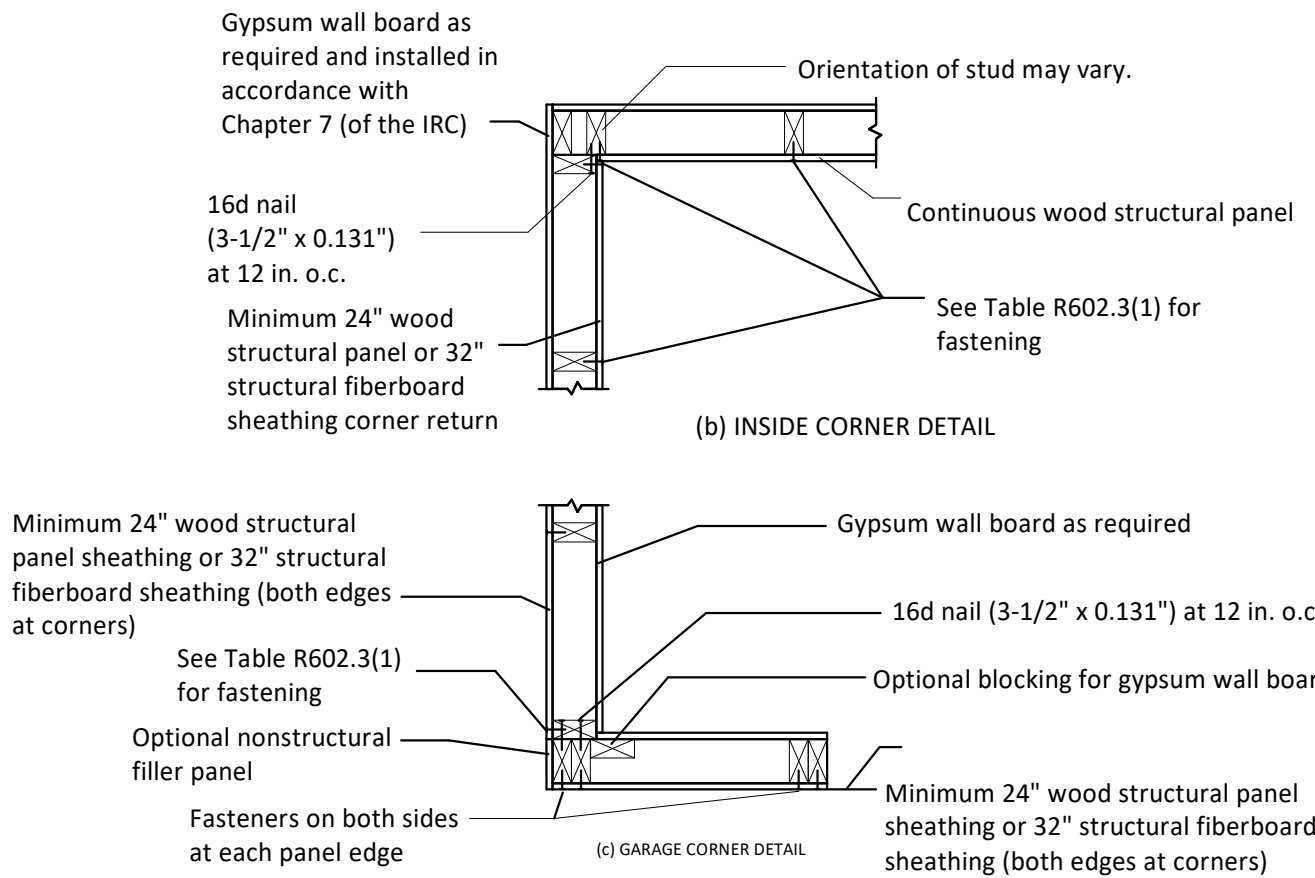
No.	Date	Issued by
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Project number: 13276
Date: 12/18/2025 7:43:38 AM
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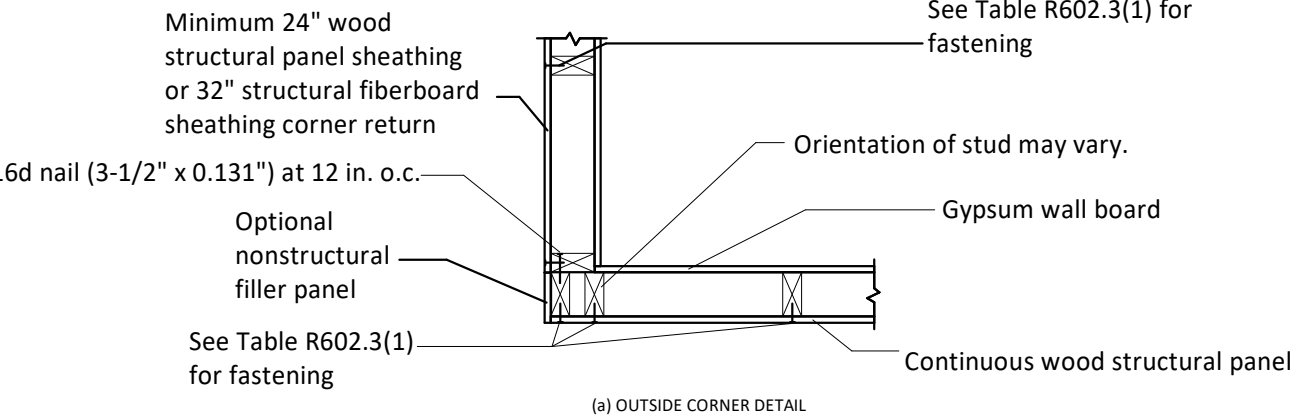
GA FILE NO. FC 5120	GENERIC	1 HOUR FIRE	50 to 54 STC SOUND
WOOD JOISTS, GYPSUM WALLBOARD, RESILIENT CHANNELS, GLASS FIBER INSULATION			
<p>One layer 1/2" type X gypsum wallboard or gypsum veneer base applied at right angles to resilient furring channels 24" o.c. with 1" Type S drywall screws 8" o.c. at ends and 12" o.c. at intermediate furring channels. Gypsum board end joints located midway between continuous channels and attached to additional pieces of channel 64" long with screws 8" o.c. Resilient furring channels applied at right angles to 2 x 10 wood joists 16" o.c. with 6d coated nails, 1 7/8" long, 0.085" shank, 1/4" heads, two per joist. Wood joists supporting 5/8" interior plywood with exterior glue subfloor and 3/4" particle board, 1.5 pcf, 3 1/2" glass fiber insulation batts, 0.7 pcf, friction fit in joist cavities supported alternately every 12" by wire rods and resilient furring channels.</p> <p>Sound tested with carpet and pad and with insulation stapled to joists.</p>			
		<p>Approx. Ceiling Weight: 2 psf Fire Test: FM FC-181, 8-31-72 Sound Test: G&H OC-3MT, 10-13-71 (73 C & P) IIC & Test: G&H OC-3MT, 10-13-71</p>	
GA FILE NO. FC - 5120 - 1-HR			
4 RATED			
5 1/2" = 1'-0"			



NOTE: FLOOR SYSTEM TO COMPLY WITH GA FILE NO. FC 5120.



2 TYPICAL CORNER FRAMING
5 1/2" = 1'-0"



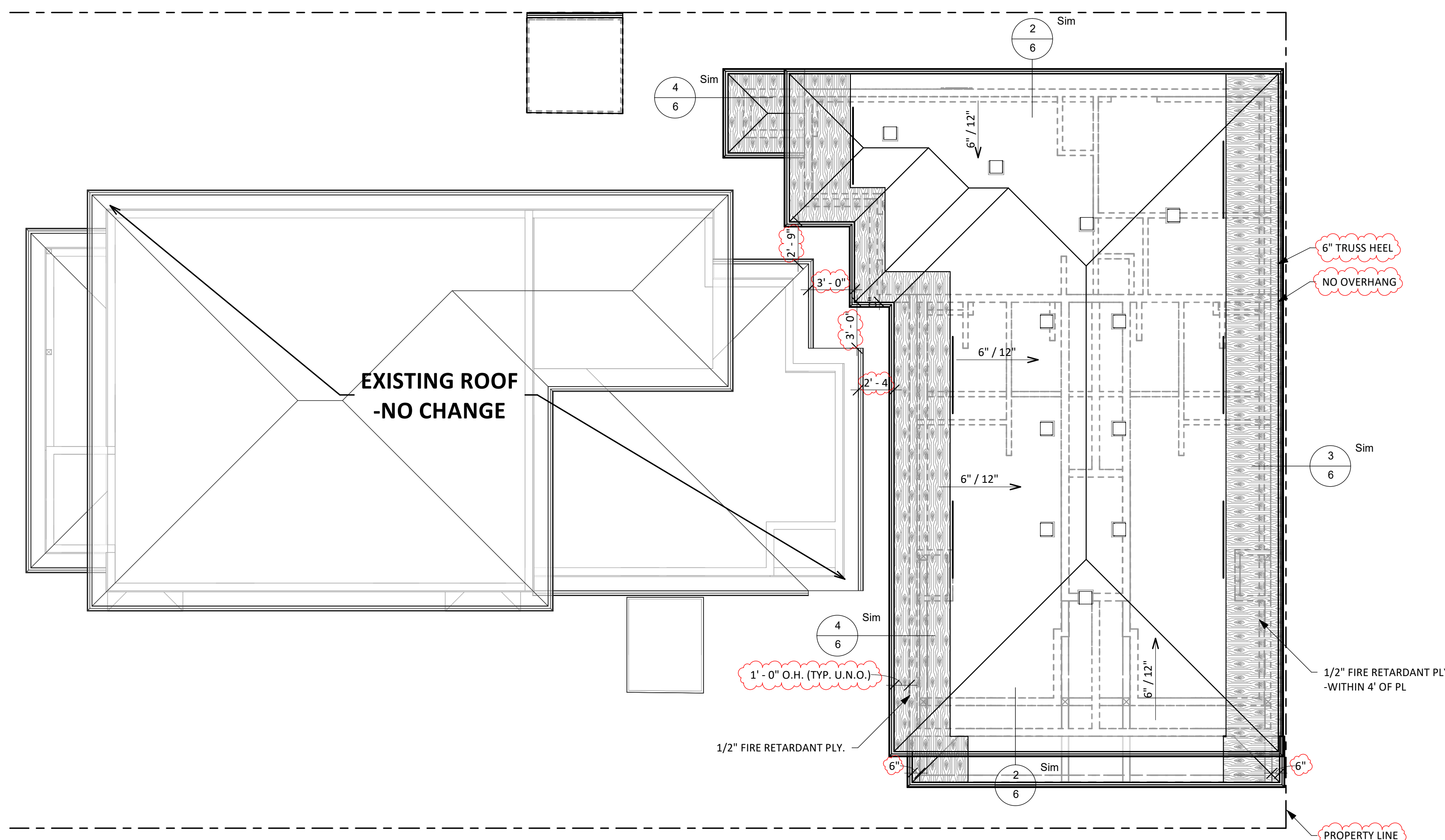
3 RIGID INSULATION AT HEADERS
5 1/2" = 1'-0"

SUPPORT 6X BEAMS AND 5 1/2" GLB'S WITH 4X6 POST, MINIMUM.
- SUPPORT 4X BEAMS AND 3 1/8" GLB'S WITH 4X4 POST, MINIMUM.
- ALL 2X AND 4X FRAMING SHALL BE DF-L NO. 2 MINIMUM.
- ALL 6X FRAMING SHALL BE DF-L NO. 2 MINIMUM.
- EXTERIOR DOORS AND WINDOWS ARE TO BE PROVIDED WITH 4x12 HEADERS, U.N.O.
- ALL EXTERIOR HEADERS SHALL BE SUPPORTED WITH 2X6 STUD AND KING STUDS AS LISTED IN TABLE 602.7.5, TYPICAL.
- INTERIOR NON-LOAD-BEARING HEADERS SHALL BE (2)2X6 U.N.O. SUPPORT WITH (2)2X4 STUDS, MAX SPAN=3'-0".
- EVERY ROOF TRUSS SHALL BE CONNECTED TO WALL TOP PLATES WITH SIMPSON H2.5A UPLIFT CLIPS.
- SIMPSON TOP FLANGE HANGERS SHALL BE TYPE LB, BA(MIN), OR HU.
- FACE MOUNT HANGERS SHALL BE LUC OR HUC TYPE HANGERS.
- ALL METAL HARDWARE IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE HOT-DIPPED-GALVANIZED OR ZINC-COATED.
- 6X BEAM TO 6X6 POST CONNECTOR SHALL BE SIMPSON PC6Z(MIN).
- 4X BEAM TO 4X POST CONNECTOR SHALL BE SIMPSON PCAZ
- EXTERIOR WALLS AT STAIRWELLS ARE TO BE BALLOON FRAMED FROM BOTTOM SOLE PLATE TO DOUBLE TOP PLATE.
R602.7.5 SUPPORTS FOR HEADERS
- HEADERS SHALL BE SUPPORTED ON EACH END WITH ONE OR MORE JACK STUDS OR WITH APPROVED FRAMING ANCHORS. THE FULL-HEIGHT STUD ADJACENT TO EACH END OF THE HEADER SHALL BE END NAILED TO EACH END OF THE HEADER WITH (4) 16d NAILS. THE MINIMUM NUMBER OF FULL HEIGHT STUDS AT EACH END OF HEADER SHALL BE IN ACCORDANCE WITH TABLE R602.7.5

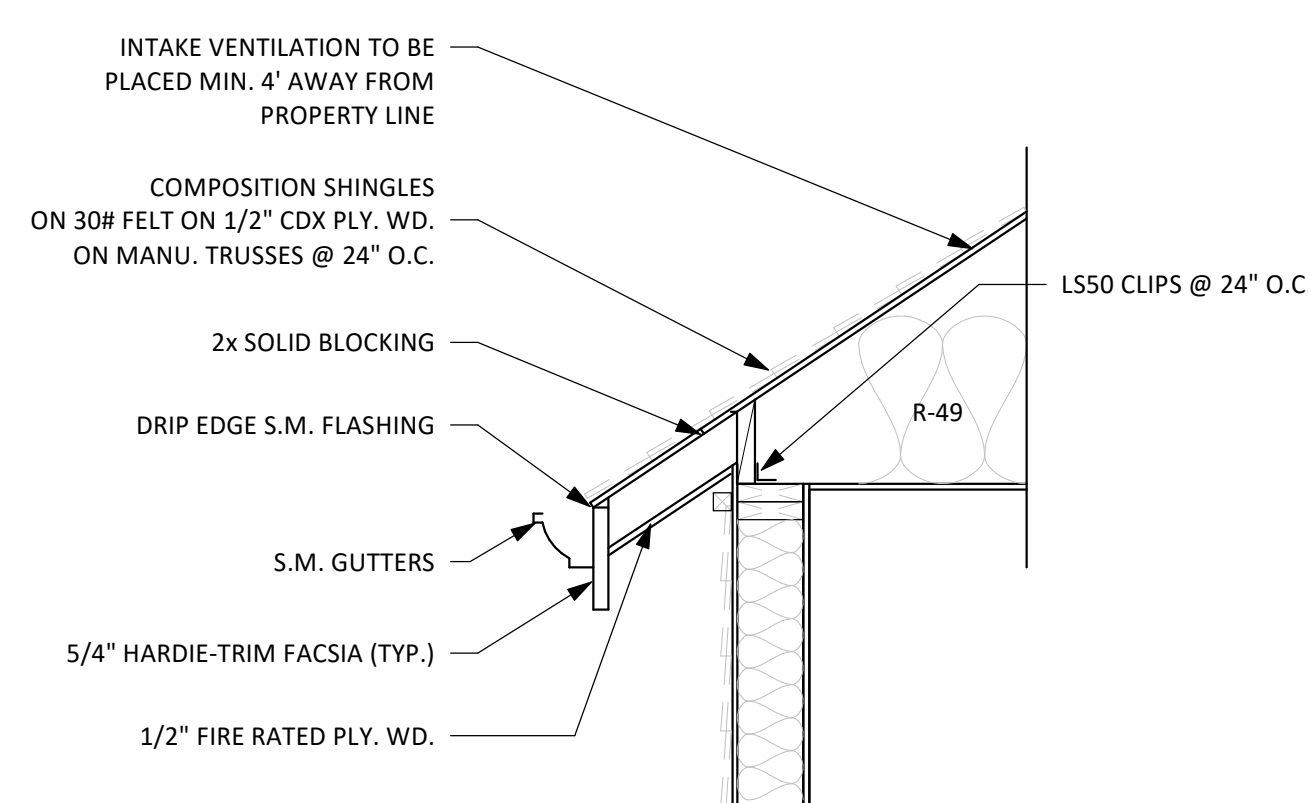
TABLE R602.7.5 MINIMUM NUMBER OF FULL HEIGHT STUDS AT EACH END OF HEADERS IN EXTERIOR WALLS	
HEADER SPAN (FEET)	
< 4'-8"	1
8'-18"	2

REQUIRED # OF FULL-HEIGHT STUDS PER TABLE R602.7.5
FRAMING LEGEND
1/4" = 1'-0"

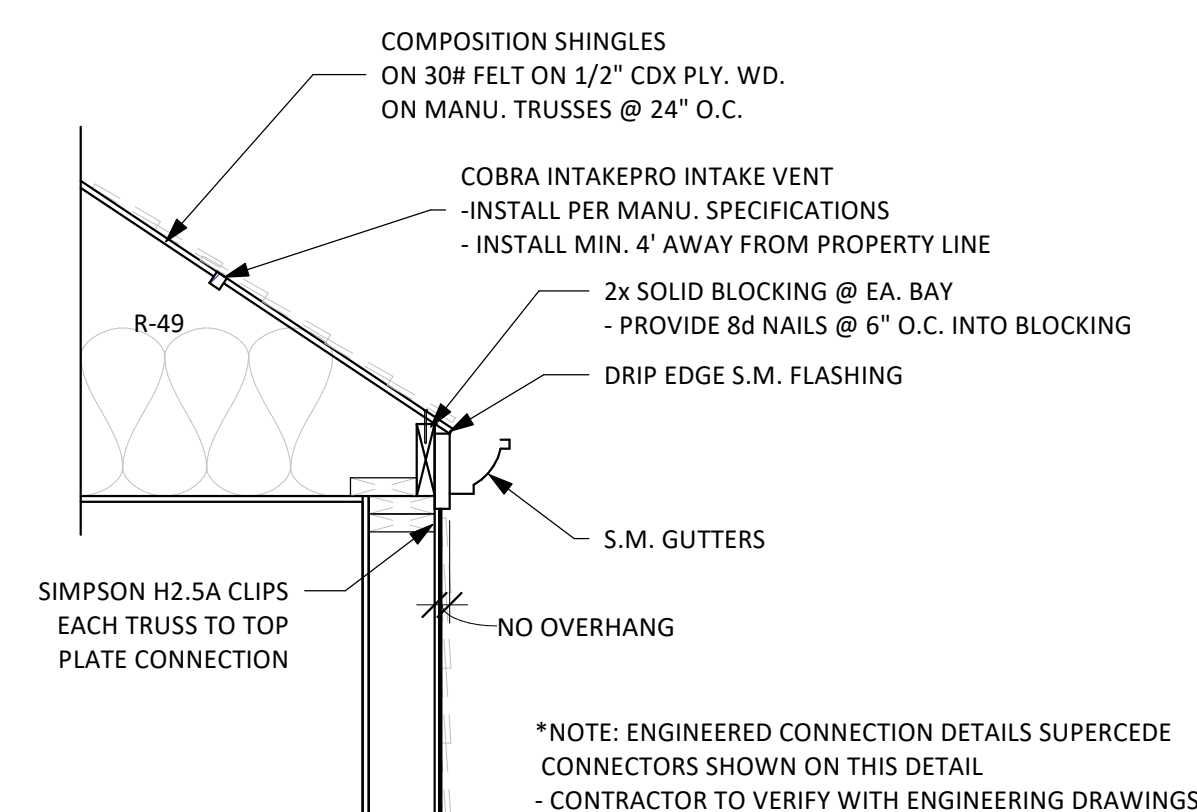
NOTE: ALL TRUSS HEELS TO BE 1'-1/8" U.N.O.



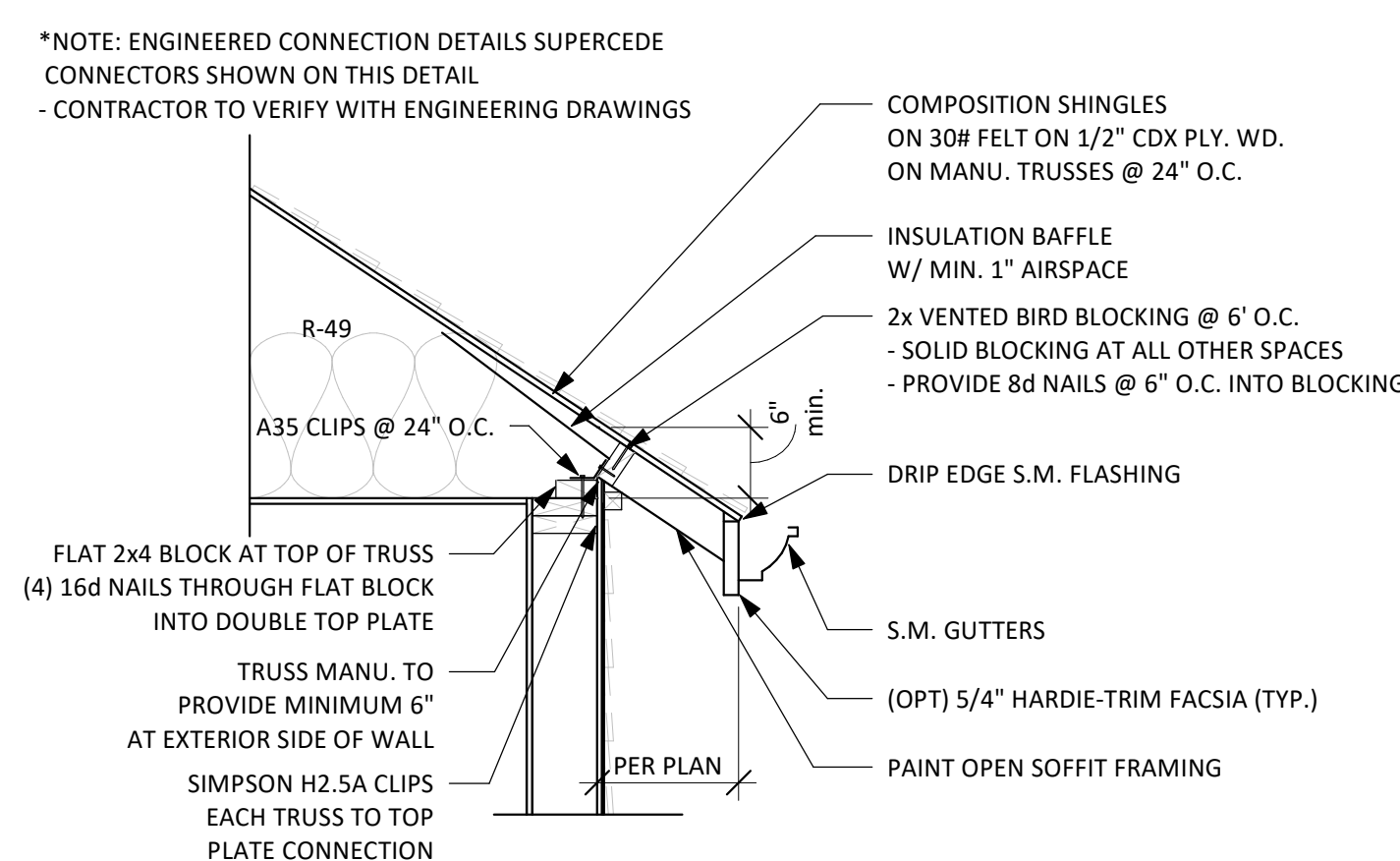
1 ROOF PLAN
6 3/16" = 1'-0"



4 FIRE RATED EAVE DETAIL
6 3/4" = 1'-0"



3 TRUSS DETAIL (W/ COBRA
INTAKEPRO INTAKE VENT)
6 3/4" = 1'-0"



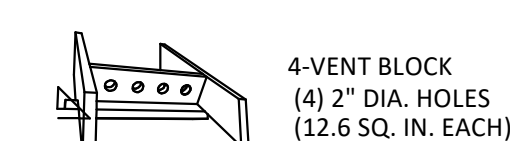
2 STANDARD TRUSS DETAIL
6 3/4" = 1'-0"

COMP. ROOFING ON 30# FELT ON 1/2" CDX PLY. WD. ON MANU. ROOF TRUSSES @ 24" O.C.
ROOF VENTS
S.M. GUTTERS
LINE OF WALLS BELOW

NOTES

- OVERFRAMING TO BE 2x6 RAFTERS @ 24" W/ MAX. 72" SPAN
- HIPS, RIDGES & ROOF PLATES TO BE 2x8 W/ 48" MAX. SPAN
- SUPPORT WITH 2x4 STUDS
- ALL GIRDER TRUSSES ARE TO BE SUPPORTED BY MINIMUM (3) 2x6 STUDS W/ 16d NAILS @ 6" O.C. STAGGERED U.N.O.
- ATTIC VENTILATION REQUIRED: THE ATTIC AREA MUST BE 1/150 OF THE AREA OF THE SPACE VENTILATED)
- ATTIC SPACE IS 1,099 S.F. ATTIC AREA
- ATTIC VENTS MUST PROVIDE MIN. 60 SQ. IN. (0.416 S.F.)
- 1,013 / 150 = 7.32 / 2 = 3.66 - 3.66 / .416 = 9 ATTIC VENTS REQUIRED
- .348 S.F. PER EAVE BLOCK PROVIDED - 3.66 / .348 = 11 EAVE BLOCKS REQUIRED

EAVE BLOCKING



ROOF PLAN LEGEND
1/4" = 1'-0"

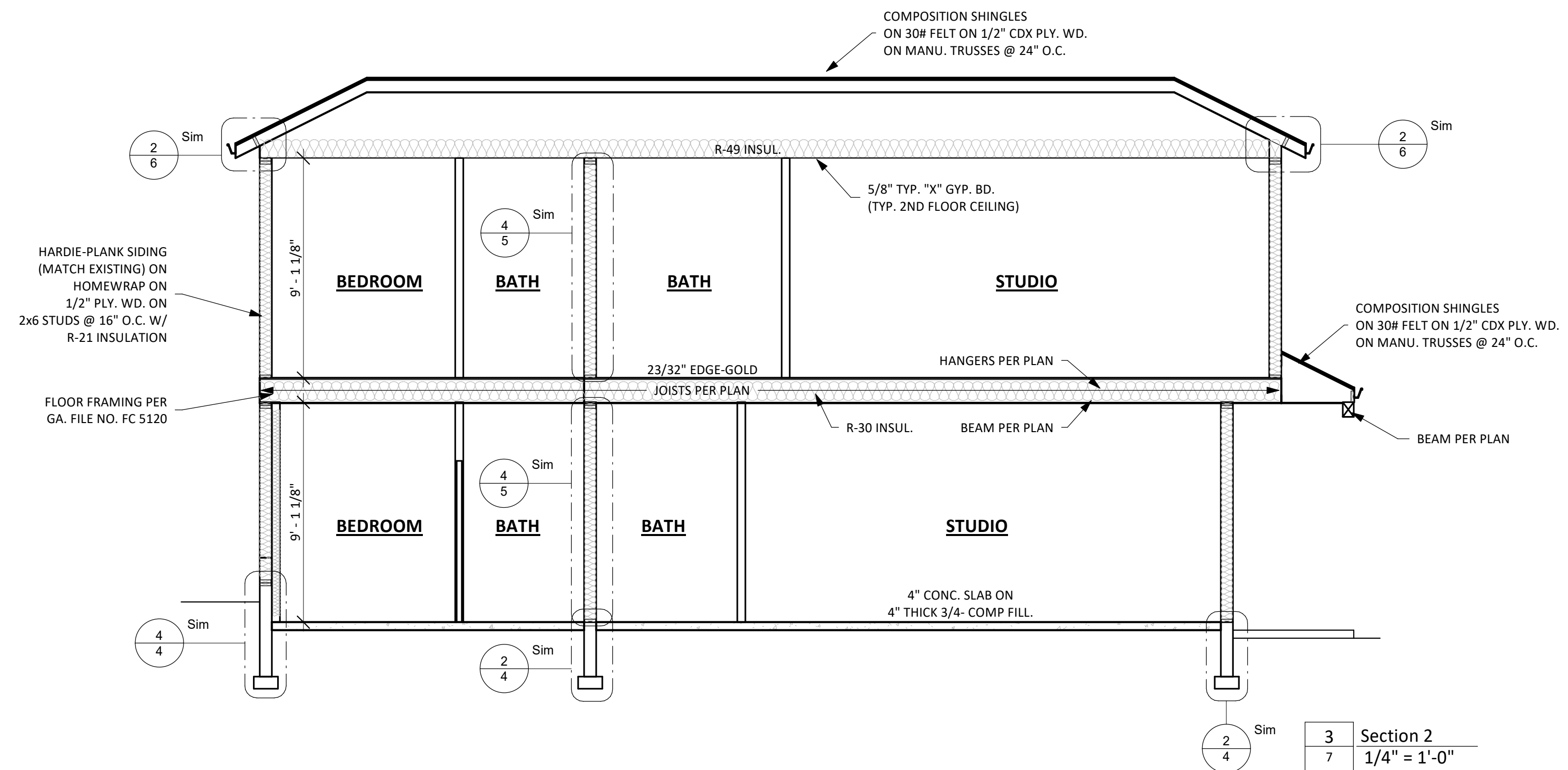
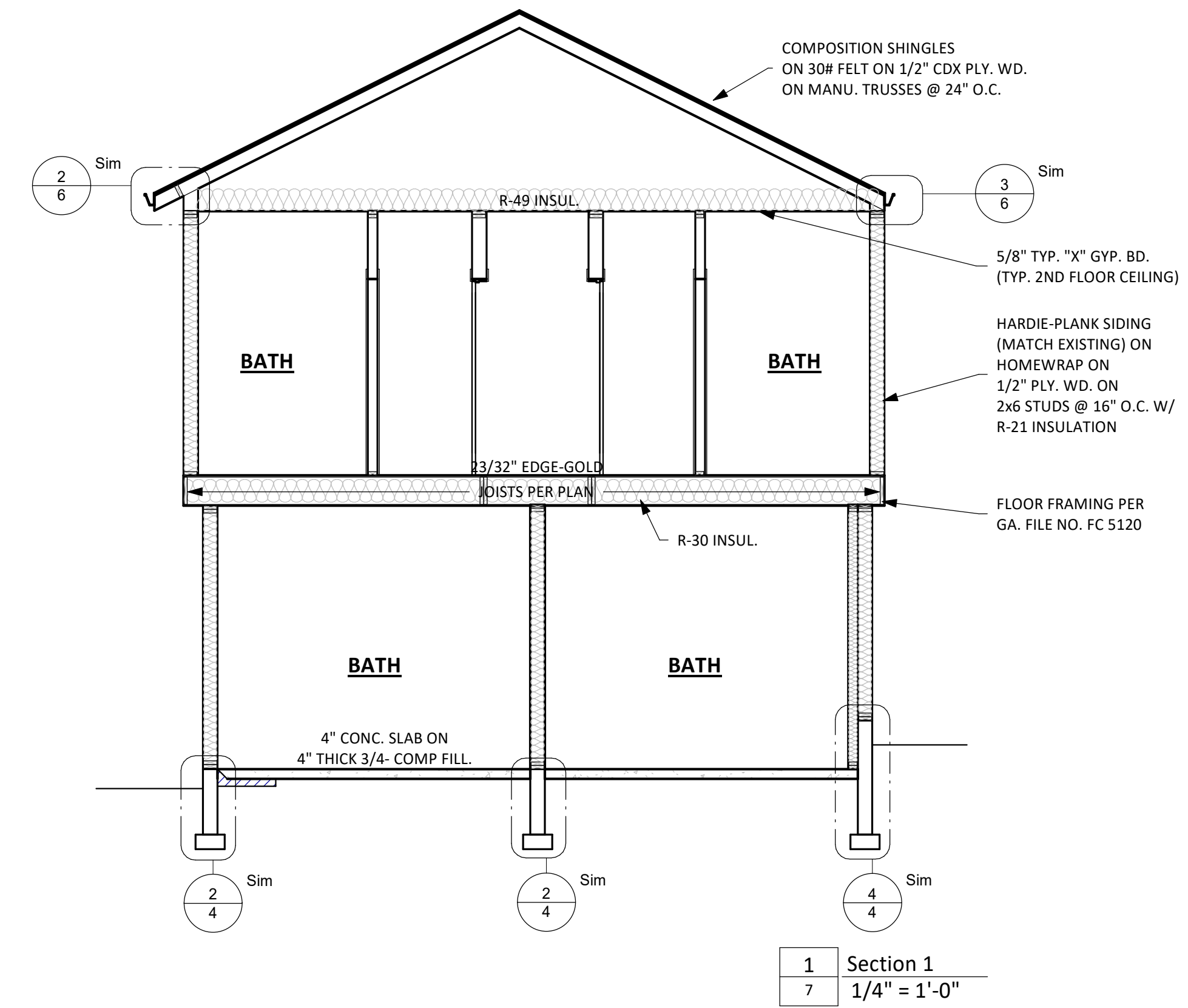
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ROOF PLAN

No.	Date	Issued by
1	10/29	
2	11/17	

Project number: 13276
Date: 12/18/2025 7:43:40 AM
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SECTIONS

No.	Date	Issued by
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Project number: 13276
 Date: 12/18/2025 7:43:41 AM
 Drawn by: KG
 Area:
 Scale: 1/4" = 1'-0"

PERMIT REQUIRED PRIOR TO START OF CONSTRUCTION

R105.1 REQUIRED: ANY OWNER OR OWNERS AUTHORIZED AGENT WHO INTENDS TO CONSTRUCT, ENLARGE, ALTER, REPAIR, MOVE OR CHANGE THE OCCUPANCY OF A BUILDING OR STRUCTURE, OR TO ERECT, INSTALL, ENLARGE, ALTER, REPAIR, REMOVE, CONVERT OR REPLACE ANY GAS OR MECHANICAL SYSTEM, THE INSTALLATION OF WHICH IS REGULATED BY THIS CODE, OR TO CAUSE ANY SUCH WORK TO BE PERFORMED, SHALL FIRST MAKE APPLICATION TO THE BUILDING OFFICIAL AND OBTAIN THE REQUIRED PERMIT

GENERAL CONDITIONS

1. ALL WORK SHALL CONFORM WITH THE LATEST ADOPTED ISSUE OF THE 2021 OREGON STRUCTURAL SPECIALTY CODE.
2. THE CONTRACTOR & BUILDING OWNER IS RESPONSIBLE FOR CAREFULLY CHECKING THE PLANS AND SITE CONDITIONS AND TO NOTIFY THE DESIGNER OF ANY ERRORS OR OMISSIONS PRIOR TO THE START OF CONSTRUCTION, IN WRITING. BUILDER'S DESIGN IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS DISCOVERED AFTER CONSTRUCTION HAS COMMENCED.
3. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. PLEASE CONTACT DESIGNER IF ADDITIONAL DIMENSIONS ARE NECESSARY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING DIMENSIONS ON SITE.
4. ALL GRADING SHOWN ON PLANS IS APPROXIMATE, CONTRACTOR IS TO BE RESPONSIBLE FOR DETERMINING ALL FINAL GRADING AND NOTIFYING DESIGNER IF CHANGES TO THE PLAN SET ARE NECESSARY.
5. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THAT PLANS MEET ALL STATE AND LOCAL BUILDING CODES, IN ADDITION TO WHAT IS SHOWN ON THE PLAN SET. BUILDER'S DESIGN WILL NOT BE HELD RESPONSIBLE FOR DAMAGES RELATING TO THE ACCURACY OF THE PLANS IN EXCESS OF THE FEE PAID TO BUILDER'S DESIGN.
6. ALL DETAILS SHOWN TO MEET COMPLIANCE WITH THE LATEST ADOPTED VERSION OF THE BUILDING CODE. CONTRACTOR IS RESPONSIBLE FOR ALL FINAL MATERIAL INSTALLATIONS (INCLUDING, BUT NOT LIMITED TO, INSULATION, FLASHING, ROOF, VENTILATION, ETC.). IT IS HIGHLY RECOMMENDED THAT A PROFESSIONAL BE CONSULTED FOR ALL INSTALLATION PROCEDURES. DESIGNER IS NOT RESPONSIBLE FOR FINAL INSTALLATION OF ASSEMBLIES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL CONDITIONS ARE MET.

SITE WORK

1. REMOVE TOP SOIL AND ORGANIC MATERIAL FROM THE BUILDING SITE, STOCKPILING ON SITE FOR FINAL GRADING IF NECESSARY.
2. FOOTINGS ARE TO BEAR ON UNDISTURBED LEVEL SOIL, STEPPED AS REQUIRED TO MAINTAIN THE REQUIRED DEPTH BELOW FINISH GRADE.
3. ANY FILL UNDER GRADE SUPPORTED CONCRETE SLABS TO BE 4" THICK (MIN.) 3/4 MINUS ROCK COMPACTED TO 95%.
4. CONCRETE SLABS TO BE 4" THICK, 3000 PSI AT 28 DAYS WITH CONTROL JOINTS AT 25' O/C (MAX.) EACH WAY
5. FINISH GRADES ARE TO REMAIN AT LEAST 6" BELOW FINISH SIDING.

FOUNDATIONS

1. CONCRETE - MIX AND 28 DAY STRENGTH OF CONCRETE
- BASEMENT WALLS, FOUNDATIONS AND OTHER CONCRETE NOT EXPOSED TO THE WEATHER 2,500 PSI
- BASEMENT SLABS AND INTERIOR SLABS ON GRADE, EXCEPT GARAGE FLOOR SLABS 2,500 PSI
- BASEMENT WALLS, FOUNDATION WALLS, EXTERIOR WALLS AND OTHER VERTICAL CONCRETE WORK EXPOSED TO THE WEATHER 3,000 PSI
- PORCHES, CARPORT SLABS AND STEPS EXPOSED TO THE WEATHER, AND GARAGE FLOOR SLABS 3,000 PSI
- f2. ALL REINFORCING STEEL TO BE A-615 GRADE 60, WELDED WIRE MESH TO BE A-185.
3. LAP ALL CONTINUOUS BARS 30 x DIA. (MIN.) PLACE ALL REINFORCING AS PER ACI CODES & STANDARDS.
4. PROVIDE A MINIMUM CLEARANCE OF 18" UNDER GIRDERS, BEAMS, OR JOISTS, IN CRAWL SPACES.
5. COVER ENTIRE CRAWL SPACE WITH 6 MIL. BLACK "WISQUEEN" AND EXTEND UP FOUNDATION WALLS AND FASTEN TO MUD SILL.
6. PROVIDE A MINIMUM OF 1 S.F. OF NET VENTILATION AREA FOR EACH 150 S.F. OF CRAWL SPACE AREA. VENTS ARE TO BE CLOSABLE AND HAVE 1/4" OPENINGS IN CORROSIVE RESISTANT SCREEN. POST NOTICE ABOUT OPENING VENTS NEAR ELECTRICAL PANEL.
7. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
8. BEAM POCKETS IN CONCRETE WALLS TO HAVE 1/2" AIR SPACE AT SIDES AND ENDS AND 3" OF BEARING (MIN.)
9. MUD SILLS TO BE 2x6 PRESSURE TREATED WOOD WITH 1/2" DIA. x 10" ANCHOR BOLTS SPACED 6'-0" O/C, OR PER SHEAR WALL SCHEDULE AND WITHIN 12" OF CORNERS. LAYOUT FOR 14' LONG 2x6 P.T. SILL PLATE, PROVIDE AB. EACH SIDE OF SILL SPLICES.

FLASHING & MOISTURE PROTECTION

1. CONTRACTOR TO PROVIDE A "WATER TIGHT ENCLOSURE" FOR THE VALLEY ENVIRONMENT, EMPLOYING THE HIGHEST QUALITY MATERIALS, CRAFTSMAN AND CONSTRUCTION METHODOLOGY, BOTH GENERAL AND SPECIFIC TO THE VALLEY
2. ALL EXTERIOR FLASHING ARE TO BE CONSTRUCTED WITH MIN. GAGE 28 EXPOSED & 30 GAGE CONCEALED, BAKED ENAMEL
3. FLASHING SHALL BE INSTALLED AT JUNCTIONS OF CHIMNEYS AND ROOFS, IN ROOF VALLEYS AND AROUND ALL ROOF OPENINGS, INCLUDING SKYLIGHTS, ROOF VENTS, ROOF EDGES BOTH RAKE AND EAVE.
4. FLASHING SHALL BE INSTALLED AROUND ALL EXTERIOR DOORS AND WINDOWS, TRANSITIONS BETWEEN SIDING AND ROOF.
5. ALL FLASHING TO BE INSTALLED PER "SMACNA" LATEST EDITION OF THE "ARCHITECTURAL SHEET METAL MANUAL".
6. BUILDING WRAP OF "TYVEK" OR SAME TO BE INSTALLED PER MANUFACTURERS INSTRUCTIONS, INCLUDING WRAPPING WINDOW AND DOOR OPENINGS AND TAPING JOINTS.
7. FLASHING FOR WINDOWS. INSTALL ADHESIVE FLASHING THE WIDTH OF SILL AND UP 12" EACH JAMB, AND LAP ENTIRE LENGTH OF JAMB, AND LAP ADHESIVE FLASHING THE WIDTH OF HEAD AND LAP 12" DOWN EACH JAMB. (DETAIL)
8. ALL PRODUCTS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS. DESIGNER TAKES NO RESPONSIBILITY FOR INSTALLATION.

TABLE R602.3(1) - FASTENING SCHEDULE			
ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER & TYPE OF FASTENER ^{A,B,C}	SPACING AND LOCATION
ROOF			
1	BLOCKING BETWEEN CEILING JOISTS OR RAFTERS TO TOP PLATE	4-8d box (2-1/2" x 0.113")	TOE NAIL
2	CEILING JOISTS TO TOP PLATE	4-8d box (2-1/2" x 0.113")	PER JOIST, TOE NAIL
3	CEILING JOIST NOT ATTACHED TO PARALLEL RAFTER, LAPS OVER PARTITIONS (SEE SECTION R802.5.2 AND TABLE R802.5.2)	4-10d box (3" x 0.128")	FACE NAIL
4	CEILING JOIST ATTACHED TO PARALLEL RAFTER (HEEL JOINT) (SEE SECTION R802.5.2 AND TABLE R802.5.2)	Table R802.5.2	FACE NAIL
5	COLLAR TIE TO RAFTER, FACE NAIL OR 1-1/4" x 20 GA. RIDGE STRAP TO RAFTER	4-10d box (3" x 0.128")	FACE NAIL EACH RAFTER
6	RAFTER OR ROOF TRUSS TO PLATE	3-16d box nails (3-1/2" x 0.135")	2 TOE NAILS ON ONE SIDE AND 1 TOE NAIL ON OPPOSITE SIDE OF EACH RAFTER OR TRUSS ¹
7	ROOF RAFTERS TO RIDGE, VALLEY OR HIP RAFTERS OR ROOF RAFTER TO MINIMUM 2" RIDGE BEAM	4-16d (3-1/2" x 0.135") 3-16d box (3-1/2" x 0.135")	TOE NAIL END NAIL
WALL			
8	STUD TO STUD (NOT AT BRACED WALL PANELS)	16d common (3-1/2" x 0.162")	24" O.C. FACE NAIL
9	STUD TO STUD AND ABUTTING STUDS AT INTERSECTING WALL CORNERS (AT BRACED WALL PANELS)	16d common (3-1/2" x 0.162")	16" O.C. FACE NAIL
10	BUILT-UP HEADER (2" TO 2" HEADER WITH 1/2" SPACER)	16d common (3-1/2" x 0.162")	16" O.C. EACH EDGE FACE NAIL
11	CONTINUOUS HEADER TO STUD	5-8d box (2-1/2" x 0.113")	TOE NAIL
12	TOP PLATE TO TOP PLATE	16d common (3-1/2" x 0.162")	16" O.C. FACE NAIL
13	DOUBLE TOP PLATE SPLICE	8-16d common (3-1/2" x 0.162")	FACE NAIL ON EACH SIDE OF END JOINT (MINIMUM 24" LAP SPLICE LENGTH EACH SIDE OF END JOINT)
14	BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS)	16d common (3-1/2" x 0.162")	16" O.C. EACH FACE NAIL
15	BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (AT BRACED WALL PANEL)	3-16d box (3-1/2" x 0.135")	3 EACH 16" O.C. FACE NAIL
16	TOP OR BOTTOM PLATE TO STUD	4-8d box (2-1/2" x 0.113") 3-16d box (3-1/2" x 0.135")	TOE NAIL END NAIL
17	TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS	3-10d box (3" x 0.128")	FACE NAIL
18	1" BRACE TO EACH STUD AND PLATE	3-8d box (2-1/2" x 0.113")	FACE NAIL
19	1" x 6" SHEATHING TO EACH BEARING	3-8d box (2-1/2" x 0.113")	FACE NAIL
20	1" x 8" AND WIDER SHEATHING TO EACH BEARING	3-8d box (2-1/2" x 0.113")	FACE NAIL

NOTE: SEE TABLE R602.3(1) FOR ADDITIONAL FASTENER DETAILS

1	GENERAL NOTES
9	1/4" = 1'-0"

FRAMING

1. WOOD FRAMING MEMBER GRADES ARE AS FOLLOWS UNLESS OTHERWISE NOTED ON THE DRAWINGS:
 - A. POSTS, BEAMS, HEADERS, JOISTS AND RAFTERS - MIN. # 2 DOUG FIR OR LVL'S - 2650 FB & 1.8E
 - B. PLATES, BLOCKING AND BRIDGING - NO. 3 DOUG FIR
 - C. STUDS - STUD GRADE DOUG FIR
 - D. T&G DECKING - STUD & BETTER GRADE DOUG FIR
 - E. WALL SHEATHING - 7/16" OSB
 - F. GLU-LAM - 24-F V-4 (OR 24-F V-8 PER PLAN)
2. UNLESS OTHERWISE NOTED ON DRAWINGS, ALL EXTERIOR WINDOW AND DOOR HEADERS ARE TO BE 4x12 DOUG FIR NO. 2
3. PROVIDE DOUBLE JOISTS UNDER ALL BEARING PARTITIONS.
4. DESIGN LOADS: ROOF - 25 P.S.F. (LL)
FLOOR - 40 P.S.F. (LL)
STAIRS - 100 P.S.F. (LL)
GARAGE FLOOR - 50 P.S.F. (LL)
DECKS - 60 P.S.F. (LL)
5. SOIL BEARING PRESSURE IS ASSUMED TO BE 1500 P.S.F.
6. DECK AND BALCONY GUARDRAILS TO BE 36" HIGH WITH MAXIMUM OPENING SPACES SO THAT A 4" SPHERE CAN NOT PASS THROUGH.
7. PROVIDE SIMPSON H2.5A TRUSS CONNECTORS AT EACH TRUSS/RAFTER - UNLESS NOTED OTHERWISE ON PLAN
8. ALL EXTERIOR FASTENERS, EXPOSED TO THE ELEMENTS TO BE STAINLESS STEEL OR GALVANIZED. INCLUDING NAIL, STAPLES, CLIPS, ETC.

GYPSUM BOARD FINISH

1. ERECT SINGLE LAYER 1/2" STANDARD, 5/8" F.R. AND 1/2" MOISTURE RESISTANT GYPSUM BOARD IN MOST ECONOMICAL DIRECTIONS, WITH ENDS OCCURRING OVER FIRM BACKING.

ROOF VENTILATION

R806.1 VENTILATION REQUIRED.

ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. VENTILATION OPENINGS SHALL HAVE AT LEAST DIMENSION OF 1/16" MINIMUM AND 1/4" MAXIMUM. VENTILATION OPENINGS HAVING AT LEAST DIMENSION LARGER THAN 1/4" SHALL BE PROVIDED WITH CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH, OR SIMILAR MATERIAL. OPENINGS IN ROOF FRAMING MEMBERS SHALL CONFORM WITH THE REQUIREMENTS OF SECTION R802.7.

R806.2 MINIMUM AREA.

THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT REDUCTION OF THE TOTAL AREA TO 1/300 IS PERMITTED PROVIDED THAT AT LEAST 50% AND NOT MORE THAN 80% OF THE REQUIRED VENTILATING AREA IS PROVIDED WITH VENT OPENINGS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED

AT LEAST 3' ABOVE THE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS, AS AND ALTERNATIVE, THE NET FREE CROSS-VENTILATION AREA MAY BE REDUCED TO 1/300 WHEN A VAPOR RETARDER HAVING A TRANSMISSION RATE NOT EXCEEDING 1 PERM IS INSTALLED ON THE WARM IN WINTER SIDE OF THE CEILING.

R806.3 VENT AND INSULATION CLEARANCE.

WHERE EAVE OR CORNICE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1 INCH SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING AND AT THE LOCATION OF THE VENT.

R05.2.2 UNDERLAYMENT APPLICATION

- FOR ROOF SLOPES FROM 2 UNITS VERTICAL IN 12 UNITS HORIZONTAL UP TO 4 UNITS VERTICAL IN 12 UNITS HORIZONTAL, UNDERLAYMENT SHALL BE TWO LAYERS APPLIED IN THE FOLLOWING MANNER: APPLY A 19 INCH STRIP OF UNDERLAYMENT FELT PARALLEL TO AND STARTING AT THE EAVES, FASTENED SUFFICIENTLY TO HOLD IN PLACE. STARTING AT THE EAVE, APPLY 36 INCH WIDE SHEETS OF UNDERLAYMENT, OVERLAPPING SUCCESSIVE SHEETS 19 INCHES, AND FASTENED SUFFICIENTLY TO HOLD IN PLACE. DISTORTIONS IN THE UNDERLAYMENT SHALL NOT INTERFERE WITH THE ABILITY OF THE SHINGLES TO SEAL.
-FOR ROOF SLOPES OF 4 UNITS IN 12 OR GREATER, UNDERLAYMENT SHALL BE ONE LAYER APPLIED IN THE FOLLOWING MANNER: UNDERLAYMENT SHALL BE APPLIED SHINGLE FASHION, PARALLEL TO AND STARTING FROM THE EAVE AND LAPPED 2 INCHES, FASTENED SUFFICIENTLY TO HOLD IN PLACE. DISTORTIONS IN THE UNDERLAYMENT SHALL NOT INTERFERE WITH THE ABILITY OF THE SHINGLES TO SEAL. END LAPS SHALL BE OFFSET BY 6".

TABLE R602.3(1) FASTENING SCHEDULE			
ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER & TYPE OF FASTENER ^{A,B,C}	SPACING AND LOCATION
FLOOR			
21	JOIST TO SILL, TOP PLATE OR GIRDER	4-8d box (2-1/2" x 0.113")	TOE NAIL
22	RIM JOIST, BAND JOIST OR BLOCKING TO SILL OR TOP PLATE (ROOF APPLICATIONS ALSO)	8d common (2-1/2" x 0.131")	6" O.C. TOE NAIL
23	1" x 6" SUBFLOOR OR LESS TO EACH JOIST	3-8d box (2-1/2" x 0.113")	FACE NAIL
FLOOR			
24	2" SUBFLOOR TO JOIST OR GIRDER	3-16d box (3-1/2" x 0.135")	BLIND AND FACE NAIL
25	2" PLANKS (PLANK & BEAM—FLOOR & ROOF)	3-16d box (3-1/2" x 0.135")	AT EACH BEARING, FACE NAIL
26	BAND OR RIM JOIST TO JOIST	3-16d common (3-1/2" x 0.162")	END NAIL
27	BUILT-UP GIRDERS AND BEAMS, 2-INCH LUMBER LAYERS	20d common (4" x 0.192") And: 2-20d common (4" x 0.192")	NAIL EACH LAYER AS FOLLOWS: 32" O.C. AT TOP AND BOTTOM AND STAGGERED. FACE NAIL AT ENDS AND AT EACH SPLICE
28	LEDGER STRIP SUPPORTING JOISTS OR RAFTERS	4-16d box (3-1/2" x 0.135")	AT EACH JOIST OR RAFTER, FACE NAIL
29	BRIDGING OR BLOCKING TO JOIST	2-10d box (3" x 0.128")	EACH END, TOE NAIL
ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER & TYPE OF FASTENER ^{A,B,C}	SPACING OF FASTENERS
WOOD STRUCTURAL PANELS, SUBFLOOR, ROOF AND INTERIOR WALL SHEATHING TO FRAMING AND PARTICLEBOARD WALL SHEATHING TO FRAMING [SEE TABLE R602.3(3) FOR WOOD STRUCTURAL PANEL EXTERIOR WALL SHEATHING TO WALL FRAMING]			
30	3/8" — 1/2"	6d common (2" x 0.113") nail (subfloor, wall) 8d common (2-1/2" x 0.131") nail (roof)	6 12'
31	19/32" — 1"	8d common nail (2-1/2" x 0.131")	6 12'
32	1-1/8" — 1-1/4"	10d common (3" x 0.148") nail	6 12
OTHER WALL SHEATHING¹			
33	1/2" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING	1-1/2" galvanized roofing nail	3 6
34	25/32" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING	1-3/4" galvanized roofing nail	3 6
35	1/2" GYPSUM SHEATHING ²	1-1/2" galvanized roofing nail	7 7
36	5/8" GYPSUM SHEATHING ²	1-3/4" galvanized roofing nail	7 7
WOOD STRUCTURAL PANELS, COMBINATION SUBFLOOR UNDERLAYMENT TO FRAMING			
37	3/4" AND LESS	6d deformed (2" x 0.120") nail	6 12
38	7/8" — 1"	8d common (2-1/2" x 0.131") nail	6 12
39	1-1/8" — 1-1/4"	10d common (3" x 0.148") nail	6 12

For Sl: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 mile per hour = 0.447 m/s; 1 ksi = 6.895 MPa.

- Nails are smooth-common, box or deformed shanks except where otherwise stated. Nails used for framing and sheathing connections shall have minimum average bending yield strengths as shown: 80 ksi for shank diameter of 0.192 inch (20d common nail), 90 ksi for shank diameters larger than 0.142 inch but not larger than 0.177 inch, and 100 ksi for shank diameters of 0.142 inch or less.
- Staples are 16 gage wire and have a minimum 7/16-inch on diameter crown width.
- Nails shall be spaced at not more than 6 inches on center at all supports where spans are 48 inches or greater.
- Four-foot by 8-foot panels shall be applied vertically.
- Spacing of fasteners not included in this table shall be based on Table R602.3(2).
- For wood structural panel roof sheathing attached to gable end roof framing and to intermediate supports within 48 inches of roof edges and ridges, nails shall be spaced at 6 inches on center where the basic design wind speed, V, is less than 130 mph and shall be spaced 4 inches on center where the basic design wind speed, V, is 130 mph or greater but less than 140 mph.
- Gypsum sheathing shall conform to ASTM C1396 and shall be installed in accordance with GA 253. Fiberboard sheathing shall conform to ASTM C208.
- Spacing of fasteners on floor sheathing panel edges applies to panel edges supported by framing members and required blocking and at floor perimeters only. Spacing of fasteners on roof sheathing panel edges applies to panel edges supported by framing members and required blocking. Blocking of roof or floor sheathing panel edges perpendicular to the framing members need not be provided except as required by other provisions of this code. Floor perimeter shall be supported by framing members or solid blocking.
- Where a rafter is fastened to an adjacent parallel ceiling joist in accordance with this schedule, provide two toe nails on one side of the rafter and toe nails from the ceiling joist to top plate in accordance with this schedule. The toe nail on the opposite side of the rafter shall not be required.
- RSRS-01 is a Roof Sheathing Ring Shank nail meeting the specifications in ASTM F1667.

HEALTH AND SAFETY:

ALL NEW SMOKE AND CO ALARMS SHALL BE HARDWIRED WITH BATTERY BACKUP AND INTERCONNECTED WITHIN THE DWELLING UNIT ONLY SMOKE ALARMS SHALL BE LOCATED WITHIN EACH SLEEPING ROOM, IMMEDIATELY OUTSIDE OF EACH SLEEPING ROOM, AND ON EACH LEVEL OF THE DWELLING.
CO ALARMS SHALL BE LOCATED WITHIN 15' OUTSIDE OF EACH BEDROOM DOOR.
ALL ALARMS SHALL BE CROSS LISTED FOR INTERCONNECTION.

FANS AND SMOKE DETECTORS

FANS IN BATHING AREAS SHALL BE CONTROLLED BY TIMER.
SMOKE DETECTORS SHALL BE 110V BATTERY BACKUP.

ENTRY ROUTES:

CONDENSATE DRAINS:

CONDENSATE DRAINS SHALL BE TRAPPED OR ROUTED THROUGH NON-PERFORATED PIPE TO DAYLIGHT

SUMPS:

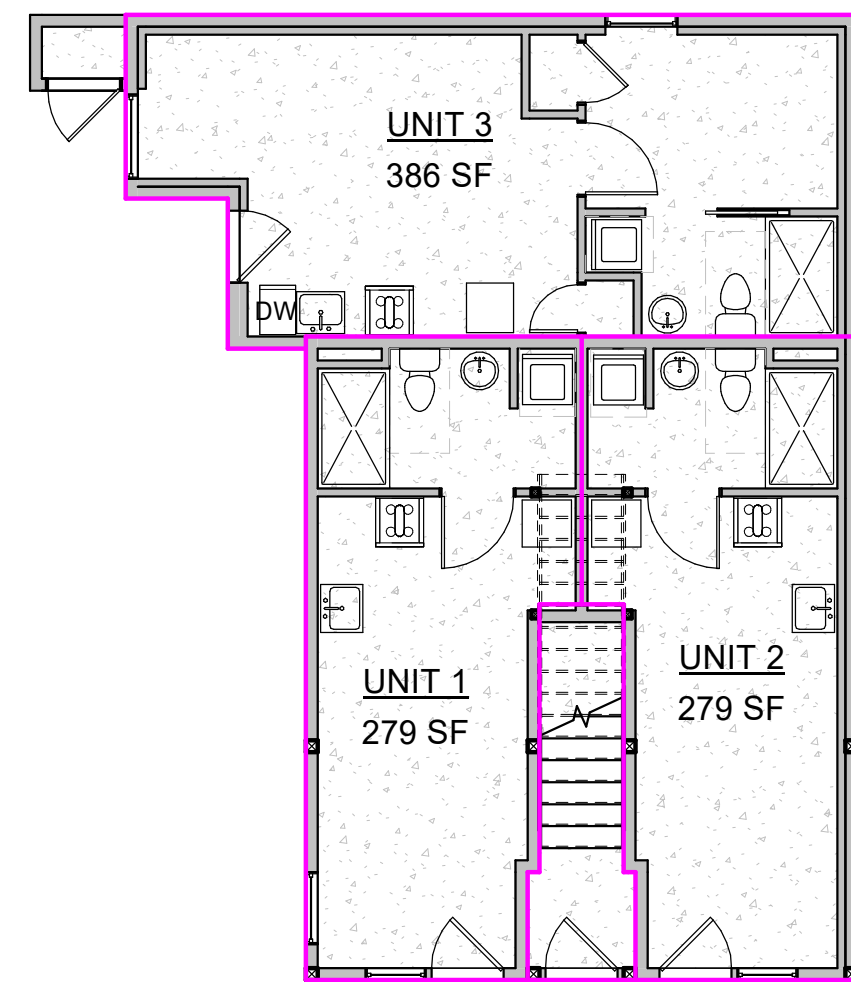
SUMP PITS OPEN TO SOIL OR SERVING AS TERMINATION POINT FOR SUB-SLAB OR EXTERIOR DRAIN TILE LOOPS SHALL BE COVERED WITH GASKETED OR OTHERWISE SEALED LID. SUMPS USED AS THE SUCTION POINT IN A SUB-SLAB DEPRESSURIZATION SYSTEM SHALL HAVE A LID DESIGNED TO ACCOMMODATE THE VENT PIPE. SUMPS USED AS A FLOOR DRAIN SHALL HAVE A LID EQUIPPED WITH TRAPPED INLET

SOLAR READY CONNECTION

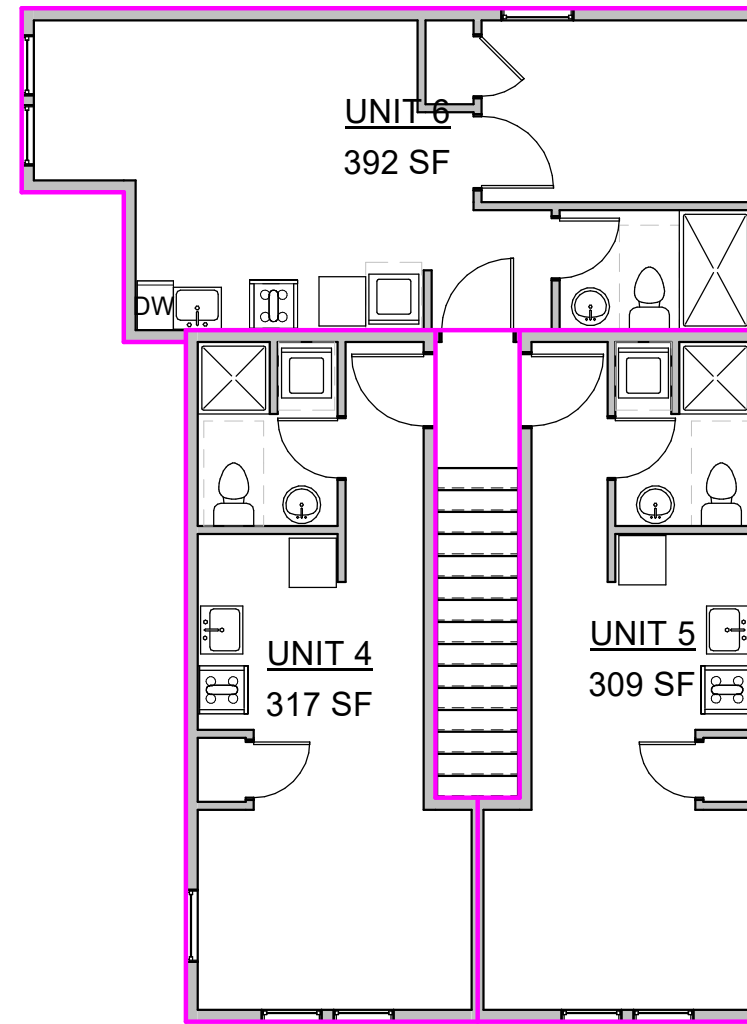
SOLAR READY SOLAR INTERCONNECTION PATHWAY. A SQUARE METAL JUNCTION BOX NOT LESS THAN 4 INCHES BY 4 INCHES WITH A METAL BOX COVER SHALL BE PROVIDED WITHIN 24 INCHES HORIZONTALLY OR VERTICALLY OF THE MAIN ELECTRICAL PANEL. A MINIMUM 3/8-INCH RIGID METAL RACEWAY SHALL EXTEND FROM THE JUNCTION BOX TO A CAPPED ROOF TERMINATION OR TO AN ACCESSIBLE LOCATION IN THE ATTIC WITH A VERTICAL CLEARANCE OF NOT LESS THAN 36 INCHES.

WINDOW GLAZING – SECTION 312.2

R308.4 HAZARDOUS LOCATIONS. THE LOCATIONS SPECIFIED IN SECTIONS R308.4.1 THROUGH R308.4.7 SHALL BE CONSIDERED TO BE SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSES OF GLAZING.
- CONTRACTOR TO VERIFY REQUIRED TEMPERED GLAZING CONDITIONS



2 1st FLOOR
9 1/8" = 1'-0"



3 2nd FLOOR
9 1/8" = 1'-0"



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GENERAL NOTES & DETAILS

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Project number: 13276
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Area: -
Scale: As indicated

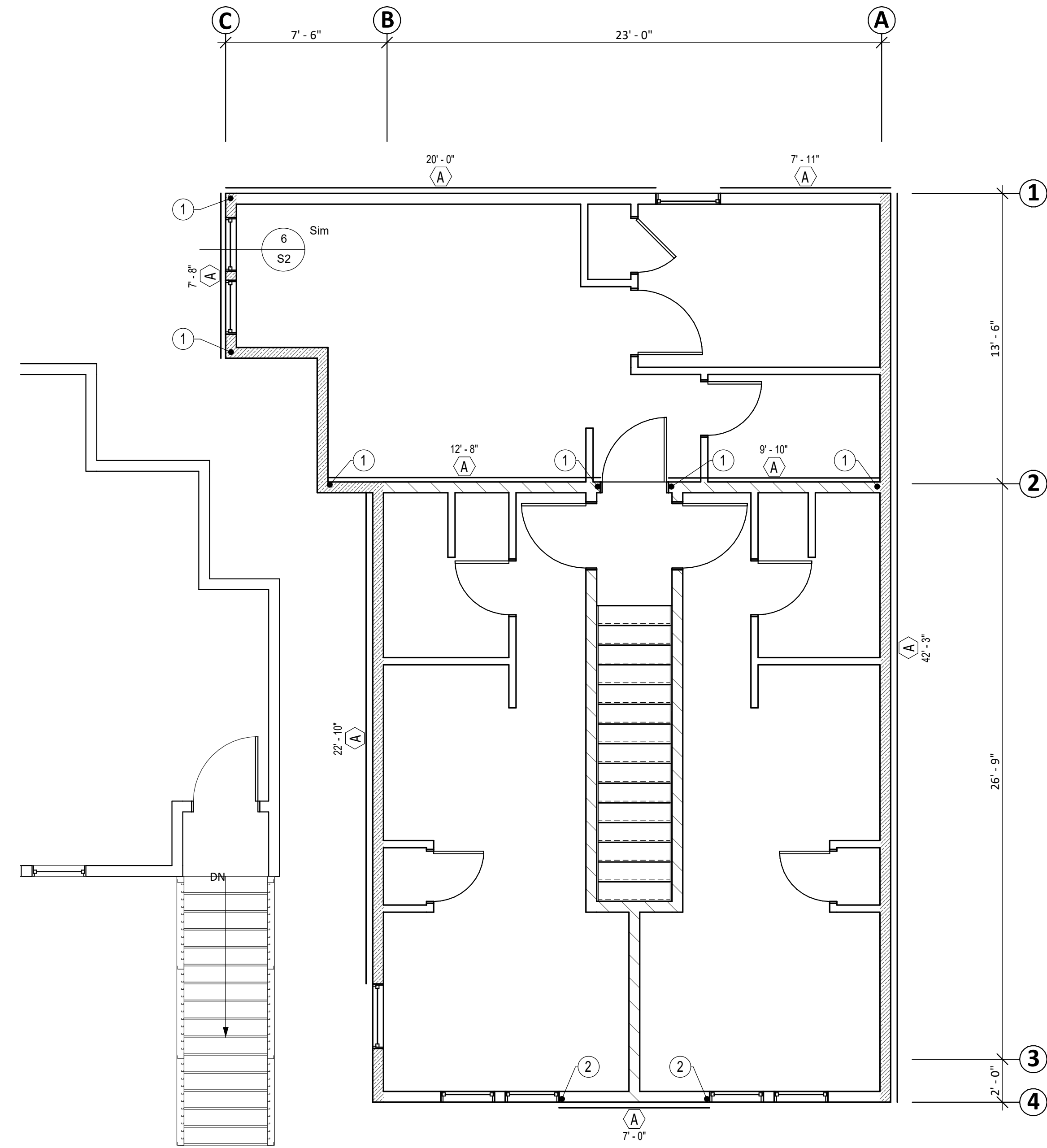
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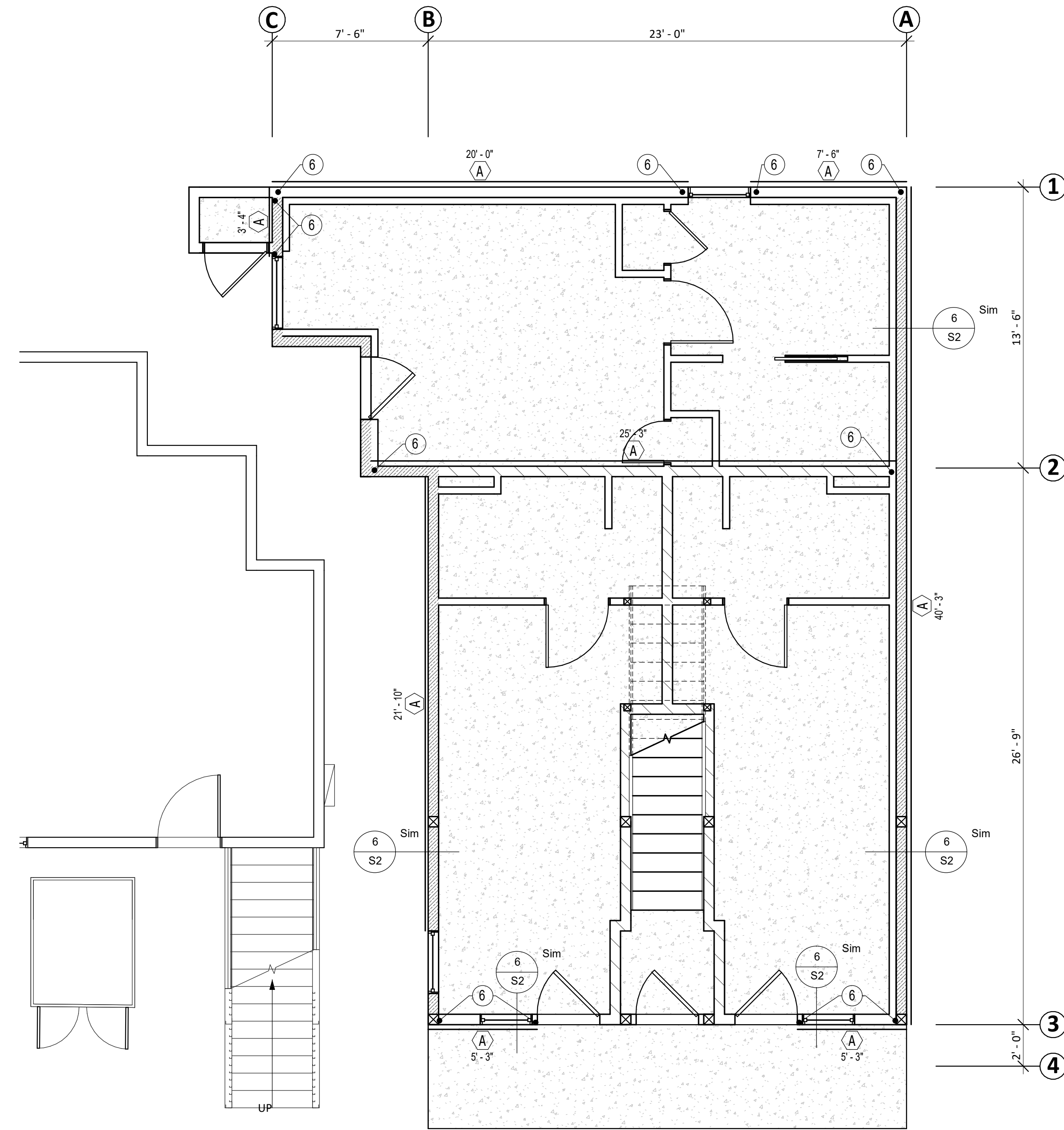
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No.	Description	Date



2 2nd FLOOR SHEAR PLAN
s1 1/4" = 1'-0"



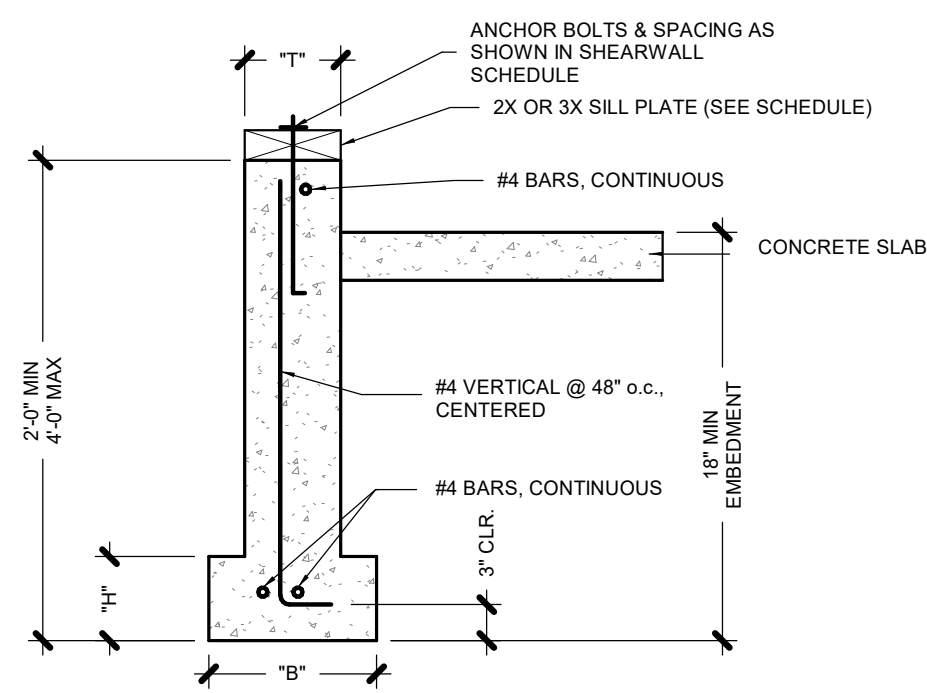
1 1st FLOOR SHEAR PLAN
s1 1/4" = 1'-0"

TONY UZUEGBUNAM
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SHEARWALL PLANS

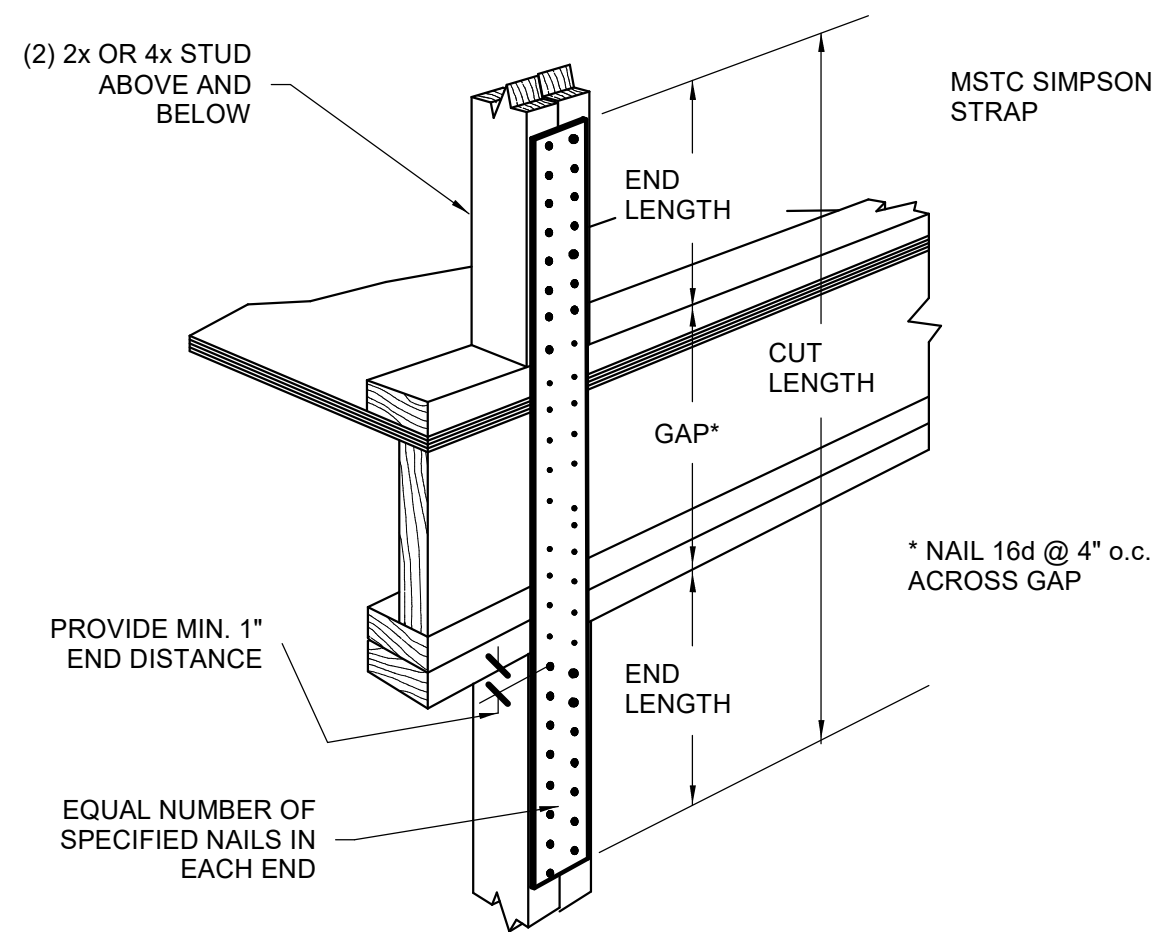
Project number: 13276

S1

NO. OF FLOORS SUPPORTED	T	H	B
1	6"	6"	12"
2	8"	7"	15"
3	10"	8"	18"

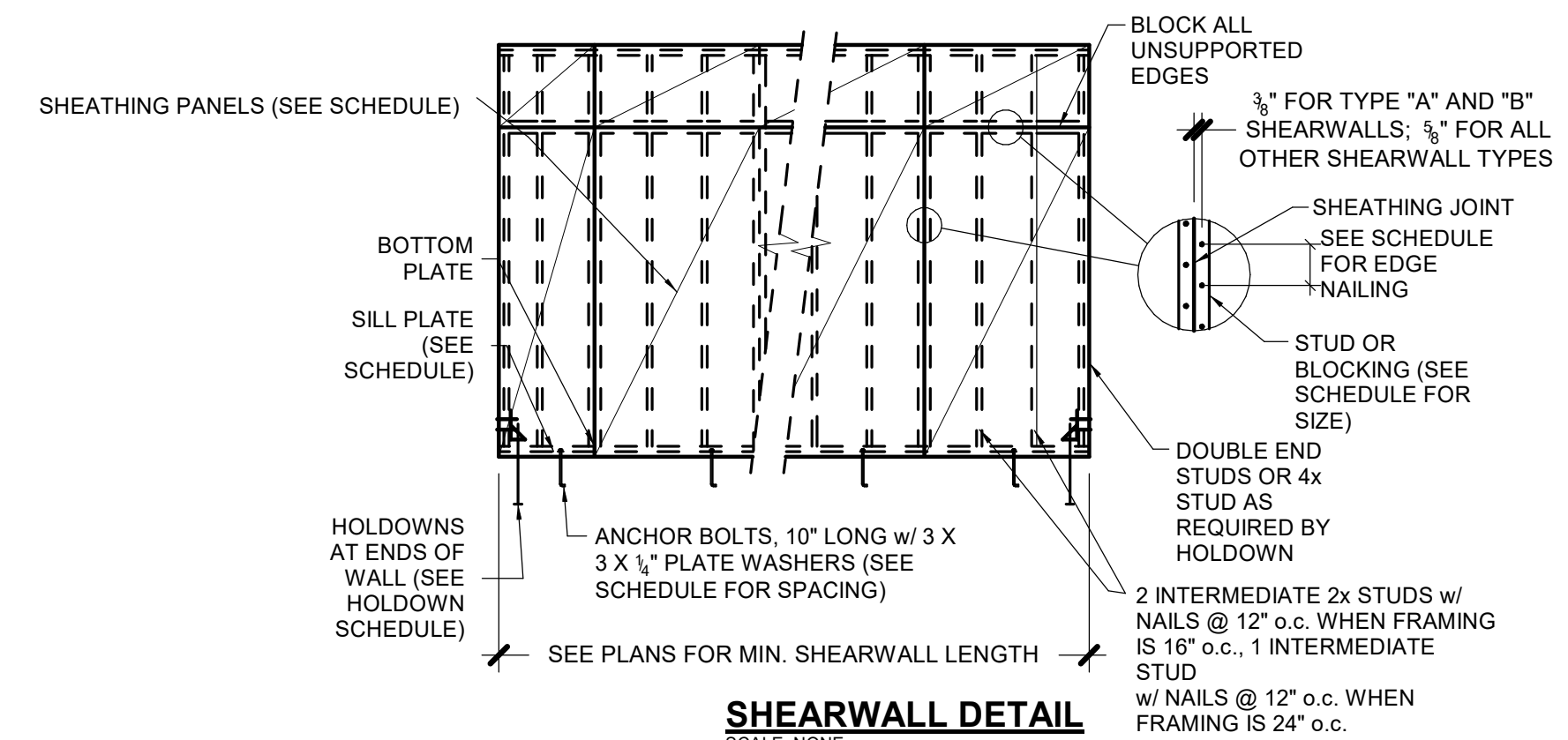


1.1 - STANDARD FOUNDATION -
5 SLAB FOUNDATION
 S2 3/4" = 1'-0"



HOLDOWN MARK	DESIGNATION	16d NAILS EACH END	DESIGN LOAD
1	MSTC28	8	1310
2	MSTC40	18	2945
3	MSTC52	24	3925
4	MSTC66	34	5800
5	MSTC78	38	5860

3 8.2 - MSTC STRAPS
 S2 3/4" = 1'-0"

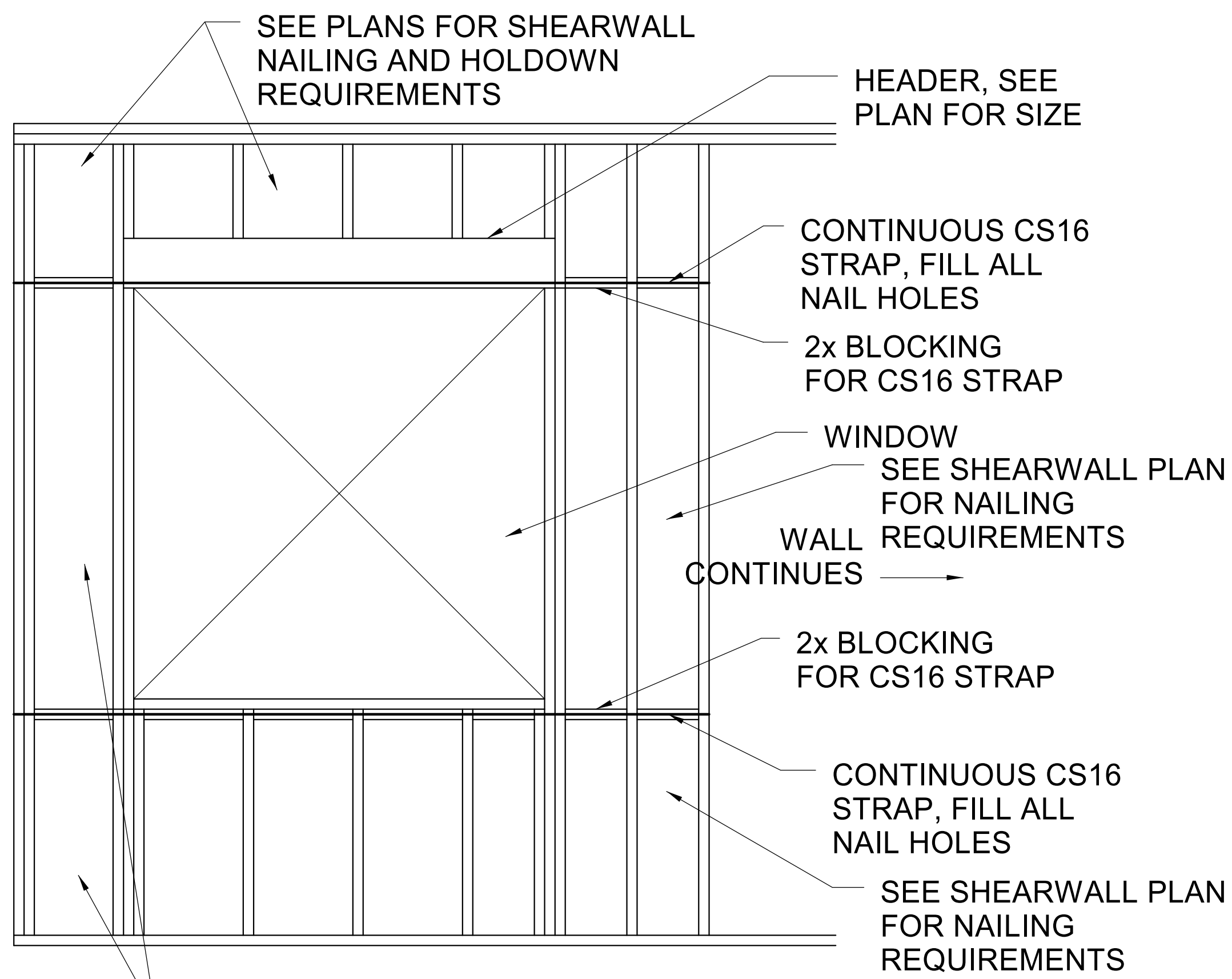


TYPE	SHEATHING 1,2	SIDES	STUDS/BLKG ³	BTM. PLATE	SILL PLATE	EDGE NAILING 6,7	BOTTOM ¹¹ PLATE NAILING	SILL PLATE ANCHOR BOLTS 4,5,4	LTP4 @	W/S CAPACITY (plf) ⁸
A	15/32" CDX	ONE	2x	2x	2x	8d @ 6"	16d @ 4"	3/8" @ 3'-0"	24"	360/260
B	15/32" CDX	ONE	2x	2x	2x	8d @ 4"	16d @ 3"	3/8" @ 2'-0"	16"	530/350
C	15/32" CDX	ONE	3x ¹⁰	2x	2x	8d @ 3"	16d @ 2"	3/8" @ 1'-2"	12"	690/490
D	15/32" CDX	ONE	3x	2x	2x	8d @ 2"	16d @ 1.5"	3/8" @ 0'-11"	9"	900/600
E	15/32" CDX	ONE	3x	2x	3x	10d @ 2"	SDS 1/4 x 1/2 @ 5"	3/8" @ 1'-4"	7"	1080/770
F	15/32" CDX	TWO	3x	2x	3x	8d @ 3"	SDS 1/4 x 1/2 @ 4"	3/8" @ 1'-0"	6"	1370/980
G	15/32" CDX	TWO	3x	2x	3x	8d @ 2"	SDS 1/4 x 1/2 @ 3"	3/8" @ 0'-9"	4.5"	1790/1280

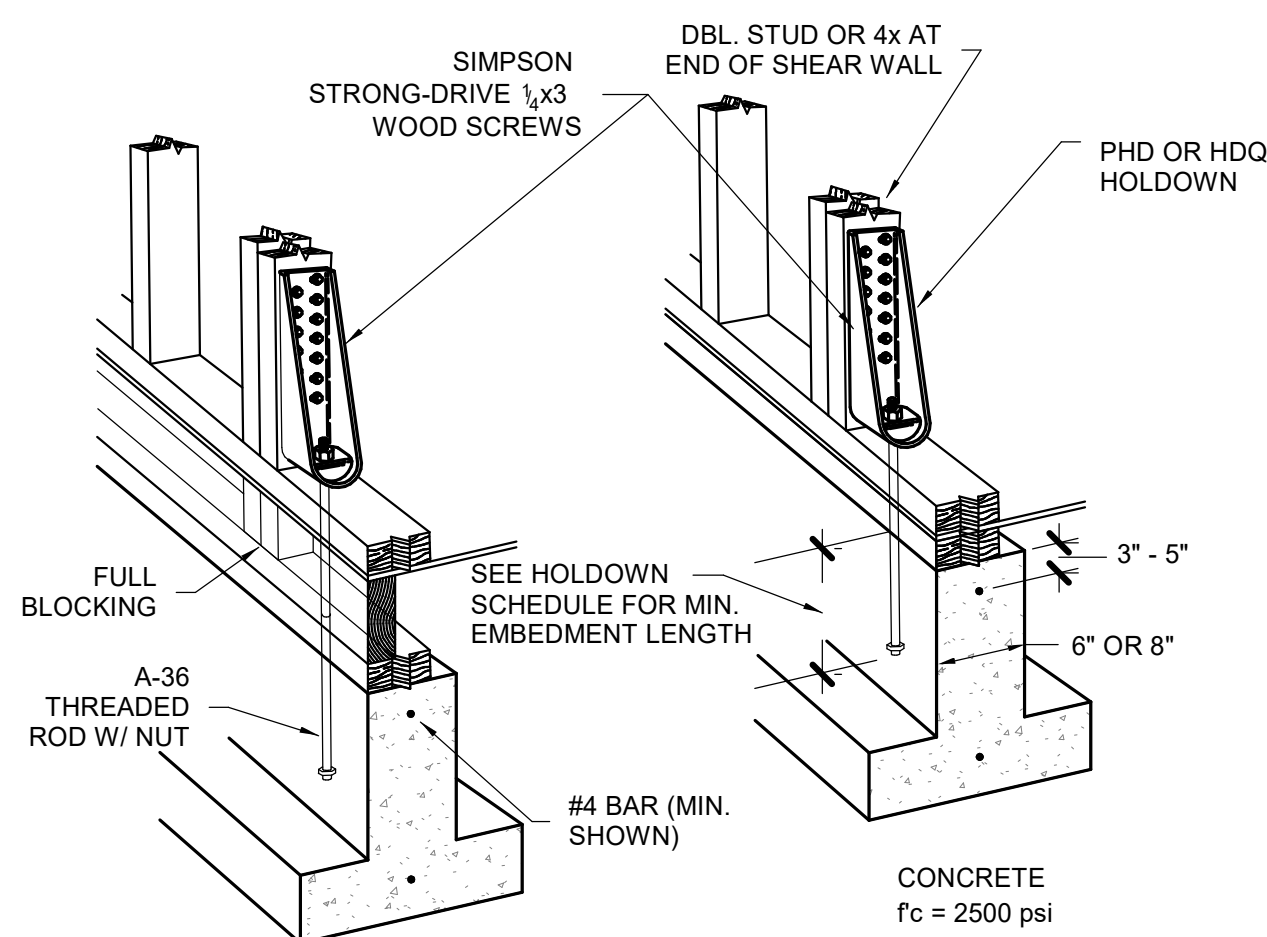
- SCALE: NONE
- All exterior walls & roof shall be sheathed with 15/32" CDX or 7/16" OSB and nailed 8d @ 6" edges, 8d @ 12" field.
 - 1/2" o anchor bolts @ 6'-0" o.c. except as noted.
 - Foundation vents are acceptable under shearwalls. Anchor bolts shall be placed 3" clear of foundation vents. Any two adjacent vents must have at least 12" of conc. between. Anchor bolt spacing may vary, but sched. average spacing shall be maintained.
 - Studs and blocking specified as 3x shall be single 3" nominal lumber at intermediate abutting sheathing joints only, others may be 2x studs and blocking. Double 2x members are NOT an acceptable substitute for 3x material, per code requirements.
 - 8d nails shall be 0.131 dia. x 2 1/2" common wire or galvanized box (hot-dipped or tumbled) nails.
 - 10d nails shall be 0.148 dia. x 3" common wire or galvanized box (hot-dipped or tumbled) nails.
 - Schedule utilizes the permitted 40% increase for wind loads per IBC 2305.4.1.
 - Shearwalls w/ seismic load >350 & <600 plf utilize dbl. sill pl. anchors req'd for 2x sill plate material per IBC 2305.3.10 Exception.
 - 3x material is not required for all loading conditions. Refer to structural plans for exceptions, if any.
 - Staggered fasteners.

3.1 - SHEARWALL SCHEDULE -

1	IBC
S2	1/2" = 1'-0"



3.10 - SHEARWALL WITH OPENING
6 OPENING
 S2 3/4" = 1'-0"



HOLDOWN TYPE	SIMPSON MODEL #	No. OF SIMPSON SDS 1/2x2 1/2" WOOD SCREWS	THREADED ROD φ	MIN. ROD EMBEDMENT IN CONCRETE
6	HDU2	6	3/8"	21"
7	HDU4	10	3/8"	18"
8	HDU5	14	3/8"	18"
9	HDU8	20	7/8"	18"
10	HDU11	30	1"	11" INTO FTNG
11	HHDQ11	24	1"	11" INTO FTNG
12	HHDQ14	30	1"	11" INTO FTNG
13	HDU14	36	1"	11" INTO FTNG

8.4 - HDU AND HHDQ HOLDOWNS
4
 S2 3/8" = 1'-0"

CALL OUT	HOLDOWN / STRAP	BOLT	MIN CONCRETE EMBEDMENT DEPTH (in)	STUD	6" STEM WALL CAPACITY (lbs)	8" STEM WALL CAPACITY (lbs)	STRAP CAPACITY (lbs)
1	MSTC28	N/A	N/A	(2) 2x			1310
2	MSTC40	N/A	N/A	(2) 2x			2945
3	MSTC52	N/A	N/A	(2) 2x			3925
4	MSTC66	N/A	N/A	(2) 2x			5800
5	MSTC78	N/A	N/A	(2) 2x			5860
6	HDU2	3/8" φ SB5/8x24	18"	(2) 2x	3075		
7	HDU4	3/8" φ SB5/8x24	18"	(2) 2x	4565		
8	HDU5	3/8" φ SB5/8x24	18"	(2) 2x	5645		
9	HDU8	7/8" φ SB7/8x24	18"	(2) 2x	5980		
10	HDU11	1" φ PAB8 w/ NUT	10.5" INTO FOOTING	(2) 2x		9535	
11	HHDQ11	1" φ PAB8 w/ NUT	10.5" INTO FOOTING	(2) 2x		11,810	
12	HHDQ14	1" φ PAB8 w/ NUT	10.5" INTO FOOTING	(2) 2x		13,710	
13	HDU14	1" φ PAB8 w/ NUT	10.5" INTO FOOTING	(2) 2x		14,925	

- NOTES:
- HOLDOWN CALLOUTS CORRESPOND WITH CALCULATIONS AND DETAILS.
 - PAB8 BOLTS REQUIRE EXPANDED FOOTING, IF REQUIRED SEE DETAIL.
 - FOOTING CONCRETE SHALL DEVELOP A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2500 PSI.
 - USE GRADE 60 REINFORCING BARS.

8.1 - SHEARWALL HOLDOWN SCHEDULE

8.1 - SHEARWALL HOLDOWN SCHEDULE
2
 S2 1" = 1'-0"

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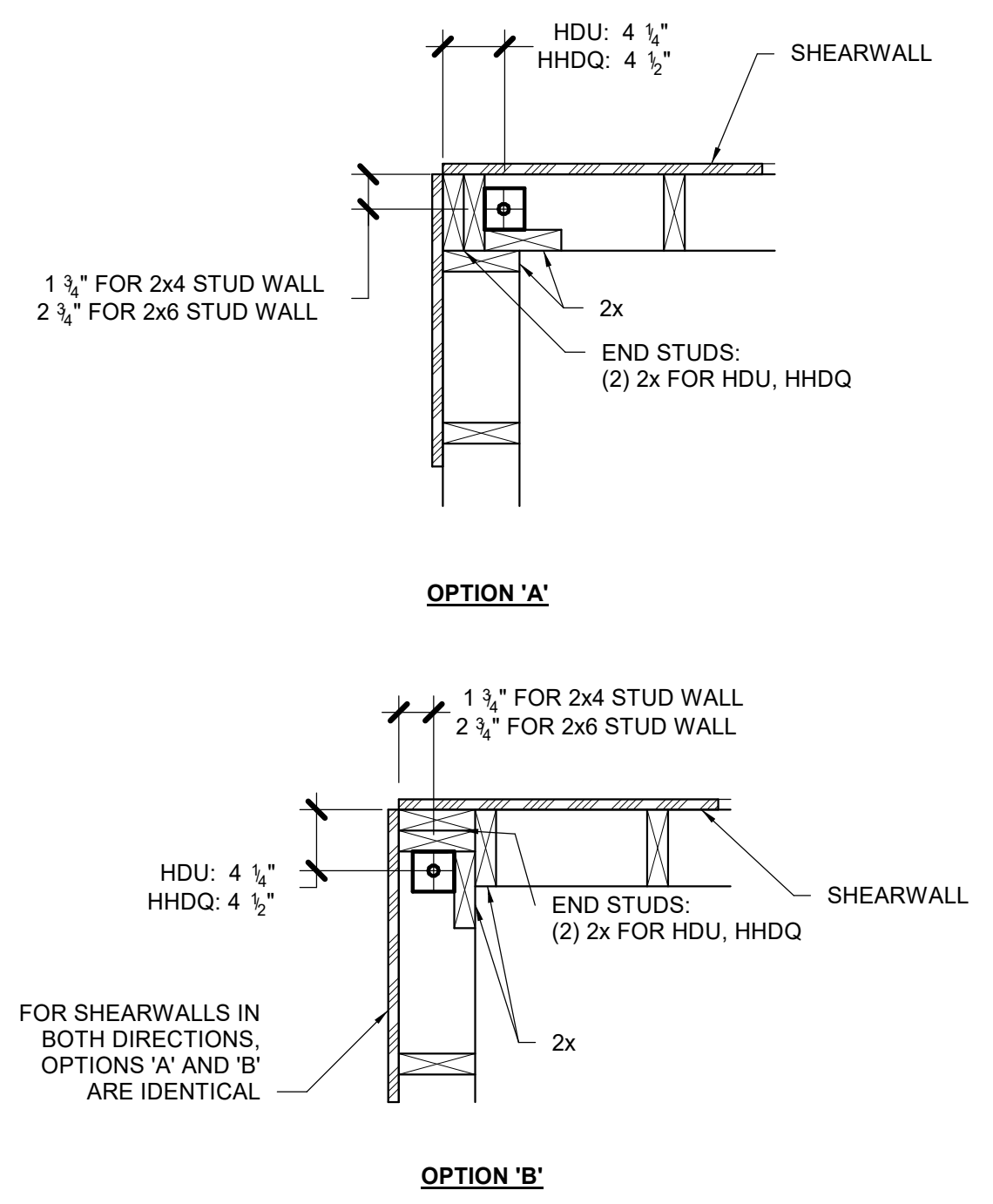
No. Description Date

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SHEARWALL DETAILS

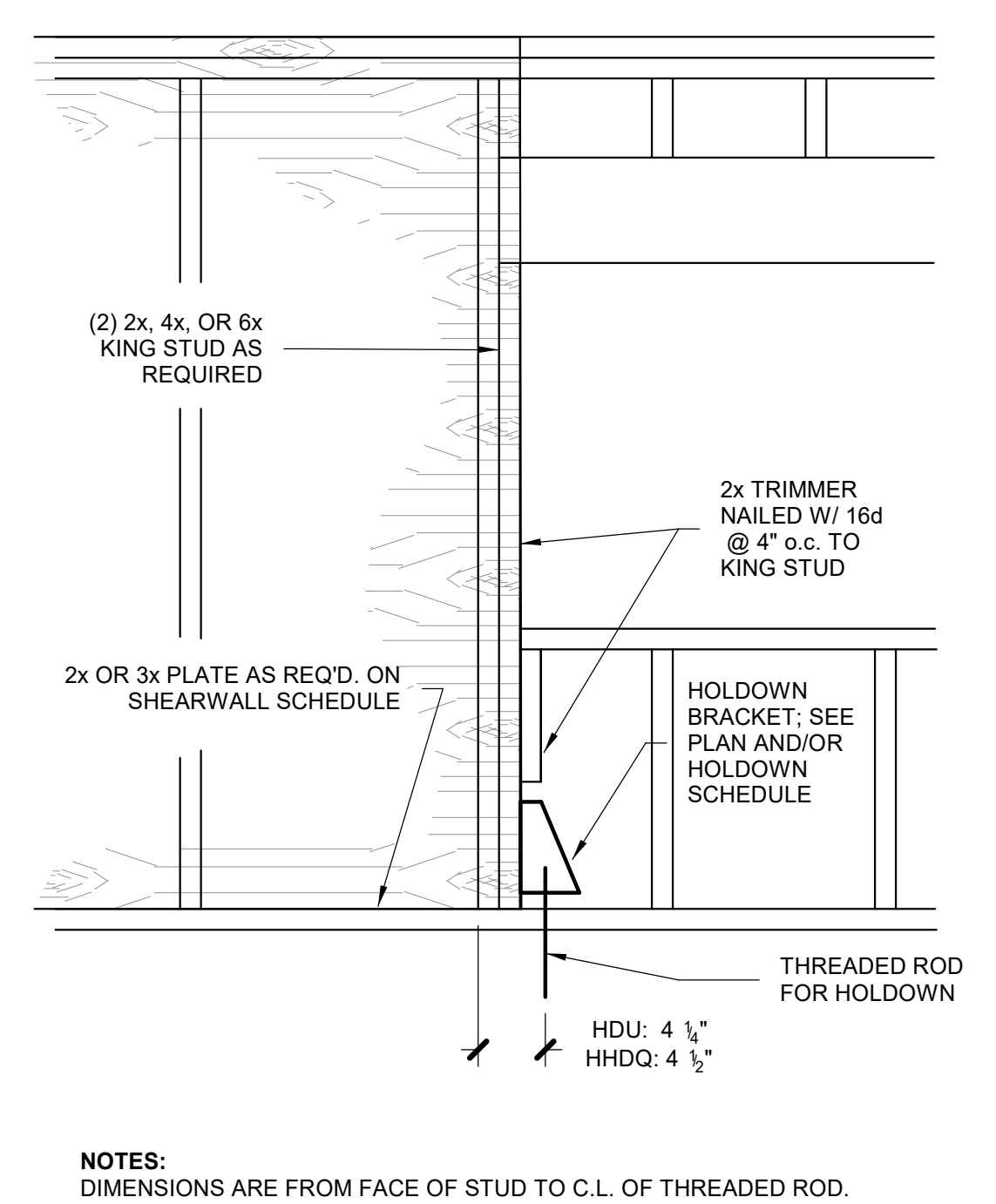
Project number: 13276

S2



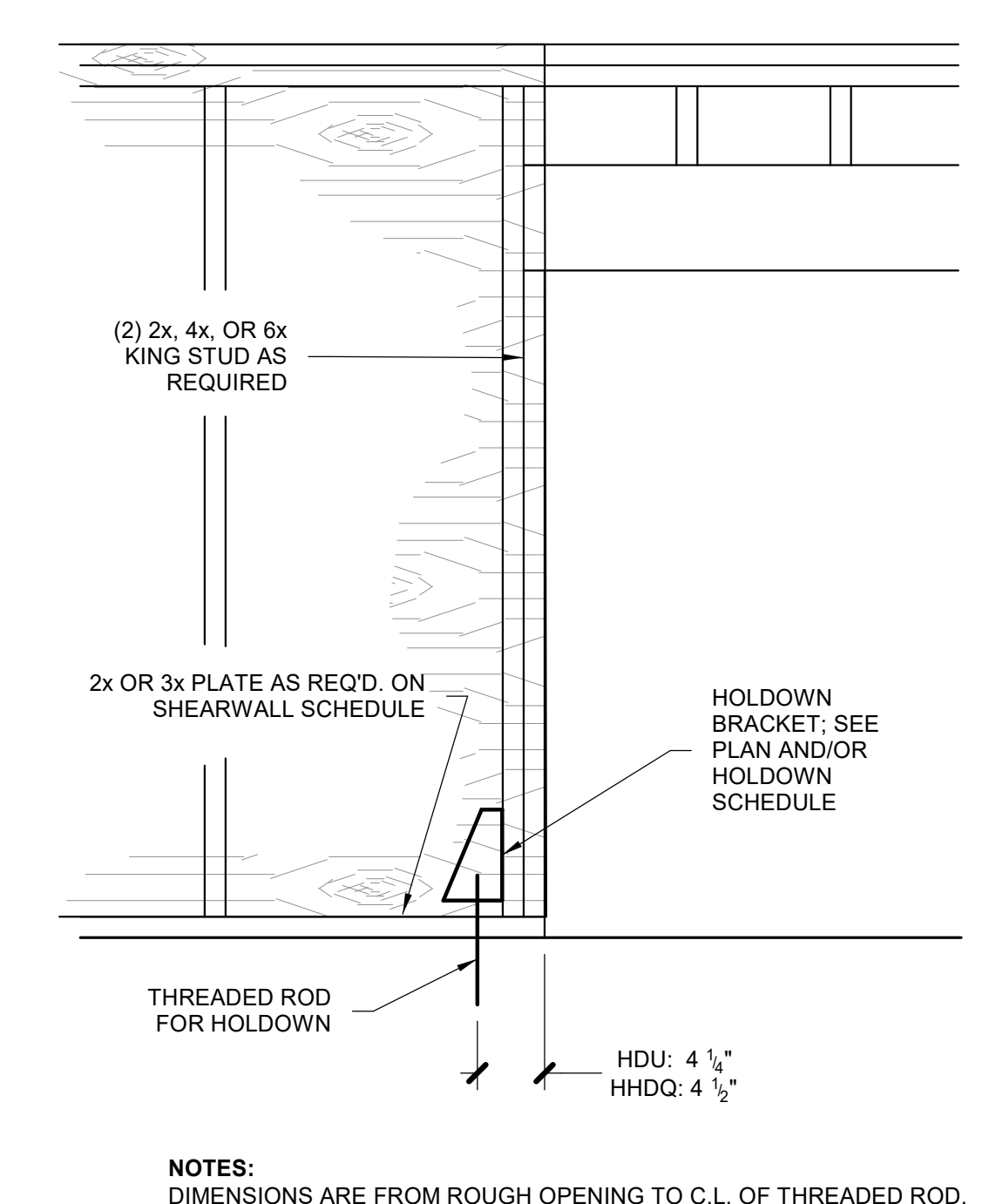
8.10 - TYP. END OF SHEARWALL AT WALL CORNER

5	1" = 1'-0"
S3	



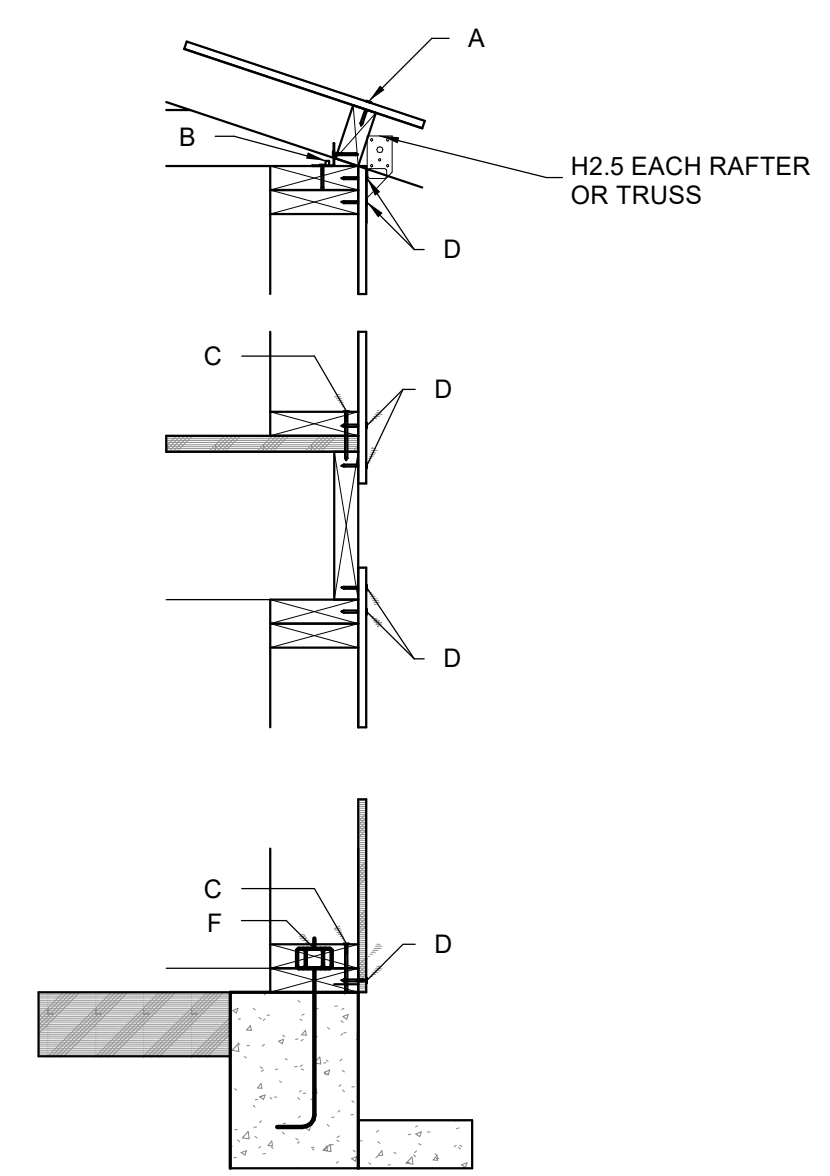
8.11 - TYP. END OF SHEARWALL AT WINDOW OPENING

4	1" = 1'-0"
S3	



8.9 - TYP. END OF SHEARWALL AT DOOR OPENINGS

3	1" = 1'-0"
S3	



3.7 - TYPICAL SHEAR TRANSFER DETAILS - JOIST

2	1" = 1'-0"
S3	

TO BE CONSTRUCTED AT ENTIRE PERIMETER OF STRUCTURE AT ALL LEVELS

A. 8d @ 6" OR SPECIFIED ROOF DIAPHRAGM NAILING

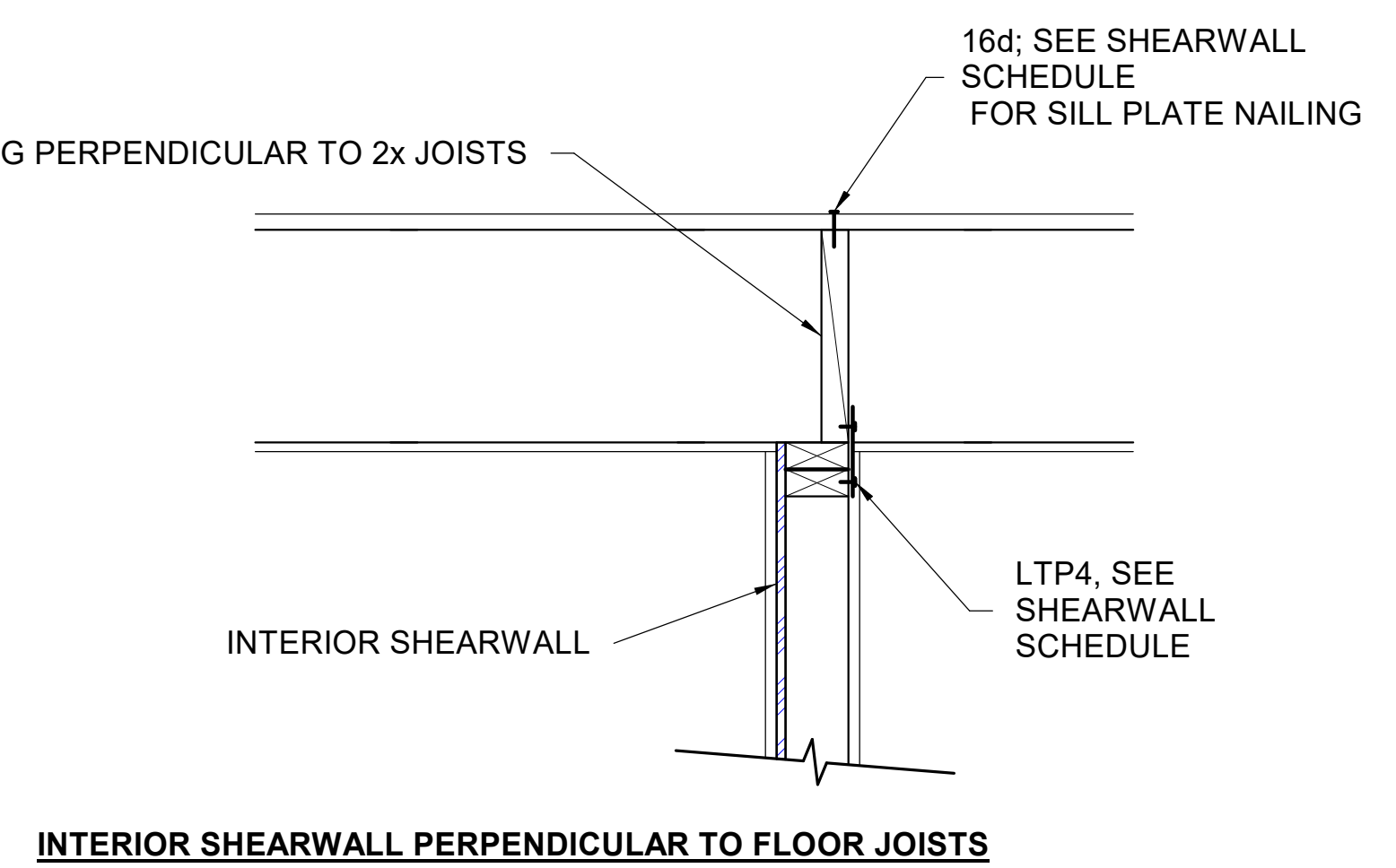
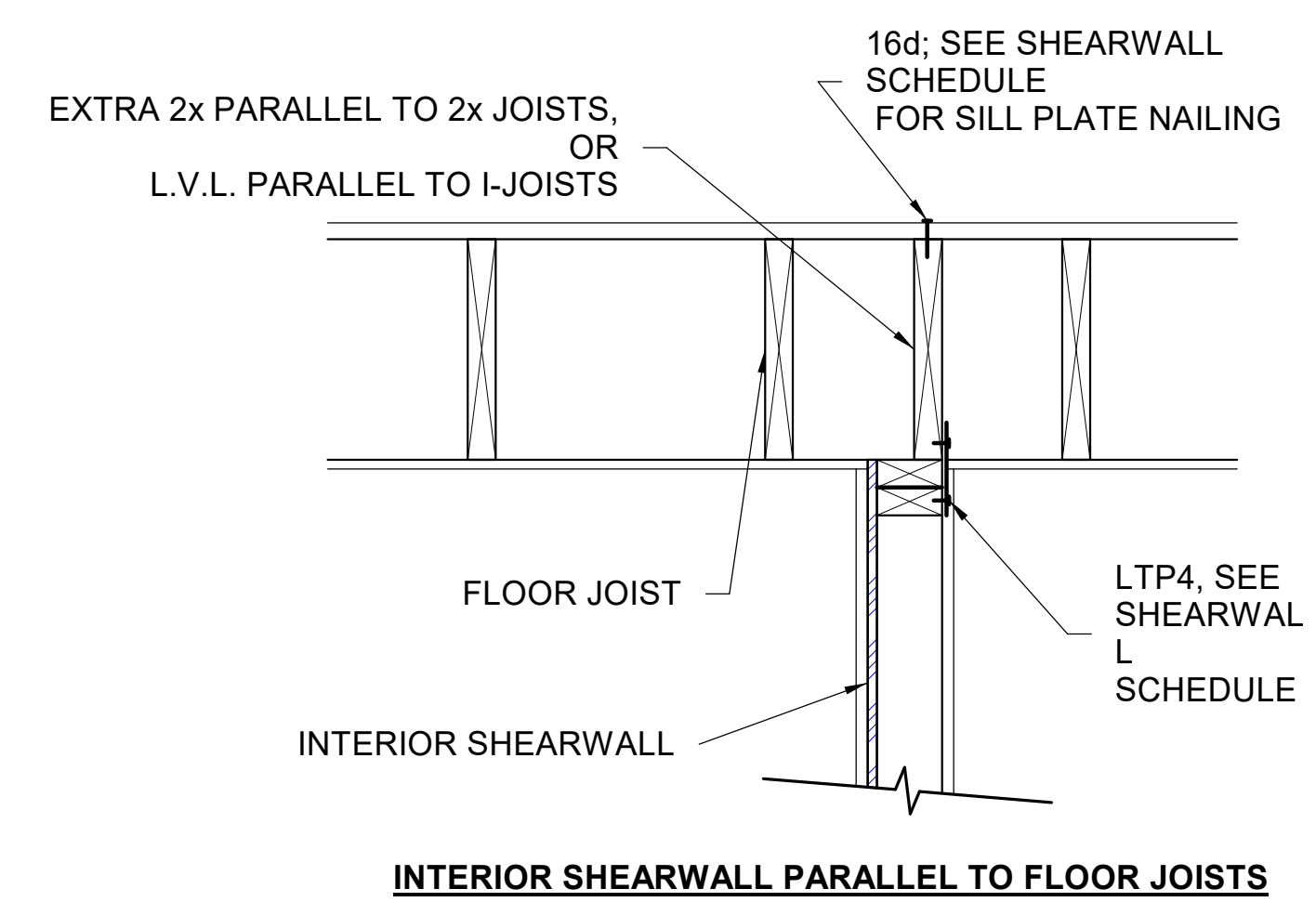
B. A35 @ SPECIFIED SPACING, 24" AVG. MAX

C. BASE PLATE NAILING AS SPECIFIED (IF LPT4 PLATES 'E' ARE INSTALLED OR IF SHEATHING IS LAPPED, NAIL 16d @ 16" O.C. PER IBC 2304.9.1)

D. SCHEDULED SHEARWALL NAILING

E. LPT4 @ SCHEDULED SPACING 24" AVG. MAX (NOT REQUIRED IF SHEATHING IS LAPPED)

F. ANCHOR BOLTS @ SCHEDULED SPACING



5.1 - INTERIOR SHEARWALLS PERPENDICULAR TO FLOOR JOISTS

1	1" = 1'-0"
S3	

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CHECKED BY: STO

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REVISIONS:

No.	Description	Date
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TONY UZUEGBUNAM
1102 7th St, Oregon City, OR 97045

SHEARWALL DETAILS

Project number: 13276

S3

TYPE III –HISTORIC REVIEW BOARD SUBMITTAL

10/29/2025

APPLICANT: Name
Address

OWNER: Tony Uzuegbunam
1102 7th St. Oregon City, OR 97045

REQUEST: Description of project

LOCATION: 1102 7th St. Oregon City, OR 97045
Clackamas County Map 2-2E-31AD, Tax Lot 8500

I. BACKGROUND:

1. Existing Conditions

2. Project Description

CODE RESPONSES:

17.40.060 - Exterior alteration and new construction.

- A. *Except as provided pursuant to subsection I of this section, no person shall alter any historic site in such a manner as to affect its exterior appearance, nor shall there be any new construction in an historic district, conservation district, historic corridor, or on a landmark site, unless a certificate of appropriateness has previously been issued by the historic review board. Any building addition that is thirty percent or more in area of the historic building (be it individual or cumulative) shall be considered new construction in a district. Further, no major public improvements shall be made in the district unless approved by the board and given a certificate of appropriateness.*
- B. *Application for such a certificate shall be made to the planning staff and shall be referred to the historic review board. The application shall be in such form and detail as the board prescribes.*
- C. *Archeological Monitoring Recommendation. For all projects that will involve ground disturbance, the applicant shall provide,*
 - 1. *A letter or email from the Oregon State Historic Preservation Office Archaeological Division indicating the level of recommended archeological monitoring on-site, or demonstrate that the applicant had notified the Oregon State Historic Preservation Office and that the Oregon State Historic Preservation Office had not commented within forty-five days of notification by the applicant; and*
 - 2. *A letter or email from the applicable tribal cultural resource representative of the Confederated Tribes of the Grand Ronde, Confederated Tribes of the Siletz, Confederated Tribes of the Umatilla, Confederated Tribes of the Warm Springs and the Confederated Tribes of the Yakama Nation indicating*

the level of recommended archeological monitoring on-site, or demonstrate that the applicant had notified the applicable tribal cultural resource representative and that the applicable tribal cultural resource representative had not commented within forty-five days of notification by the applicant.

If, after forty-five days notice from the applicant, the Oregon State Historic Preservation Office or the applicable tribal cultural resource representative fails to provide comment, the city will not require the letter or email as part of the completeness review. For the purpose of this section, ground disturbance is defined as the movement of native soils.

D. [1.] The historic review board, after notice and public hearing held pursuant to Chapter 17.50, shall approve the issuance, approve the issuance with conditions or disapprove issuance of the certificate of appropriateness.

F. For construction of new structures in an historic or conservation district, or on an historic site, the criteria to be used by the board in reaching its decision on the certificate of appropriateness shall include the following:

1. The purpose of the historic conservation district as set forth in Section 17.40.010;

Applicant response:

Since the existing garage on site will be demolished. The existing worn driveway approach will be removed and replaced with a curb and sidewalk to match existing historic appearance.

2. The provisions of the city comprehensive plan;

3. The economic effect of the new proposed structure on the historic value of the district or historic site;

4. The effect of the proposed new structure on the historic value of the district or historic site;

5. The general compatibility of the exterior design, arrangement, proportion, detail, scale, color, texture and materials proposed to be used in the construction of the new building or structure;

Applicant response:

The design and structure of the development will match the existing buildings in the historic district.

6. Economic, social, environmental and energy consequences;

Applicant response:

The development provides affordable housing creating a positive economic and social impact for the historic corridor.

7. Design guidelines adopted by the historic review board.

Design Guidelines for New Construction – McLoughlin Commercial

1. STYLE

Determining the appropriate style for a new infill project is an important initial step in the design process. Each historic district has different styles that were prevalent during the historic period of significance. These styles are what create the historic context. New construction shall complement one of these styles to support the historic context. Use of other styles dilutes and distracts from the historic context of the district. While there may be several styles dominant within the district, the specific choice of a style shall be compatible with adjacent properties, the block, and the neighborhood. It also must be fitting for the particular function of the building and its size.

Outside of the Seventh Street Commercial Corridor, commercial uses shall employ a residential style architecture to better integrate into the neighborhood fabric. The larger residential styles, such as Queen Anne, Vernacular [single buildings or grouped], and Foursquare, are appropriate. They create a suitable transition to adjacent residential areas and can be built relatively close together to achieve appropriate density. These styles could be utilized for any uses: retail, office or multifamily residential. The carriage building on High Street is an existing residential style structure used for commercial purposes.

Applicant response: The façade of the development faces John Quincy Adams St. It follows a foursquare style with two-story, box-like form, hipped roof, a full width one-story porch, and double-hung windows.

2. SITE

Siting principles involve both how the site is used and how the building(s) is placed within the site. The specific lot location and its topography can dictate many requirements.

Commercial buildings are to face the street squarely with their primary face and display areas in full view, to engage the pedestrian, and to be set back only slightly, if at all from the front and side lot lines. Small courtyard area may be appropriate for multifamily and certain commercial uses. Vehicle access to be on the less visible sides or rear.

SITE CHARACTERISTICS OF MCLOUGHLIN COMMERCIAL BUILDINGS

- Rectangular footprint that largely fills the width of the lot.
- Oriented to street for access, and display. No or small setback from the sidewalk along street; may not extend all way to rear lot line.
- Small front or side setback is appropriate for residential uses.
- Central or individual ground floor customer-tenant entries. Grouped residential entry to lobby or foyer. Separate service entries.
- Vehicle access and storage at side or rear; may be hidden under the building.
- Landscape: small plantings if there are setbacks; otherwise street trees. Upper story gardens visible from the sidewalk were not used in the historic period and are discouraged.

Applicant Response:

The site is a corner lot, and the new building access is from John Quincy Adams St with a 3-foot setback from the front and the rear lot line, none from the side lot line, and a 4-foot from existing building. Individual ground floor tenant entries for units 1, 2, and 3. Grouped entry to foyer for units 4, 5, and 6.

3. BUILDING FORM

Address the overall size, shape and bulk of the building. The architectural style used for the building defines many aspects of its appropriate form and proportions. Excessive variation in the size, shape, or configuration creates an inappropriate solution that is stylistically incorrect and not complementary to the district. The building form needs to relate to the buildings in the immediate neighborhood, and to take into account both similarities and changes on the block. The new building form shall reference the principles, proportions and scale of an historically appropriate style. Existing commercial historic buildings are now less numerous in the districts. Acceptable styles will produce new infill form based on historic character qualities of the original buildings and those found in other similar districts. This new development will then successfully relate to adjacent residential neighborhoods. The appropriate style and form of the new buildings depends upon the site and neighboring, or transitioning context.

BUILDING FORM CHARACTERISTICS OF MCLOUGHLIN COMMERCIAL BUILDINGS

- Building form and foot print primarily rectangular, possible rectangular additions or wings; possible interior light court, courtyard or areaway.

- Massing: A simple rectangular primary form encompassing the primary and visible facades. a parapet or false front that provides the height boundary of the building and hides the view of the roof. Single story with retail or service use; Two or three story with single or mixed use. Basement option
- Ground floor typically has high ceilings; retail use with office or residential use above.
- Height: Main level close to grade. Single story buildings: minimum 16 foot high parapet. First to Second floor height to be at least 12 feet unless for multi-family use, then may be 10 feet. Upper floor to floor heights at least 10 feet. Maximum Height: Per City code
- Height for Commercial Buildings using a Residential Style: First to Second floor height to be at least 10 feet. Main Floor Level Height Above Grade: 2½ feet minimum. Eave Height: 28 feet maximum. Ridge Height maximum: 40 feet.
- Residential styles, including Queen Anne, or Foursquare, are encouraged on Seventh above John Q Adams and on Center and High, and where facing or adjoining residential zoning. Alternatively, the use(s) may be embodied in a grouping of smaller buildings.
- Full width one or two story porches at front (accessed by interior stair), or rear are appropriate for residential.
- Grade level or depressed parking if accessed from rear or rear end of side and generally concealed from sidewalk by building wall, provided commercial or residential use is located along primary street.

Applicant Response:

The proposed building has a rectangular form with a two-story residential use. First and second story have a 9’ 1 1/8” height. Foursquare style with a full width one-story porch.

4. DESIGN COMPOSITION

Include a range of more detailed design issues that address groups of elements, individual elements, their design and how they relate to the overall composition and finish. The principles place a traditional emphasis on the design’s composition as seen from the exterior, rather than as a result of interior functional planning requirements. They also outwardly convey a sense of quality craftsmanship. The design composition principles, being more detailed, and stylistically dependent, are typically developed after the previous principles are resolved. These principles also reflect historically appropriate materials, respective finishes, and unobtrusive integration of new technology.

DESIGN COMPOSITION CHARACTERISTICS OF MCLOUGHLIN COMMERCIAL BUILDINGS

- Mostly single or double store design to 100 feet in width. Wider than 100 feet requires style change.
- False front: covering front gable roof or just an extended wall; may have a parapet on each side (possibly not rear) hiding a low sloped roof.
- Streetcar Commercial: wood or masonry construction and finish; generous ground floor retail display with individual or grouped upper level double hung windows in an otherwise solid wall.
- Large ground floor storefront windows with short bulkhead wall below and very often with transom windows above; wood frames or appropriate metal. Trim at window/transom frame edges.
- Often recessed store entries; side entries typically not recessed. Separate entries for individual stores.
- Streetcar Multifamily: wood or masonry construction and finish. Less emphasis on retail display, but location of public and lobby areas adjoining the public way. Possible upper level window bays within the width and height of the primary or side façades. Possible entry projection.
- Upper Level Entry: typically a single shared entry with small lobby.
- Upper story wood framed windows designed as ‘punched’ openings in the otherwise solid wall, regularly spaced; individual, paired double hung design or triple units with fixed center and double hung side lights. Possible transom windows. Possible flat arch windows in masonry walls.

- Façade with modest, but defining cornice, possible belt cornice. Wood exteriors can support more detailing; masonry or plaster finished buildings with less detail and ornamentation; typically, no significant form projections or recesses except window bays or entries.
- Materials/Finish: cement plaster (stucco), brick, concrete with plaster over, horizontal board siding; fabric awnings, possible flat steel/wood building supported canopy.

Applicant Response:

The proposed building has ground floor windows and wood frames. The entry for the upper-level units is a single shared entry with small lobby. Upper story wood framed regularly spaced, paired single hung windows. Faux windows are used to meet building code requirements for amount of window openings required. Use of faux windows approved by Oregon City planner. Vinyl windows in the existing building in the north façade on 7th st will be replaced due to a code violation.

ALSO

Relevant Character Guidelines:

- Topography (see page 34 of Guidelines)
- Landscaping (see page 34 of Guidelines)
- Spacing (see page 36 of Guidelines)
- Heights (see page 38 of Guidelines)
- Widths (see page 38 of Guidelines)
- Context Scale (see page 40 of Guidelines)
- Volume (see page 40 of Guidelines)
- Proportion (see page 44 of Guidelines)
- Porches (see page 46 of Guidelines)
- Dormers (see page 47 of Guidelines)
- Foundations (see page 56 of Guidelines)
- Windows (see page 63 of Guidelines)

Staff will review your application based on these guidelines. If you propose anything that does not meet these character guidelines, please include an explanation in your application of how your design differs and why you think it is still compatible with the District.

Melissa Lopez

From: noreply@civicplus.com
Sent: Monday, September 15, 2025 9:41 AM
To: OC Planning
Subject: Online Form Submittal: Pre-App Conference Request

Categories: Melissa

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Pre-App Conference Request

NOTES:

1) A Pre-Application Conference is valid for 6 months from the date of the meeting, though it may be extended by the Community Development Director for up to a year if an extension application is submitted.

2) An applicant has 6-12 months to submit a land use application for the project discussed in the Pre-Application Conference before a new Pre-Application Conference would be required.

Basic Project Information

Applicant Name(s) Trevor Tyree

Owner Name (If different than Applicant) Tony Uzuegbaunam

Company American Made Construction

Project Description New build of a 6 unit multiplex, 2 story and approximately 1150 sg ft

Project Address 1102 7th St

City Oregon City

State OR

Zip Code 97045

Map and Taxlot Number 22E31AD08500 22E31AD

Site Size 0.12

(Section Break)

Applicant's Contact Information

Mailing Address PO Box 30

City Gladstone

State OR

Zip Code 97027

Phone Number 5033447666

Email Address t.tyree@amadeconstruct.com

(Section Break)

Additional Project Information

Existing or Previous Use (within last 10 years) A garage currently stands where the building will be constructed

Existing Zoning *Field not completed.*

Overlay Districts Historic District, Not Sure

Check if "yes" Public Water Available?, Public Sewer Available?, Public Stormwater Available?

List all past approved permits and plans associated with the subject site. unknown

Anticipated New Impervious Surface 1150

Proposed Stormwater Disposal Methods Unknown

Transportation System Plan (TSP) Projects on or near the site We have a TSP

Subdivisions: Show density calculations *Field not completed.*

Block lengths	<i>Field not completed.</i>
Additional information	<i>Field not completed.</i>
Questions	<i>Field not completed.</i>
(Section Break)	
Vicinity Map	1102 7th St - Google Maps.pdf
Site Plan / Layout	Updated Plans 10-24-24.pdf
Narrative	Narrative.docx

The site plan should include the following:

1. Location and size of existing and proposed public and private utilities (e.g., water, sanitary sewer, stormwater, gas, power, and other private utility facilities).
2. Location of existing and proposed easements (access, utility, drainage, others).
3. Location of overlay zones as shown in the City's [OCWebMaps](#) system.
4. Location of on-site creeks, streams, wetlands, upland wooded areas, riparian areas, rock outcroppings, on-site water wells, and septic systems (if known).
5. Location of existing and proposed trees and landscaping.
6. Location and dimensions of existing and proposed buildings, and structures.
7. Configuration and dimensions of all existing and proposed lots and tracts, including a proposed park, open space, and or drainage tracts or easements.
8. Access to and from the site, if applicable.
9. Property dimensions, including the following:
 1. All property lines for the subject site.
 2. Setbacks according to the subject site's zoning dimensional standards.
 3. Measurements from new and existing construction to property lines and setback areas.
 4. Any encroachments into setbacks, easement areas, or over property lines (if applicable).
10. Existing streets abutting the property.

11. Internal circulation system, name, and location of existing and proposed roadways and roadway easements (private and public).
12. Location of existing and proposed driveways, vehicular parking, and bicycle parking.
13. Location and width of existing and proposed on-site pedestrian circulation.

Building Elevation Drawings	<i>Field not completed.</i>
-----------------------------	-----------------------------

Shadow Plat (for subdivisions only)	<i>Field not completed.</i>
-------------------------------------	-----------------------------

Other Attachments	Utilities Map.png
-------------------	-----------------------------------

(Section Break)

All meetings are scheduled on **Tuesdays or Wednesdays at 10 am.**

Your meeting will be **scheduled 3 weeks after payment** is received. We will honor the dates you listed above if they work with the 3-week time frame and do not already have a meeting scheduled for that date.

Desired Meeting Date	10/7/2025
----------------------	-----------

Alternate Date	10/8/2025
----------------	-----------

Meeting Options	In Person, Hybrid
-----------------	-------------------

Disclaimer	Select to acknowledge you read and understand the disclaimer paragraph.
------------	---

Email not displaying correctly? [View it in your browser.](#)

05/23/2024

Scope and description of proposed work at 1102 7th St. Oregon City, OR

The property owner Tony Uzuegbunam and we, the contractor, American Made Construction LLC are proposing a new build, 6 unit, 2 story multiplex. This structure will be built where the current garage stands on the northwest corner of the property. The footprint is approximately 1150 sq ft with 2300 sq ft of living space.

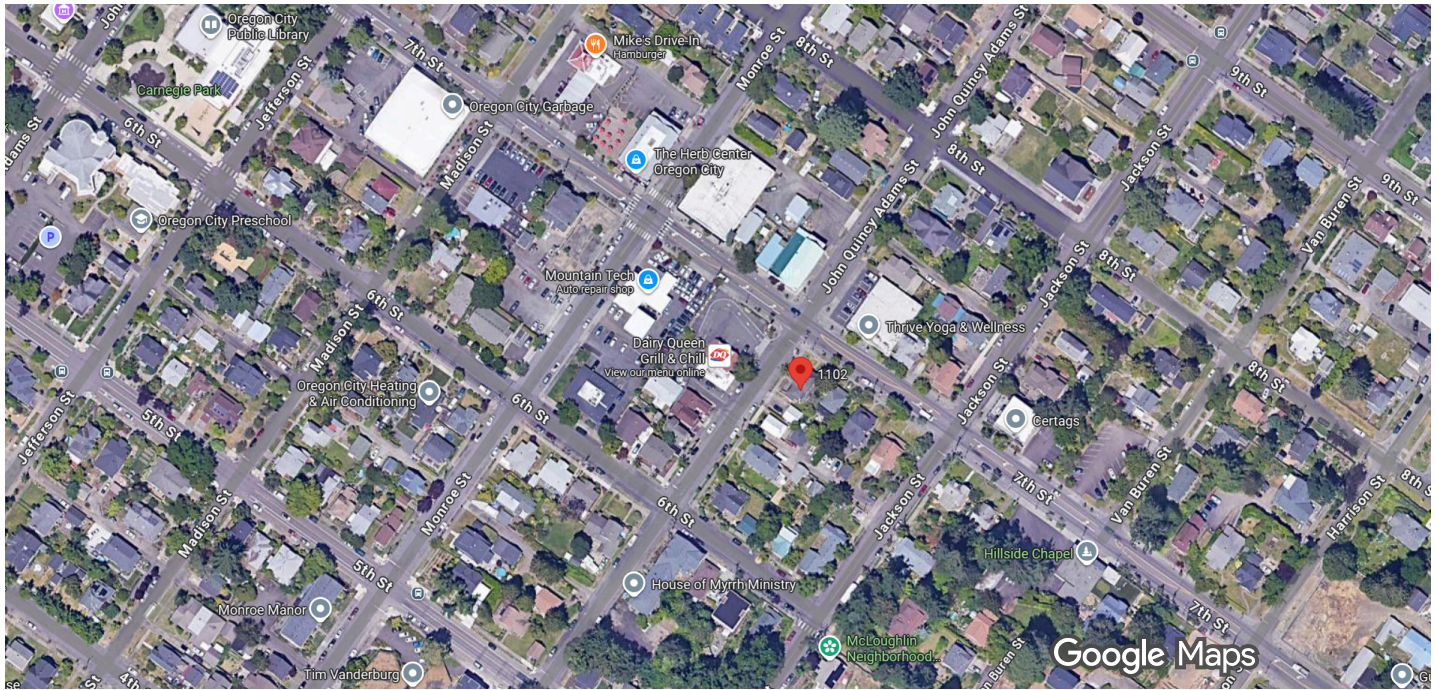
We are aware this property is within the Historic District, and we have made the corrections and changes as requested by the historical board to meet the requirements for the area.

This building will provide more housing in the City of Oregon city and bring a more appealing look to the property.

Wendy Polk
General Manager
American Made Construction LLC
503-793-2036



1102 7th St



Imagery ©2025 Airbus, Maxar Technologies, Metro, Portland Oregon, Map data ©2025 100 ft



1102 7th St

Building



Directions



Save



Nearby



Send to phone



Share



1102 7th St, Oregon City, OR 97045

Photos



Objectid: 120123
 Primary Address: 1102 7th St, Oregon City, 97045
 Jurisdiction: Oregon City
 Map Number: 22E31AD
 Taxlot Number: 22E31AD08500
 Parcel Number: 00575050
 Document Number: 2023-013114
 Census Tract: 022400
 Landclass: 101
 Zoning: MUC-1

LOT AREA-	5,325 ft ²
IMPERVIOUS AREA (EXISTING BUILDING):	
WALKWAY-	362 ft ²
ROOF AREA (INCL. OVERHANGS)-	1,354 ft ²
TOTAL-	1,716 ft ²
IMPERVIOUS AREA (PROPOSED BUILDING):	
WALKWAY-	424 ft ²
ROOF AREA (INCL. OVERHANGS)-	1,419 ft ²
TOTAL-	1,843 ft ²
TOTAL IMPERVIOUS AREA -	3,559 ft²

NOTE:
 - EXISTING NATIVE VEGETATION TO BE RETAINED AS PRACTICAL

LIGHTING KEY
 • SYMBOL INDICATES EXTERIOR LIGHT FIXTURE
 -SEE DETAILS ON SHEET 0.2-SD
 NOTE: ON-SITE PEDESTRIAN CIRCULATION SYSTEM MUST BE LIGHTED TO A LEVEL WHERE THE SYSTEM CAN BE USED AT NIGHT BY THE RESIDENCE.

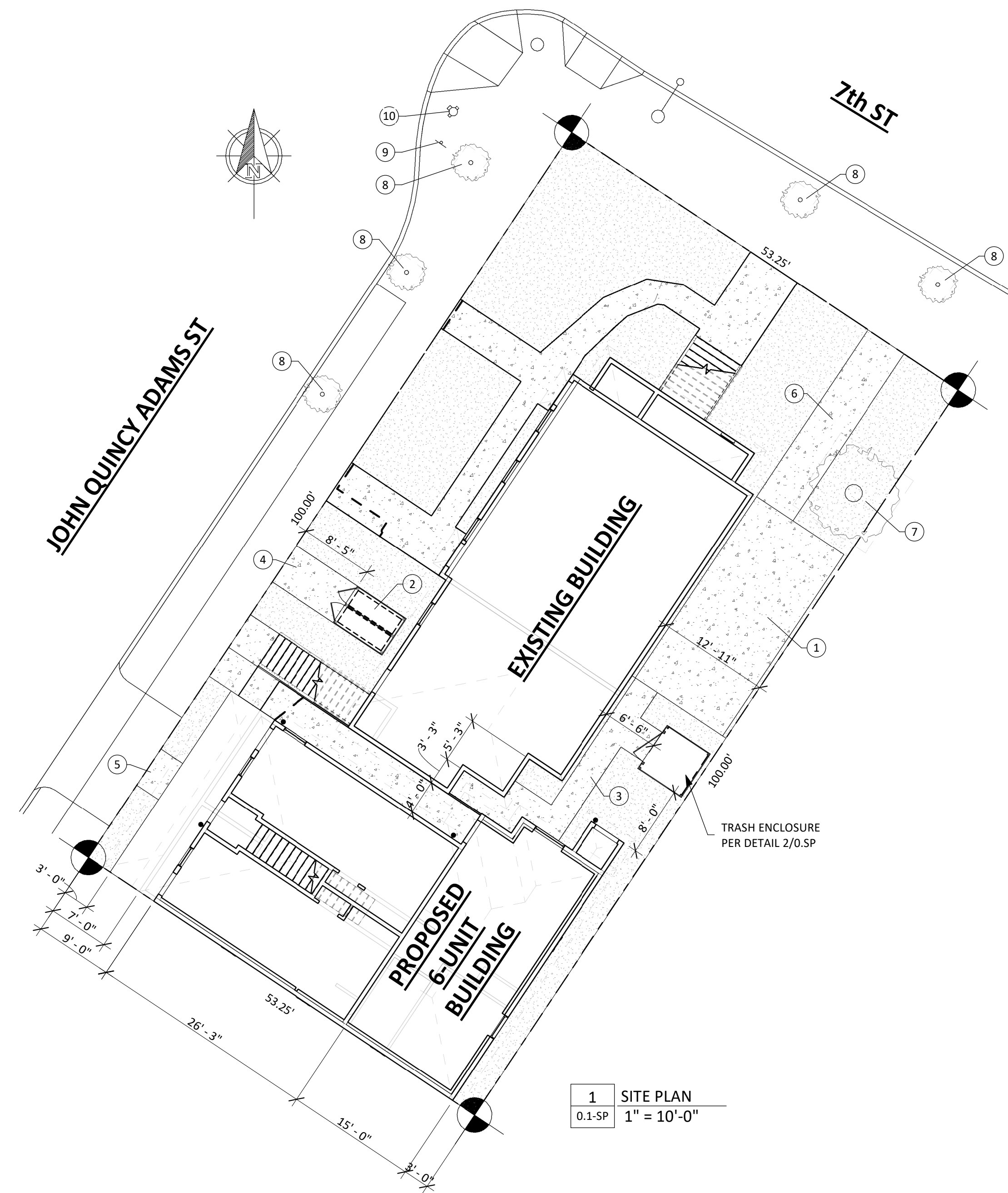
LAWN AREAS TO BE SEEDED WITH SCOTTS TURF BUILDER PACIFIC NORTHWEST LAWN MIXTURE
 LAWN TO BE SEEDED @ 1 LB/110 FT² (1039 FT²=9.5 lbs)
 SEEDED AREAS TO BE PROTECTED BY TEMPORARY FENCING UNTIL ESTABLISHED. - 1,078 S.F. PROPOSED

LOT AREA-	5,325 ft ²
LANDSCAPING REQUIRED (20%) -	1,065 ft ²
EXISTING WALKWAYS -	362 ft ²
PROPOSED WALKWAYS -	424 ft ²
PAVED COURTYARD -	300 ft ²
GRASS AREA -	1,578 ft ²
LANDSCAPING PROVIDED -	2,664 ft ²

NOTE: MINIMUM 1,065 S.F. OF GROUND COVER REQUIRED - 1,578 S.F. PROVIDED (1,578 S.F. GRASS)

Site Information	
Note Number	Note Text

1	300 SF PAVED COURTYARD - SEATING TO BE PROVIDED.
2	(2) LONG TERM BIKE PARKING SPACES - PER DETAIL 1/0.2-SD
3	3' PEDESTRIAN CONNECTION TO OUTDOOR AREA
4	5' PEDESTRIAN CONNECTION TO BIKE LOCKER
5	5' PEDESTRIAN CONNECTION
6	5' PEDESTRIAN CONNECTION TO COURTYARD
7	EXISTING TREE - NO CHANGE
8	EXISTING STREET TREE - NO CHANGE
9	EXISTING STREET SIGN - NO CHANGE
10	EXISTING FIRE HYDRANT - NO CHANGE



1 SITE PLAN
 0.1-SP 1" = 10'-0"

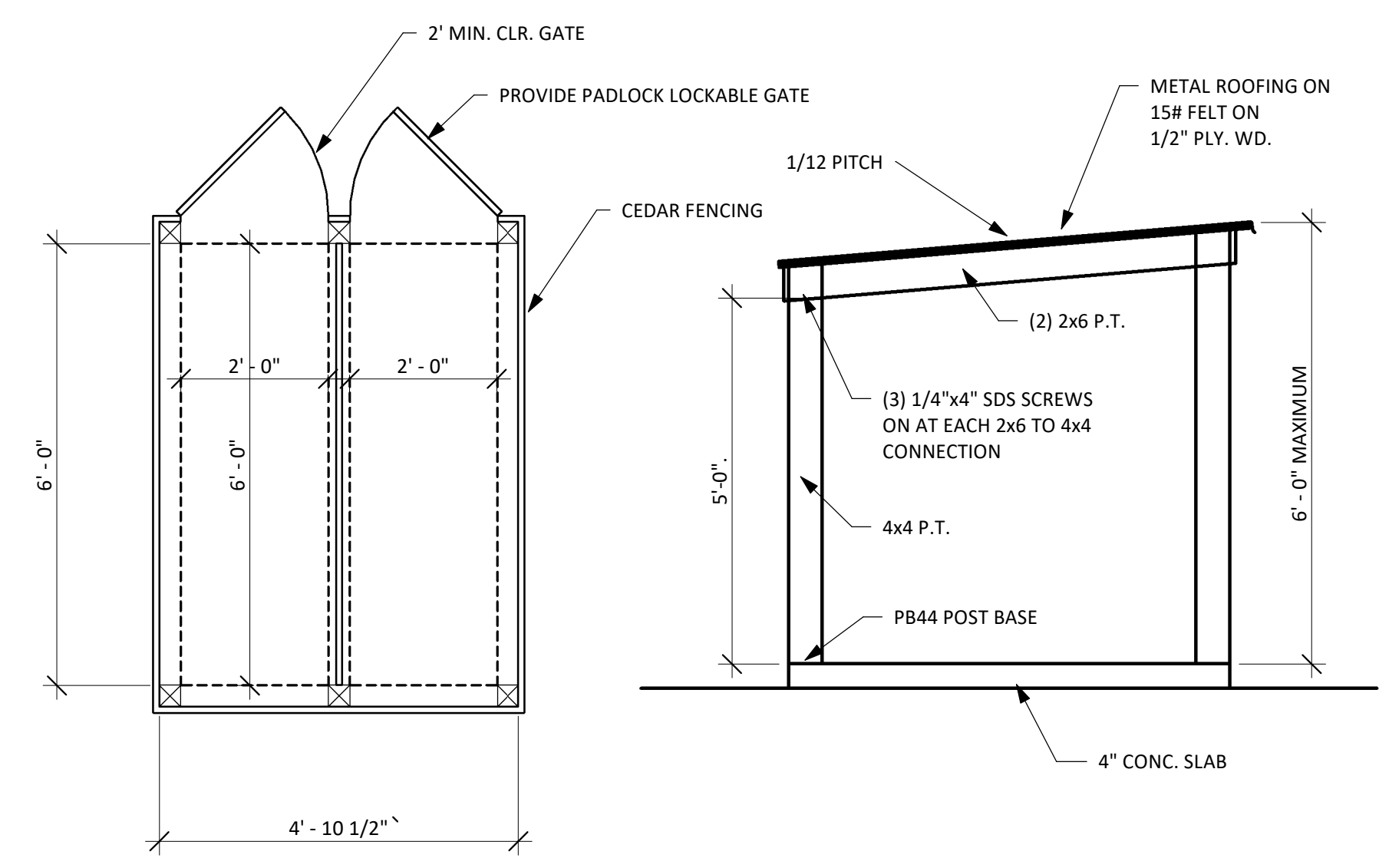
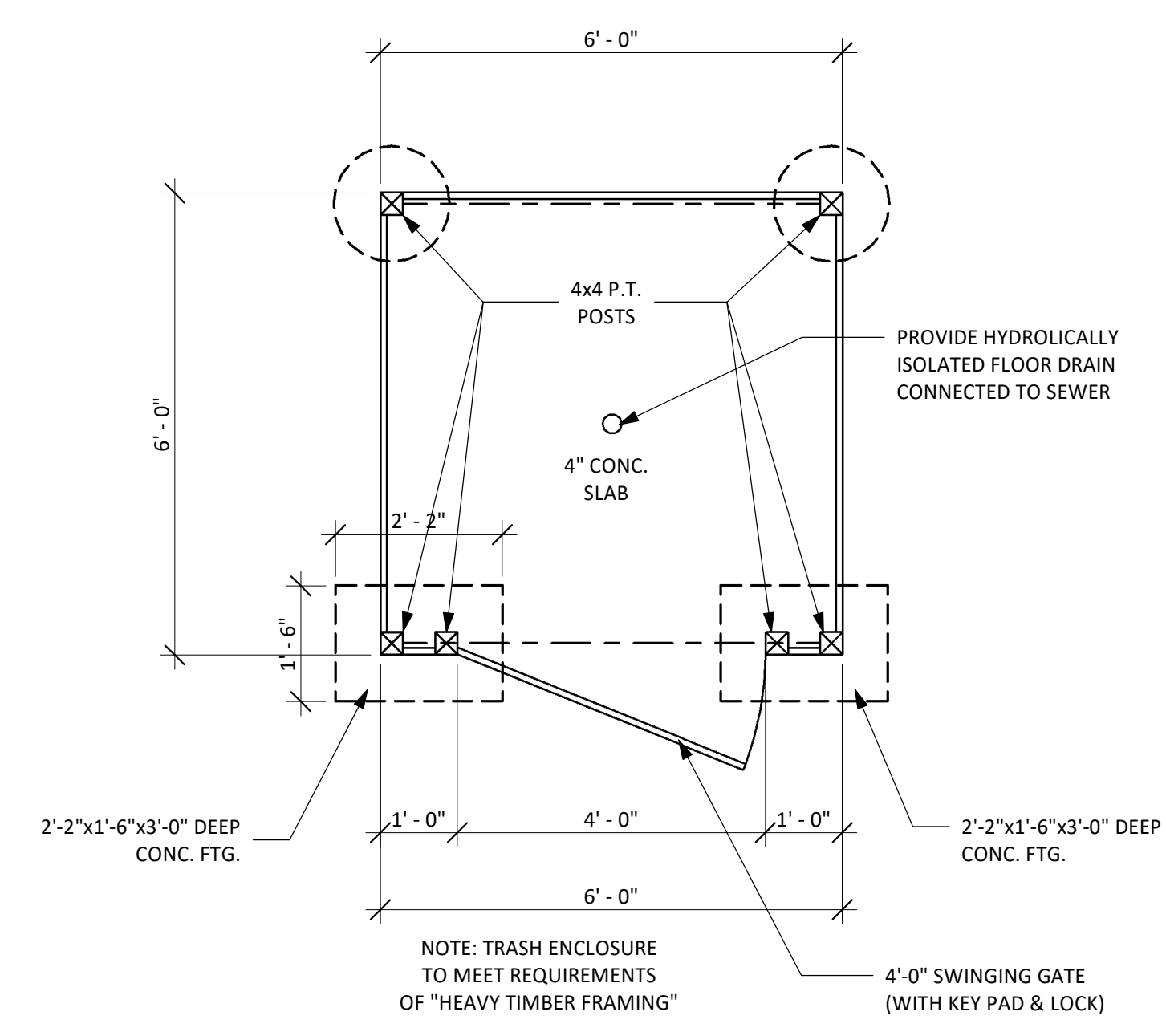
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No.	Date	Issued by
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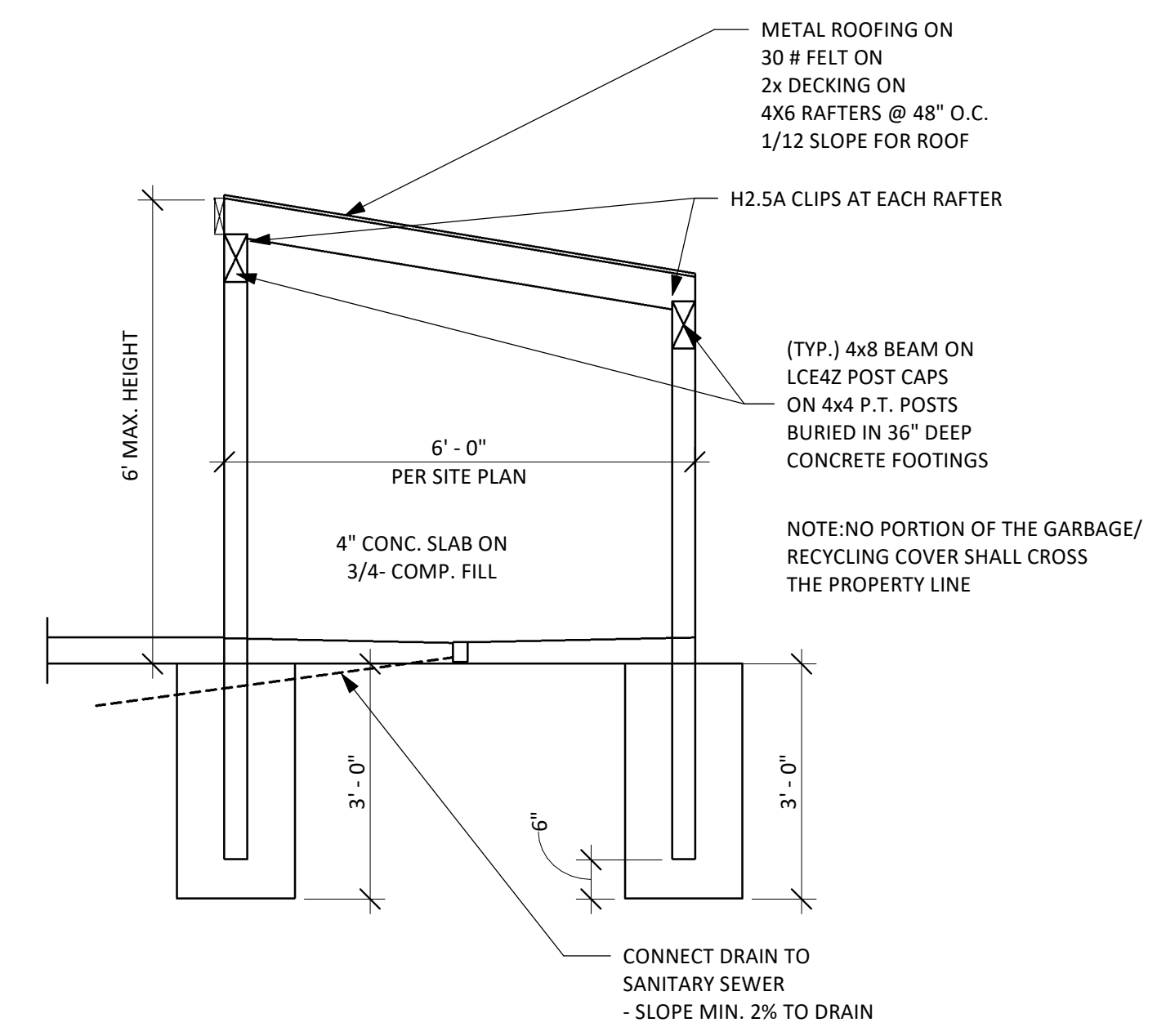
Project number: 13276
 Date: 10/24/2024 11:18:13 AM
 Drawn by: -
 Area: -
 Scale: 1" = 10'-0"

0.1-SP

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1 BIKE LOCKER
 0.2-SD 1/2" = 1'-0"



DATE: _____ TYPE: _____
 NAME: _____
 PROJECT: _____

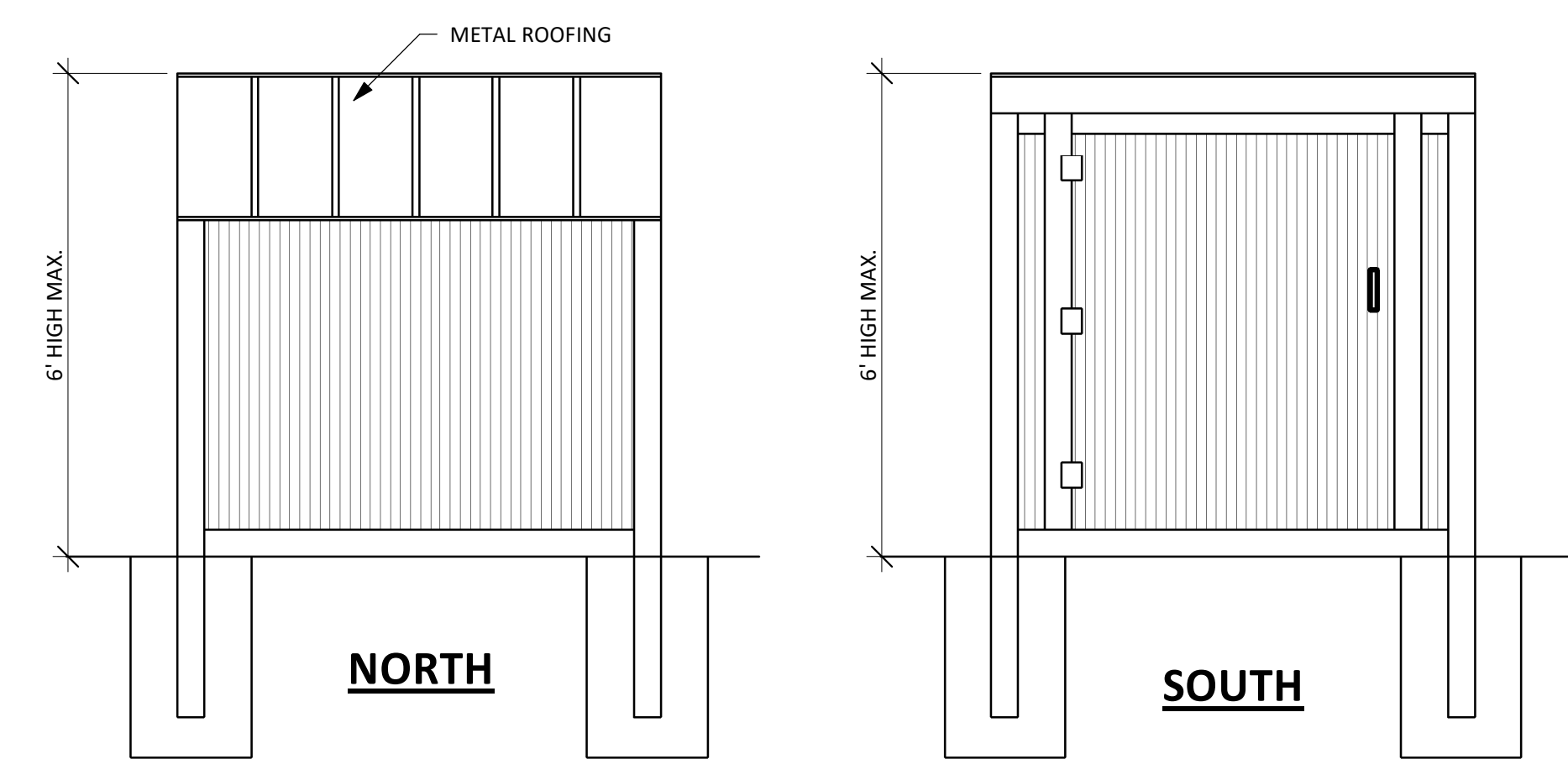
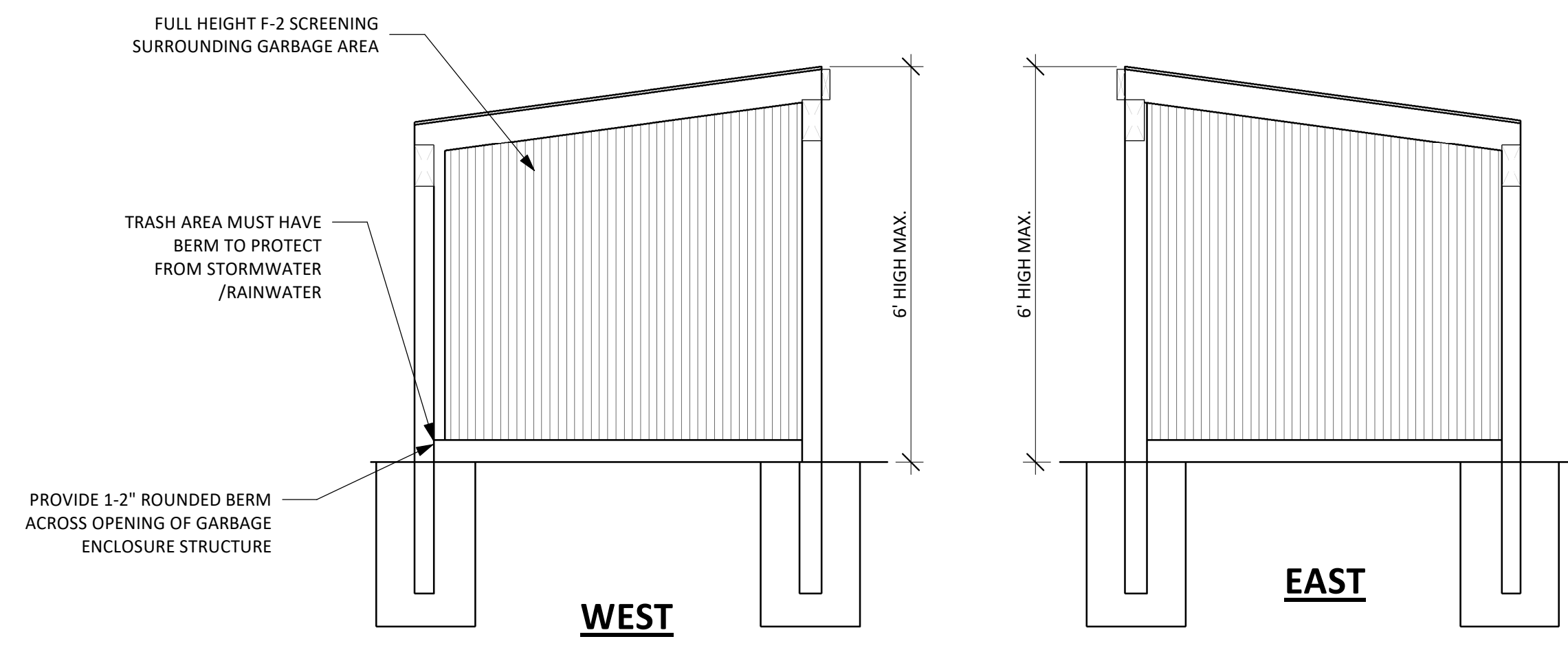
Halogen/incandescent
P5674-31
 Cylinder

5" cylinder with heavy duty aluminum construction and die cast wall bracket. Powder coated finish. cCSAus listed for wet locations.
 Category: Outdoor
 Finish: Black (powdercoat)
 Construction: Aluminum construction metal shade



Width: 5"
 Height: 7-1/4"
 Depth: 8"
 HUCTR: 2-1/2"

EXTERIOR LIGHT NOTES:
 MODEL: P5674-31
 BULB TYPE: HALOGEN/INCANDESCENT
 LAMPING: 75W PAR-30 or BR-30
 CONSTRUCTION: ALUMINUM (METAL SHADE)
 FINISH: BLACK (POWDERCOAT)
 CATEGORY: OUTDOOR
NOTES:
 -EXTERIOR LIGHT TO COMPLY WITH 17.62.065
 -DOWNLIGHT LIGHT FIXTURE
 -LIGHTING SHALL PROJECT DOWN ONLY



2 GARBAGE / RECYCLING DETAIL
 (6'x6')
 0.2-SD 1/2" = 1'-0"

No.	Date	Issued by

Project number: 13276
 Date: 10/24/2024 11:18:15 AM
 Drawn by: KG
 Area:
 Scale: 1/2" = 1'-0"

0.2-SD



2 EXHIBIT 'A'
0.3 - AB N.T.S.



3 EXHIBIT 'B'
0.3 - AB N.T.S.



1 SITE MAP
0.3 - AB N.T.S.



4 EXHIBIT 'C'
0.3 - AB N.T.S.



5 EXHIBIT 'D'
0.3 - AB N.T.S.



6 EXHIBIT 'E'
0.3 - AB N.T.S.

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TONY UZUEGBUNAM
1102 7th St. Oregon City, OR 97045
ADJACENT BUILDINGS MAP

No.	Date	Issued by

Project number: 13276
Date: 10/24/2024 11:18:16 AM
Drawn by: KG
Area:
Scale: N.T.S.

0.3 - AB



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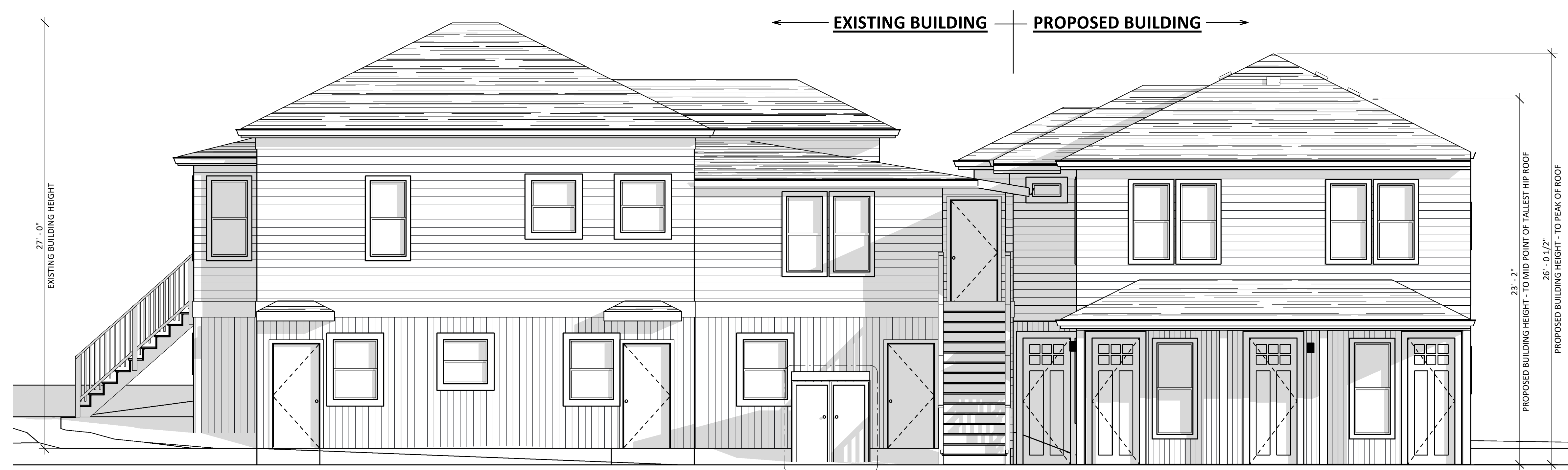
TONY UZUEGBUNAM
1102 7th St. Oregon City, OR 97045
STREETSCAPE ILLUSTRATIONS

No.	Date	Issued by

Project number: 13276
Date: 10/24/2024 11:18:16 AM
Drawn by: KG
Area:
Scale:

0.4 - SI

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5 PROJECT DESCRIPTION
 1 1/4" = 1'-0"

- NEW 2 STORY BUILDING
- ZONING CODE:
- BUILDING CODE: 2019 OSSC
- CONSTRUCTION TYPE VB
 - OCCUPANCY - R-2
 - TOTAL BUILDING SQUARE FOOTAGE - 2,295 S.F.
 - TOTAL BUILDING HEIGHT - 26'

SEPARATE PERMITS REQUIRED:

- HVAC
 - PLUMBING
 - EGRESS LIGHTING
 - ELECTRICAL
 - SPRINKLERS - NFPA 13R SYSTEM
- PERMITS TO BE OBTAINED FROM THE FIRE MARSHAL'S OFFICE:
 2021 OREGON FIRE CODE IS APPLICABLE
 FOR THE PURPOSES OF THIS PERMIT, DRAWINGS OR REFERENCES OF ANY FIRE-EXTINGUISHING SYSTEMS OR FIRE ALARM SYSTEMS ARE FOR INFORMATION ONLY AND WILL REQUIRE SEPARATE APPROVAL FROM THE FIRE MARSHAL'S OFFICE UNDER BENEFIT OF A PERMIT PRIOR TO SYSTEM INSTALLATION.
 - CARBON MONOXIDE DETECTORS TO BE INSTALLED IN ACCORDANCE WITH OFC 908

FIRE SAFETY NOTES

- FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED ON THE STREET SIDE OF BUILDINGS, FULLY VISIBLE AND RECOGNIZABLE FROM THE STREET AND WITHIN 150 FEET OF A PUBLIC FIRE HYDRANT.
- SIGNAGE TO BE MOUNTED ON ALL FIRE DEPARTMENT CONNECTIONS SERVING AUTOMATIC SPRINKLER CONNECTIONS AND BE VISIBLE FROM THE PUBLIC RIGHT-OF-WAY. TO BE VERIFIED UPON FIRE FINAL.

BUILDING CODE SUMMARY

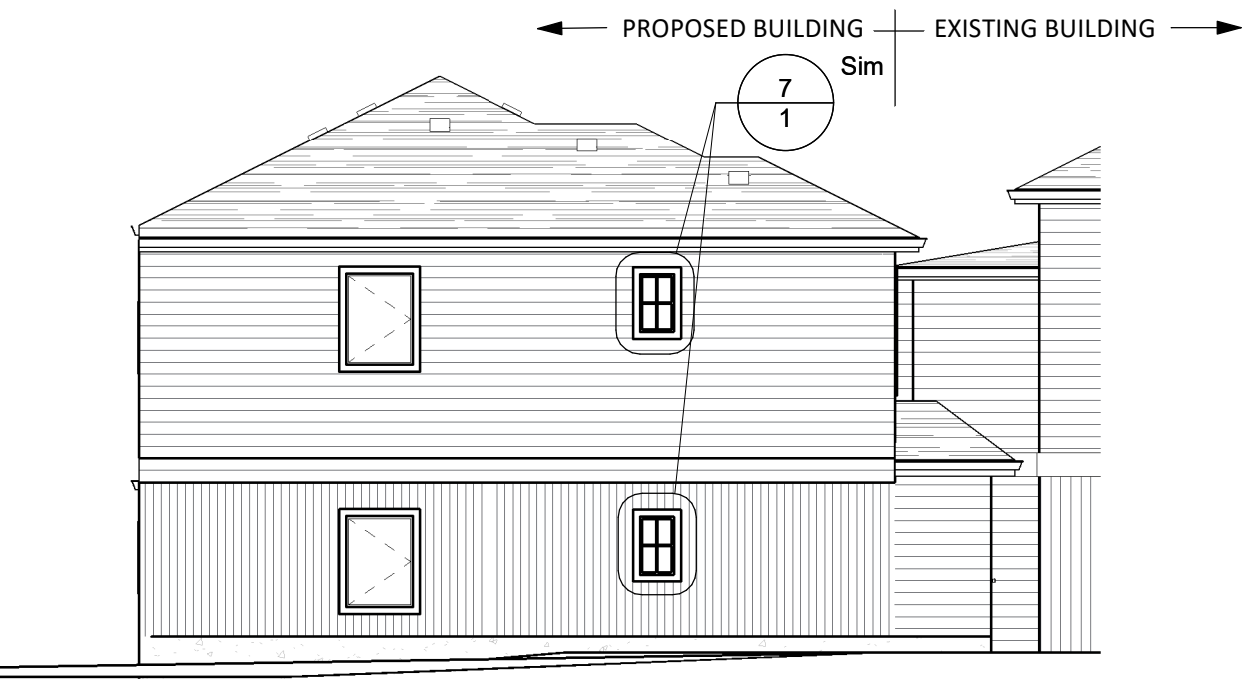
- CHAPTER 5 - GENERAL BUILDING HEIGHTS AND AREAS:
 TABLE 504.3: ALLOWABLE BUILDING HEIGHTS AND AREAS; OCCUPANCY R-2
 BASE ALLOWABLE HEIGHT PER STORY: 21,000 S.F.
 MAXIMUM NUMBER OF STORIES: 3
 MAXIMUM BUILDING HEIGHT: 60'
 BUILDING SPRINKLERS INSTALLED WILL BE FULL NFPA 13
- CHAPTER 6
 TABLE 602 - WALLS REQUIRED TO BE 1 HOUR FIRE RATED - SEE PLAN
 - ALL WALLS USED TO SUPPORT FIRE RATED FLOORS ARE TO BE 1-HOUR RATED
- CHAPTER 9 - FIRE PROTECTION SYSTEMS
 903.2.8 - AUTOMATIC SPRINKLER SYSTEM REQUIRED
 903.3.1.2 - NFPA 13R SPRINKLER SYSTEM REQUIRED.
- CHAPTER 10 - MEANS OF EGRESS
 TABLE 1004.5 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT - RESIDENTIAL = 200 GSF PER OCCUPANT
- CHAPTER 11 - ACCESSIBILITY
 ACCESSIBILITY REQUIREMENTS APPLY TO THE ENTIRE FIRST FLOOR OF ALL BUILDINGS OF THIS PROJECT.
 THE SECOND STORY UNITS ARE EXEMPT FROM ACCESSIBILITY REQUIREMENTS
 ALL GROUND FLOOR DWELLING UNITS ARE TO BE TYPE B UNITS

**TABLE 601
 FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS)**

BUILDING ELEMENT	TYPE V	
		B
Primary structural frame ² (see Section 202)		0
Bearing walls		0
Exterior ²		0
Interior		0
Nonbearing walls and partitions		
Exterior		0
Interior ²		0
Floor construction and associated secondary members (see Section 202)		0
Roof construction and associated secondary members (see Section 202)		0

GROUND FLOOR:		UPPER FLOOR:	
BUILDING FACADE LENGTH:	35'-6"	BUILDING FACADE LENGTH:	31'-6"
WINDOW LENGTH REQUIRED:	3'-7"	WINDOW LENGTH REQUIRED:	3'-2"
	(10%)		(10%)
WINDOW LENGTH PROVIDED:	5'-0"	WINDOW LENGTH PROVIDED:	5'-0"
	(14.0%)		(15.8%)

3 EAST ELEVATION
 1 1/8" = 1'-0"



4 LEFT
 1 1/8" = 1'-0"

**TABLE 5.5-4
 BUILDING ENVELOPE REQUIREMENTS**

CLIMATE ZONE 4	GROUP R
ROOFS	U-0.032
WALLS, ABOVE GRADE	U-0.064
WOOD FRAMED AND OTHER WALLS, BELOW GRADE	U-0.0119
BELOW GRADE WALL	
SLAB-ON-GRADE FLOORS	
UNHEATED SLABS	F-0.860

BUILDING WILL COMPLY WITH PRESCRIPTIVE BUILDING ENVELOPE COMPLIANCE PATH

**TABLE 5.5-4
 BUILDING ENVELOPE REQUIREMENTS: FENESTRATION**

VERTICAL FENESTRATION 0-40% OF WALL	
FIXED	0.36
OPERABLE	0.45
ENTRANCE DOOR	0.63
SKYLIGHTS (3% MAXIMUM OF ROOF AREA)	N/A

6 INSULATION REQUIREMENTS
 1 1/4" = 1'-0"

**TABLE 5.5-4
 BUILDING ENVELOPE REQUIREMENTS**

CLIMATE ZONE	GROUP R
ROOFS	R-30ci
INSULATION ENTIRELY ABOVE DECK WALLS, ABOVE GRADE	
WOOD FRAMED AND OTHER WALLS, BELOW GRADE	R-21
BELOW GRADE WALL	N/A
SLAB-ON-GRADE FLOORS	
UNHEATED SLABS	R-15 FOR 24" U-0.37
OPAQUE DOORS	
SWINGING	

**TABLE 502.3
 BUILDING ENVELOPE REQUIREMENTS: FENESTRATION VERTICAL FENESTRATION (30% MAX. ABOVE-GRADE WALL FRAMING MATERIALS OTHER THAN METAL FRAMING - 0.35 MINIMUM 50% OF PERMANENTLY INSTALLED INTERIOR LIGHTING FIXTURES TO BE FITTED WITH HIGH EFFICACY LAMPS)**

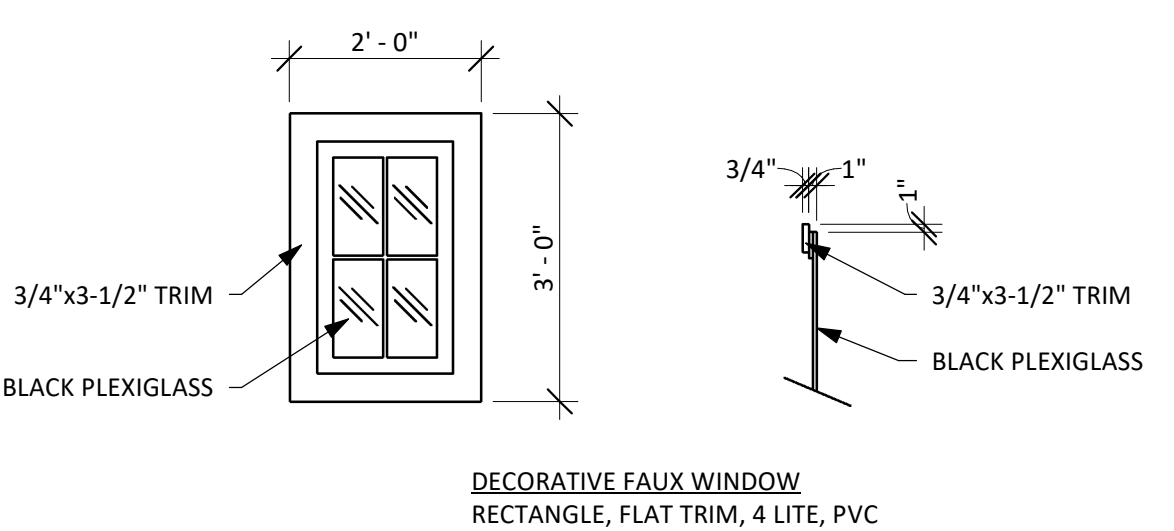
Whole-building air leakage: Compliance with Section 5.4.3.1.1 for whole-building air leakage has been demonstrated and documentation has been provided to the building official
Continuous air barrier: The entire building envelope is designed and constructed with a continuous air barrier in accordance with Section 5.4.3.1.2.

Insulation: Insulation complies with the product information and installation requirements in Section 5.8.1.
Fenestration and doors: Fenestration and doors comply with the product rating and labeling requirements and U-factor, SHGC, and VT determination requirements in Section 5.8.2.

**TABLE M1507.4
 EXHAUST RATES FOR RESIDENTIAL DWELLINGS**

DOMESTIC KITCHENS	
RANGE HOODS / DOWNDRAFT EXHAUST	MIN. 150 CFM INTERMITTENT
BATHROOMS-TOILET ROOMS	
ROOMS CONTAINING BATHING AND SPA FACILITIES (STATIC PRESSURE SHALL BE RATED @ 0.10-INCH WATER GAUGE FOR INTERMITTENT FANS)	MIN. 80 CFM INTERMITTENT OR 20 CFM CONTINUOUS
TOILET ROOMS WITHOUT BATHING OR SPA FACILITIES, WHEN NOT PROVIDED WITH NATURAL VENTILATION IN ACCORDANCE WITH SECTION R303.3.2	MIN. 50 CFM

NOTE
 MECHANICAL EXHAUST VENTS SHALL NOT TERMINATE WITHIN 36" OF OPERABLE WINDOWS



7 FAUX WINDOW DETAIL
 1 1/2" = 1'-0"



GROUND FLOOR:		UPPER FLOOR:	
BUILDING FACADE LENGTH:	41'-3"	BUILDING FACADE LENGTH:	43'-3"
WINDOW LENGTH REQUIRED:	4'-1.5"	WINDOW LENGTH REQUIRED:	4'-4"
	(10%)		(10%)
WINDOW LENGTH PROVIDED:	6'-0"	WINDOW LENGTH PROVIDED:	6'-0"
	(14.5%)		(13.8%)

2 RIGHT
 1 1/8" = 1'-0"

No.	Date	Issued by

Project number: 13276
 Date: 10/24/2024 11:18:20 AM
 Drawn by: -
 Area: -
 Scale: As indicated

BATHROOMS

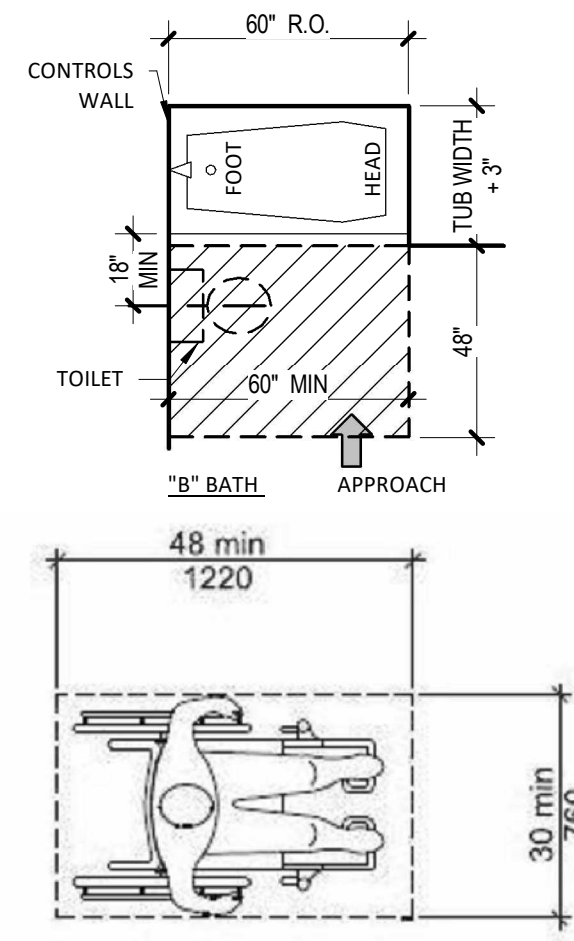
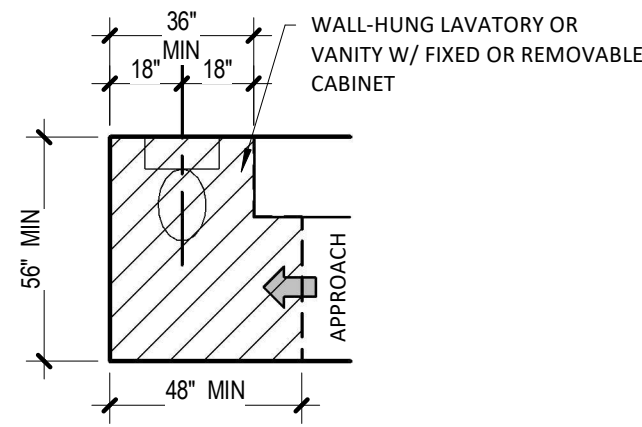


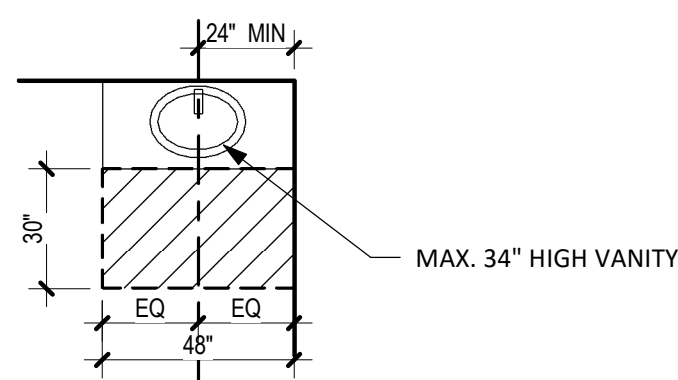
Fig. 305.3 Size of Clear Floor Space

CLEARANCE AT TUB, TUB/SHOWERS



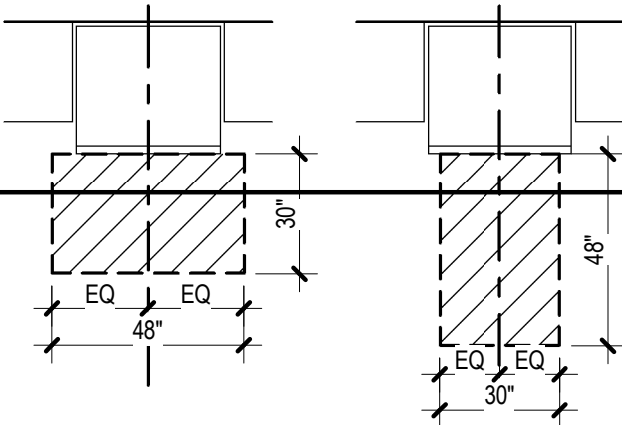
2

CLEARANCE AT WATER CLOSETS (ONE OF THREE CLEAR FLOOR SPACES REQUIRED IN BOTH A AND B BATHROOMS)

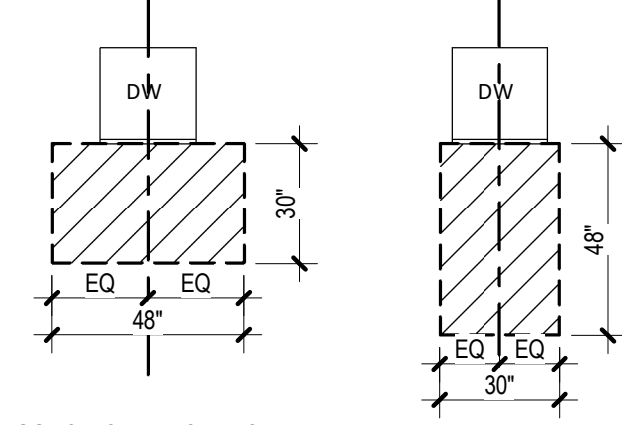


CLEAR FLOOR SPACE AT LAVATORY

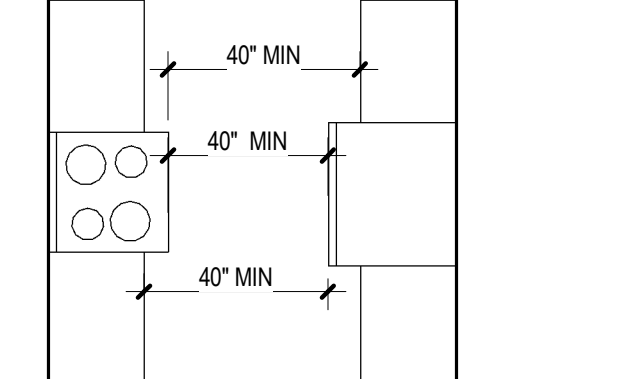
KITCHENS



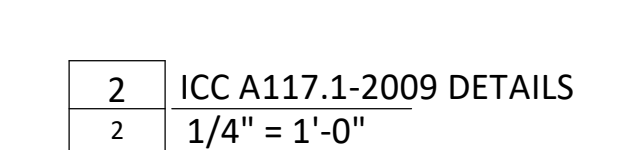
CLEAR FLOOR SPACE AT SINK



CLEAR FLOOR SPACE AT DISHWASHER

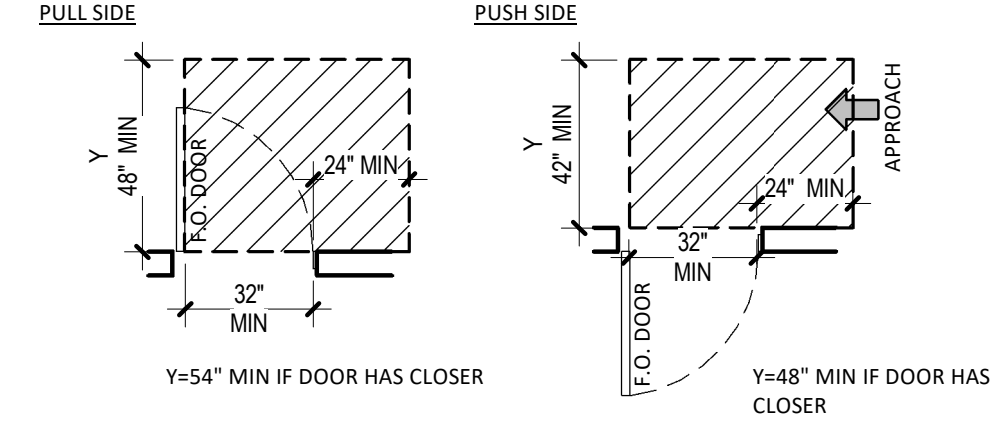
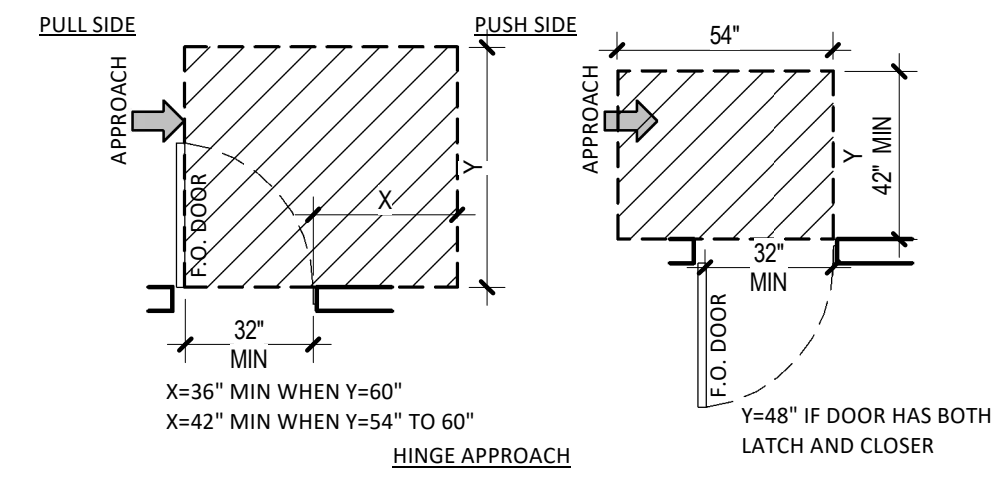
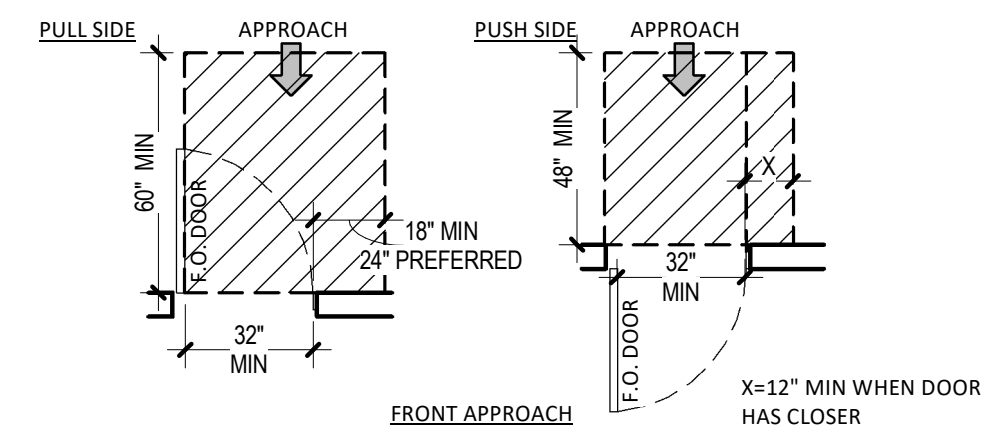


CLEAR BETWEEN OPPOSING ELEMENTS

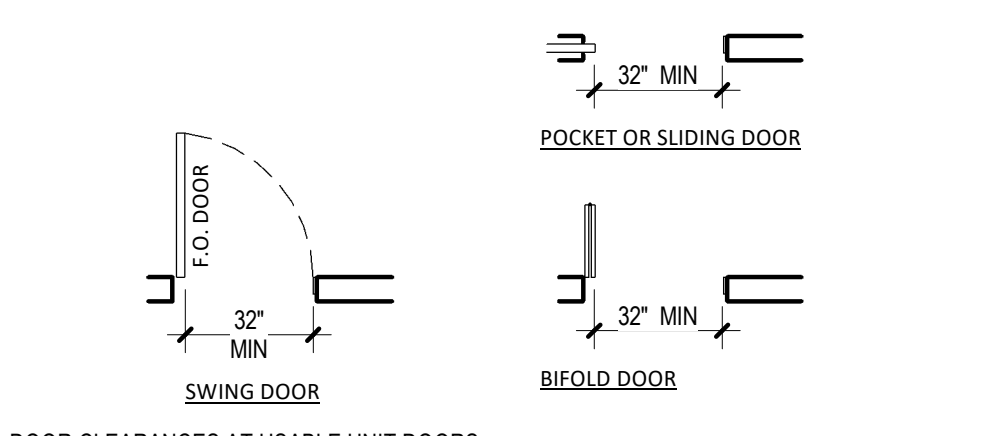


2 ICC A117.1-2009 DETAILS
1/4" = 1'-0"

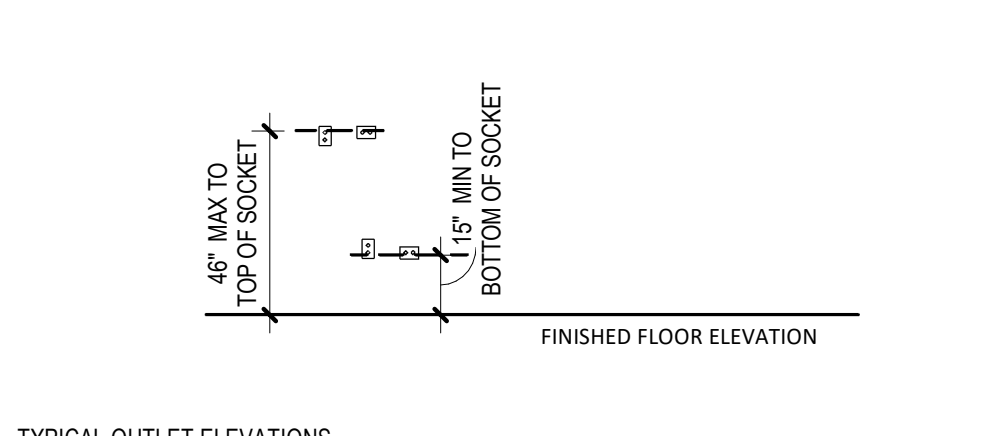
GENERAL



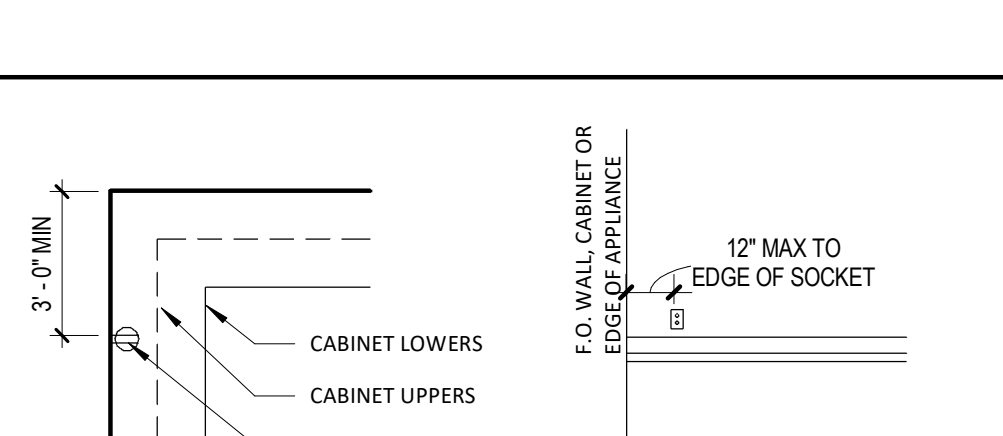
DOOR CLEARANCES AT UNIT ENTRY DOORS



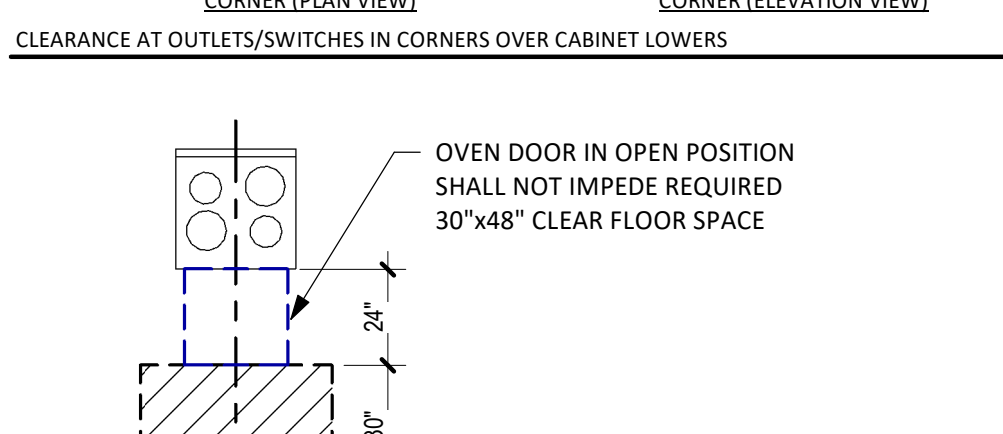
DOOR CLEARANCES AT USABLE UNIT DOORS



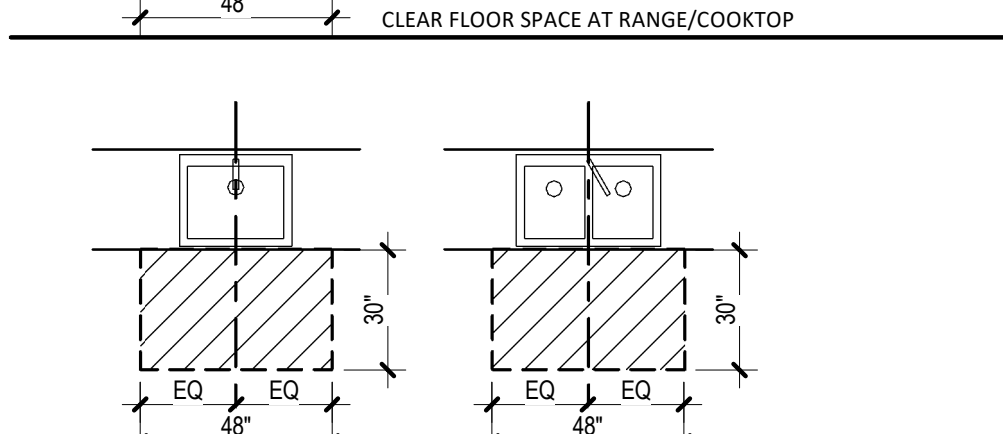
TYPICAL OUTLET ELEVATIONS



CLEARANCE AT OUTLETS/SWITCHES IN CORNERS OVER CABINET LOWERS



CLEAR FLOOR SPACE AT RANGE/COOKTOP



CLEAR FLOOR SPACE AT SINK

F	FAN - 110 CFM
S	SMOKE DETECTOR
R	RADON MITIGATION PIPE
CO	CARBON MONOXIDE
FD	FLOOR DRAIN
W/D	STACKED WASHER DRYER UNITS - PROVIDE PAN BENEATH - SEE FIRE PROTECTION DETAIL ON SHEET A8 FOR CONNECTION BOXES
WH	WATER HEATER LOCATION - PROVIDE PAN BENEATH
FE	FIRE EXTINGUISHER - MINIMUM 2A:10BC EXTINGUISHER SHALL BE INSTALLED - SEE PLAN FOR LOCATIONS
26G	26 GAUGE DUCTING INSTALLED IN ACCORDANCE WITH MECHANICAL CODE - SEE PENETRATION DETAILS ON SHEET 12 VENTS SHALL NOT TERMINATE WITHIN 3'-0" HORIZ. & VERT. FROM OPERABLE WINDOWS OR DOORS
MSZ-GL	MITSUBISHI MSZ-GL12NA INDOOR UNIT
TF	TRANSFER FAN
TS	THERMOSTAT CONTROL

ALL ELECTRICAL FIXTURES AND OUTLETS TO BE INSTALLED PER ELECTRICAL CODE

KEY
1/4" = 1'-0"

ADA NOTES
MAXIMUM MOUNTING HEIGHT FOR SWITCHES AND CONTROLS IS 48" AT MAIN FLOOR ADA UNITS. MINIMUM 15" MOUNTING HEIGHT FOR OUTLETS RECEPTACLES

- GENERAL DOOR NOTES:
- MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 8.5 LB'S FOR EXTERIOR DOORS AND 5 LB'S FOR INTERIOR DOORS, ADA/ANSI 404.2.
 - HAND ACTIVATED HARDWARE SHALL BE CENTERED BETWEEN 34" MIN. AND 48" MAX. ABOVE FLOOR. LATCHING AND LOCKING DOORS THAT ARE HAND-ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE, PANIC BARS, PUSH-PULL ACTIVATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE.
 - THE FLOOR OR LANDING SHALL BE NOT MORE THAN 1/2" LOWER THAN THE THRESHOLD OF THE DOORWAY. CHANGES IN LEVEL GREATER THAN 1/4" (NOT MORE THAN 1/2" MAX. IN HEIGHT SHALL BE BEVELED WITH A SLOPE NOTE STEEPER THAN 2:1. (SEE FIG. 303.3)
 - DOOR HARDWARE SHALL NOT BE MOUNTED BELOW 34" ABOVE FINISH FLOOR.
 - EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. EXTERIOR DOORS MAY BE EQUIPPED WITH A NIGHT LATCH, DEAD BOLT OR SECURITY CHAIN PROVIDED THE DOOR IS OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR TOOL

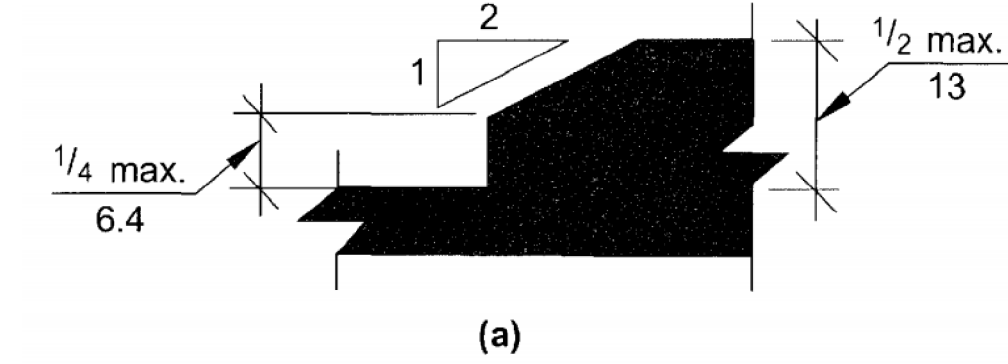


FIG. 303.3 BEVELED CHANGES IN LEVEL

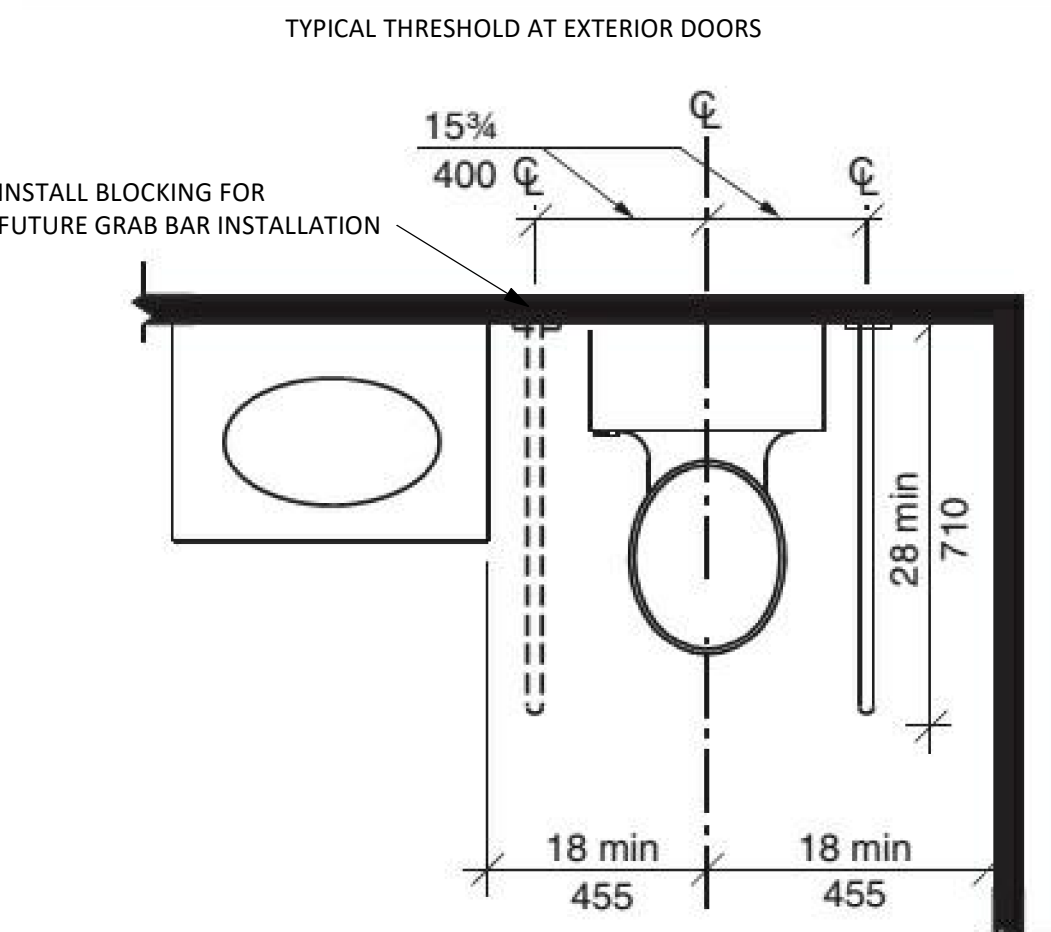
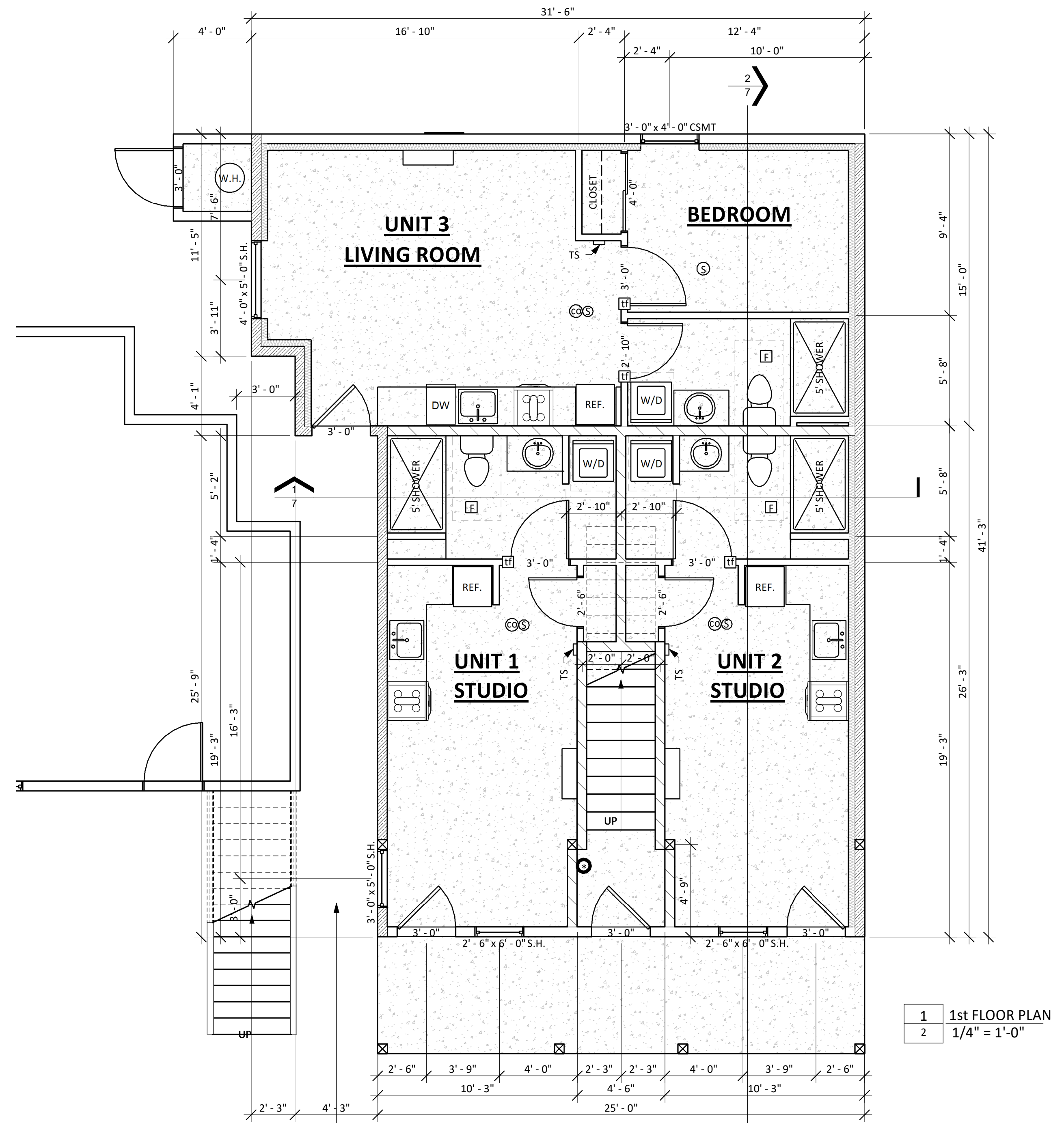


FIG. 1104.11.1.1 SWING-UP GRAB BARS FOR WATER CLOSETS AT ADA UNITS - PROVIDE BLOCKING IN WALL



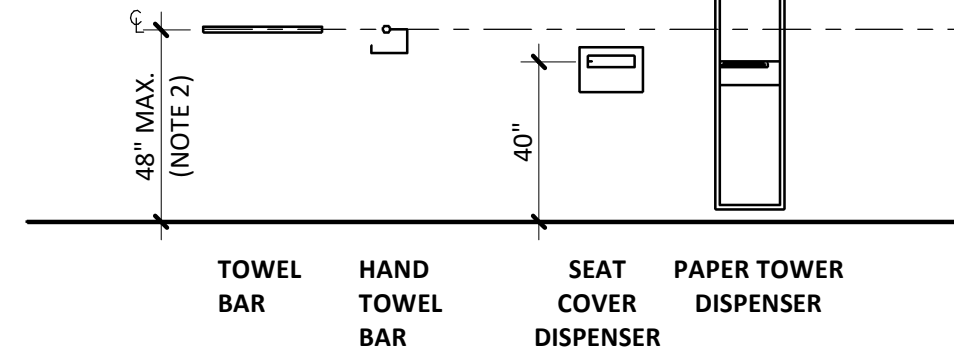
1 1st FLOOR PLAN
2 1/4" = 1'-0"

NOTE: ACCESSIBLE ROUTE TO ENTRY DOORS NOT TO EXCEED 5% SLOPE & 2% CROSS SLOPE

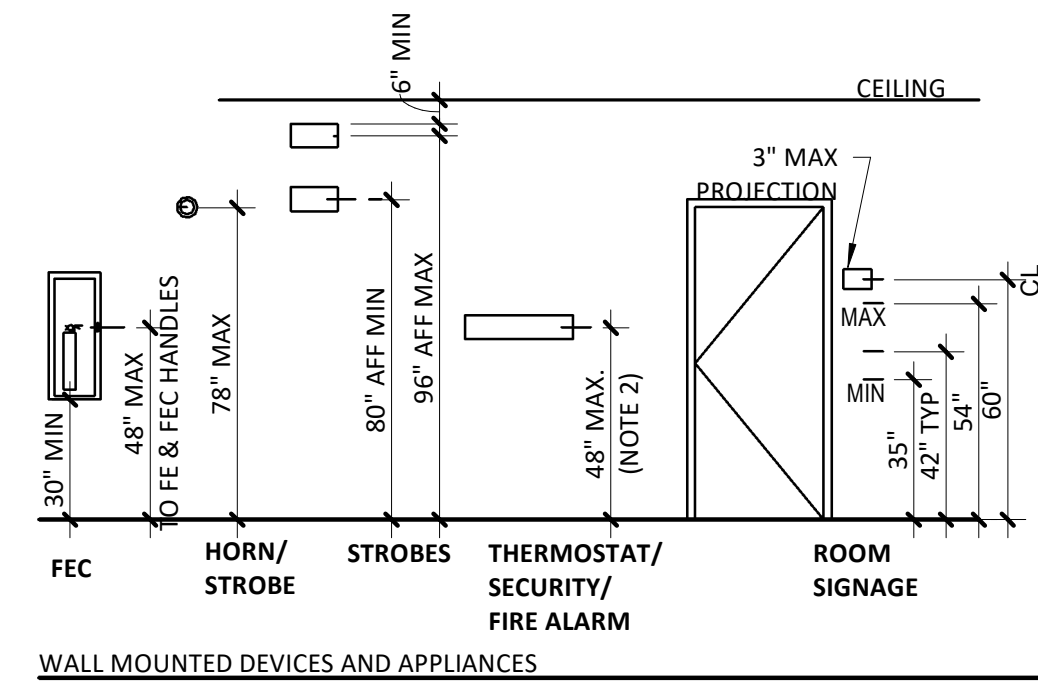
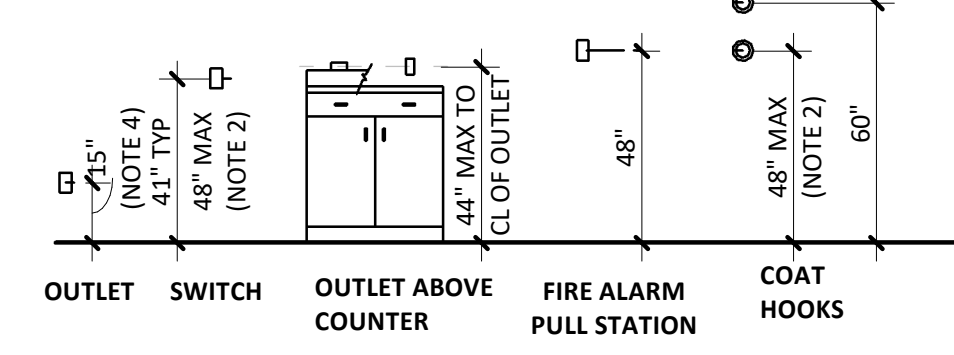
Area Schedule	
Name	Area
UNIT 1	297 SF
UNIT 2	297 SF
UNIT 3	473 SF
UNIT 4	317 SF
UNIT 5	317 SF
UNIT 6	473 SF

MOUNTING HEIGHTS

- NOTE:
- WALL MOUNTED DEVICES SHALL NOT EXTEND MORE THAN 4" BEYOND WALL SURFACE WHEN LOCATED BELOW 6'-8"
 - MAXIMUM HEIGHT TO TOP OF ALL OPERABLE PARTS
 - LOCATE OUTLET SO THAT CENTERLINE OF BOTTOM OUTLET IS ABOVE 15" MINIMUM SIDE REACH HEIGHT.



TOILET ROOM ACCESSORY MOUNTING HEIGHTS



WALL MOUNTED DEVICES AND APPLIANCES

NOTES

- THESE DIAGRAMS ARE BASED ON THE INFORMATION CONTAINED IN THE ADAAG MANUAL AND CHAPTER 11 OF THE BUILDING CODE. THEY ARE REPRESENTATIVE OF THE GENERAL REQUIREMENTS THAT APPLY TO THIS PROJECT. THEY ARE NOT REPRODUCTIONS OF THE INFORMATION CONTAINED IN THE ADAAG. REFER TO THE ADAAG FOR ADDITIONAL INFORMATION.

3 MOUNTING HEIGHTS
2 1/4" = 1'-0"

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Scale: 1/4" = 1'-0"

GA FILE NO. WP 3242	GENERIC	1 HOUR FIRE	50 to 54 STC SOUND
GYPSUM WALLBOARD, RESILIENT CHANNELS, MINERAL OR GLASS FIBER INSULATION, WOOD STUDS			
Resilient channels 16" o.c. attached at right angles to ONE SIDE of 2 x 4 wood studs 24" o.c. with 1 1/4" Type S drywall screws. One layer 1/2" type X gypsum wallboard or gypsum veneer base applied at right angles to channels with 1" Type S drywall screws 9" o.c. with vertical joints located midway between studs. 3" mineral or glass fiber insulation in stud space.			
OPPOSITE SIDE: One layer 1/2" type X gypsum wallboard or gypsum veneer base applied parallel or at right angles to studs with 6d cement coated nails, 1 7/8" long, 0.0915" shank, 1 5/16" heads, 7" o.c.			
Vertical joints staggered 24" on opposite sides. (LOAD-BEARING)			
		Thickness: 5 1/2" Approx. Weight: 7 psf Fire Test: Based on UL R14196, 05NK05371, 2-15-05, UL Design U309 Sound Test: NRCC TL-93-098, IRC-IR-761, 3/98	

GA FILE NO. WP 8105	GENERIC	1 HOUR FIRE
GYPSUM WALLBOARD, GYPSUM SHEATHING, WOOD STUDS		
EXTERIOR SIDE: One layer 48" wide 5/8" type X gypsum sheathing applied parallel to 2 x 4 wood studs 24" o.c. with 1 3/4" galvanized roofing nails 4" o.c. at vertical joints and 7" o.c. at intermediate studs and top and bottom plates. Joints of gypsum sheathing may be left untreated. Exterior cladding to be attached through sheathing to studs.		
INTERIOR SIDE: One layer 5/8" type X gypsum wallboard, water-resistant gypsum backing board, or gypsum veneer base applied parallel or at right angles to studs with 6d coated nails 1 7/8" long, 0.0915" shank, 1 1/4" heads 7" o.c. (LOAD-BEARING)		
		Thickness: Varies Approx. Weight: 7 psf Fire Test: See WP 3510 (UL R3501-47, -48, 9-17-65, UL Design U309, UL R1319-129, 7-22-70, UL Design U314)

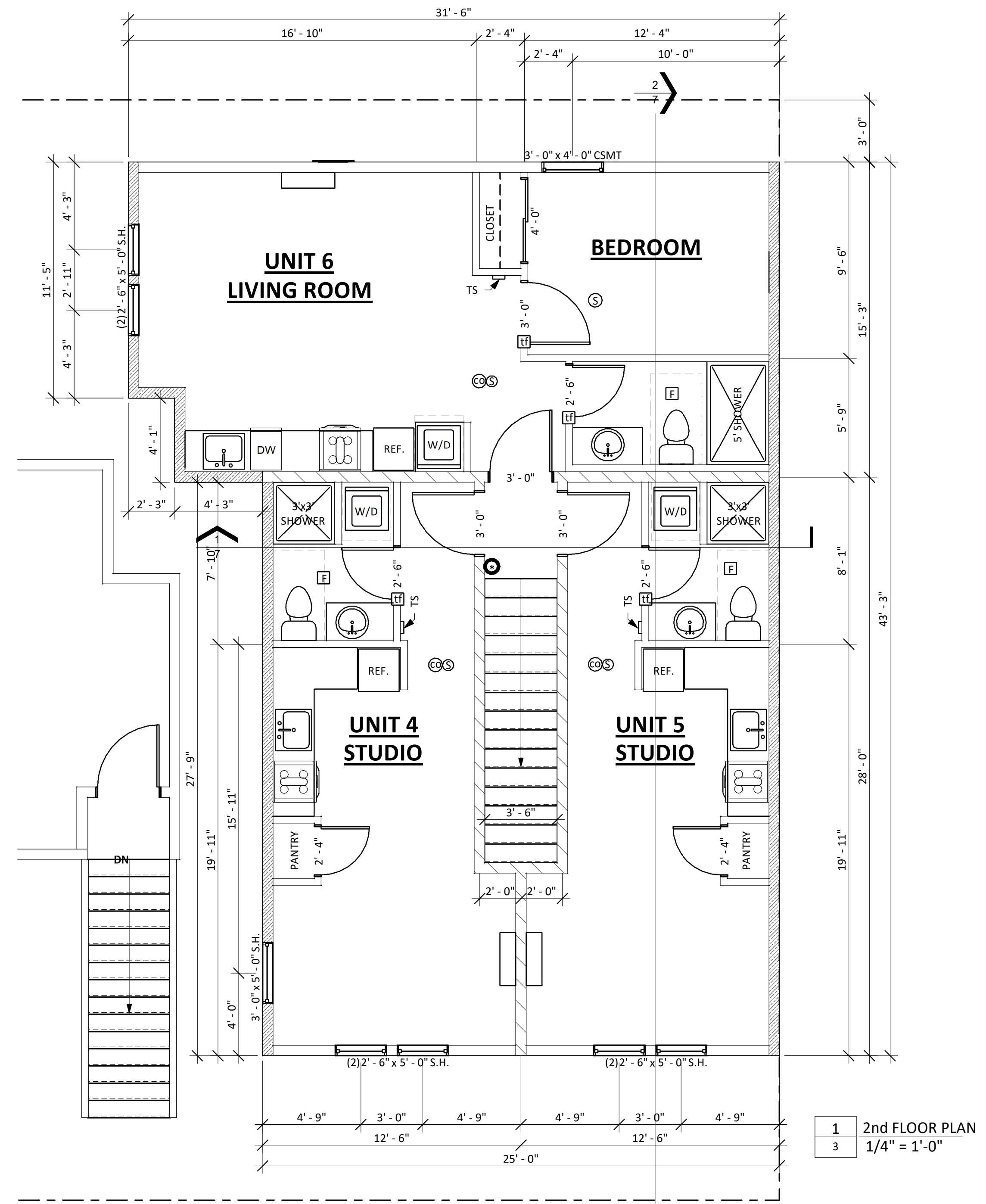
WALL TYPE LEGEND
 1/4" = 1'-0"

	FAN - 110 CFM
	SMOKE DETECTOR
	RADON MITIGATION PIPE
	CARBON MONOXIDE
	FLOOR DRAIN
	STACKED WASHER DRYER UNITS - PROVIDE PAN BENEATH - SEE FIRE PROTECTION DETAIL ON SHEET A8 FOR CONNECTION BOXES
	WATER HEATER LOCATION - PROVIDE PAN BENEATH
	FIRE EXTINGUISHER - MINIMUM 2A:10BC EXTINGUISHER SHALL BE INSTALLED - SEE PLAN FOR LOCATIONS
	26 GAUGE DUCTING INSTALLED IN ACCORDANCE WITH MECHANICAL CODE - SEE PENETRATION DETAILS ON SHEET 12 VENTS SHALL NOT TERMINATE WITHIN 3'-0" HORIZ. & VERT. FROM OPERABLE WINDOWS OR DOORS
	MSZ-GL MITSUBISHI MSZ-GL12NA INDOOR UNIT
	TRANSFER FAN
	THERMOSTAT CONTROL

ALL ELECTRICAL FIXTURES AND OUTLETS TO BE INSTALLED PER ELECTRICAL CODE

Area Schedule	
Name	Area

UNIT 1	297 SF
UNIT 2	297 SF
UNIT 3	473 SF
UNIT 4	317 SF
UNIT 5	317 SF
UNIT 6	473 SF



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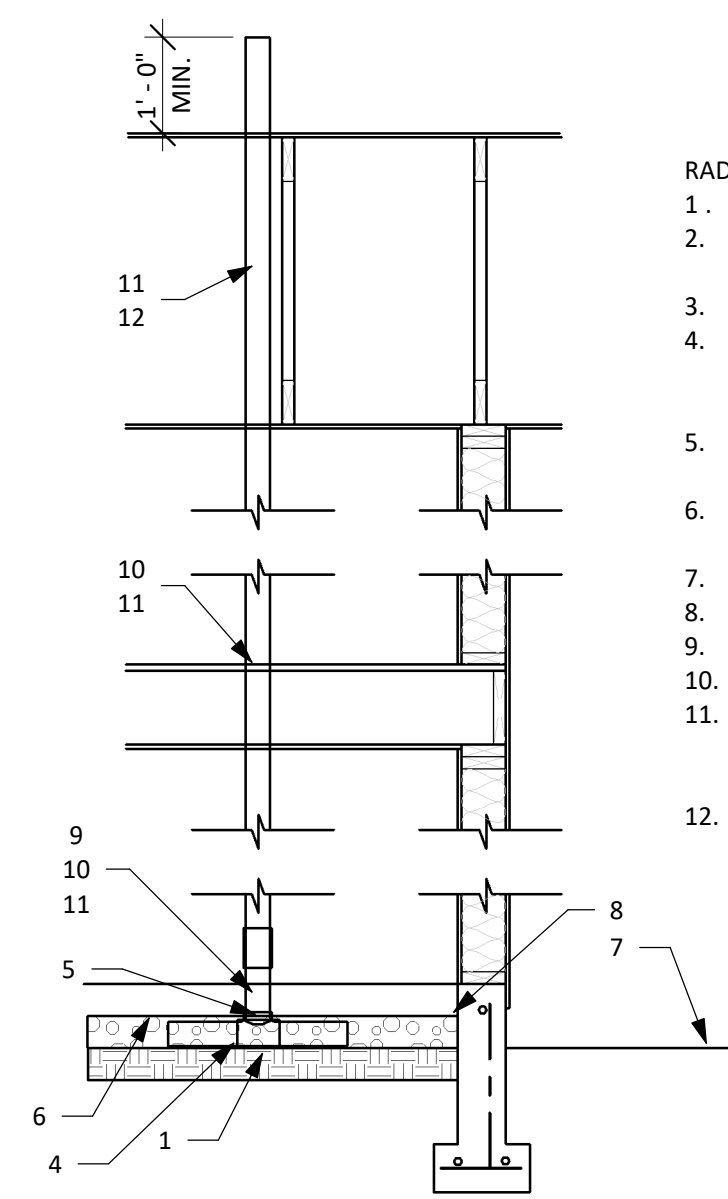
No.	Date	Issued by
1		
3		

Project number: 13276
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 Area:
 Scale: 1/4" = 1'-0"

3

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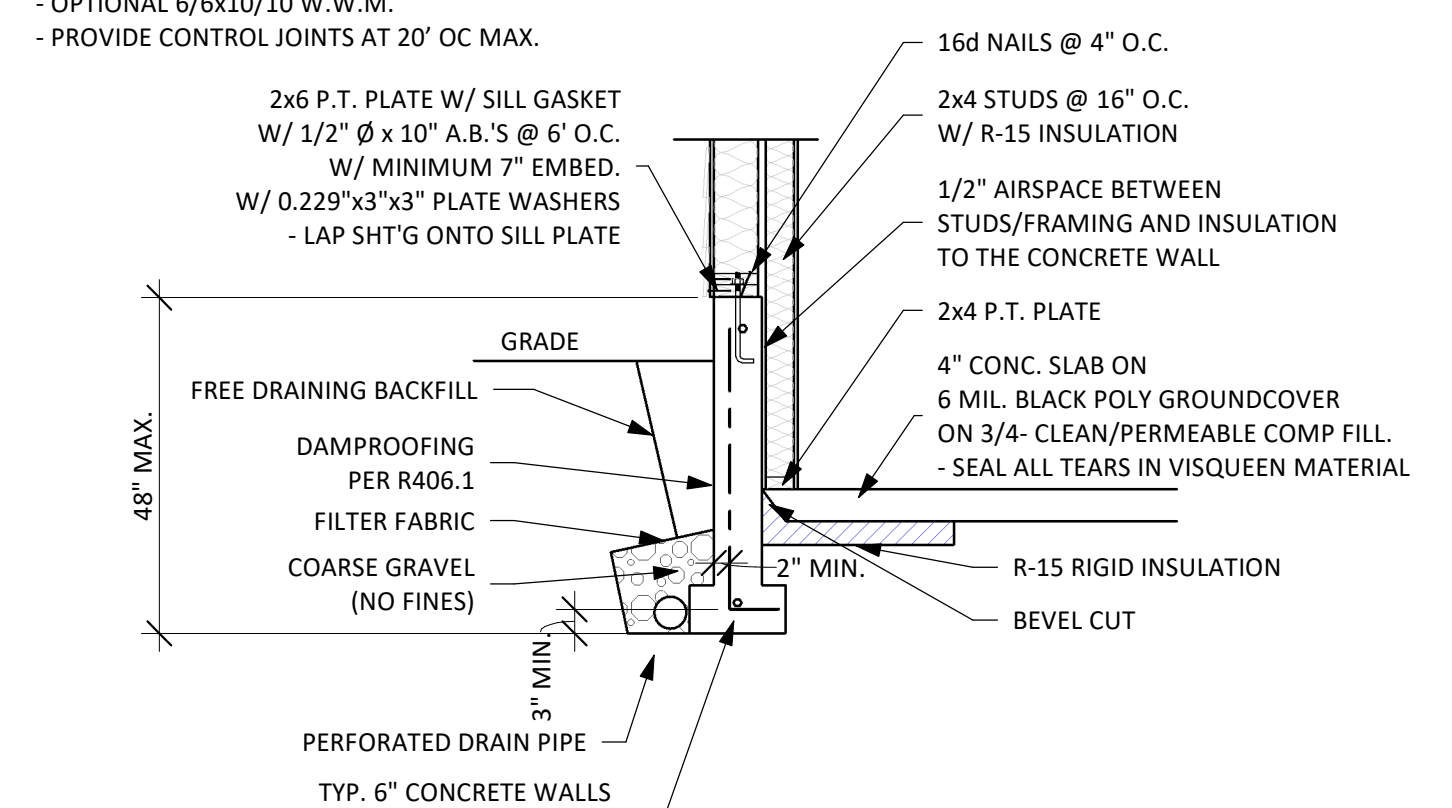
TONY UZUEGBUNAM
 1102 7th St. Oregon City, OR 97045
FOUNDATION PLAN



- RADON CONTROL NOTES**
- 3" OR 4" PLUMBING TEE UNDER 6-MIL VAPOR BARRIER
 - 3" OR 4" PLUMBING TEE IN 4" PERMEABLE CLEAN AGGREGATE UNDER SLAB. SIZE OF AGGREGATE 2" MAX, 1/4" MIN.
 - 3" OR 4" PERFORATED PIPE
 - 3" OR 4" VENT PIPE UNDER CONCRETE SLAB. THIS VENT SHALL BE EXTENDED AND TERMINATED 12" ABOVE THE ROOF OR CONNECTED TO THE VENT PIPE FROM THE CRAWL SPACE
 - SEAL VENT TO VAPOR BARRIER BY TAPING OR OTHER MEANS SUCH AS A HOSE CLAMP.
 - 6 MIL. POLYETHYLENE OR EQUIVALENT FLEXIBLE SHEETING MATERIAL. THE JOINTS SHALL BE LAPPED 12" AND SEALED OR TAPED. CONCRETE SLAB ON GRADE.
 - MEMBRANE SHALL BE SEALED AGAINST WALL WITH BEAD OF CAULK OR ADHESIVE.
 - SEAL THE PENETRATION.
 - 3" OR 4" PIPE VENT SHALL BE EXTENDED AND TERMINATED 12" ABOVE THE ROOF
 - ALL EXPOSED AND VISIBLE INTERIOR RADON VENT PIPES SHALL BE IDENTIFIED WITH AT LEAST ONE LABEL AT EACH FLOOR AND IN AN ACCESSIBLE ATTIC. THE LABEL SHALL READ "RADON DEDUCTION SYSTEM PROVIDE AN ELECTRICAL CIRCUIT TERMINATED IN AN APPROVED BOX FOR FUTURE INSTALLATION OF AN ACTIVE RADON MITIGATION SYSTEM AND A SYSTEM FAILURE ALARM.
 -
 -

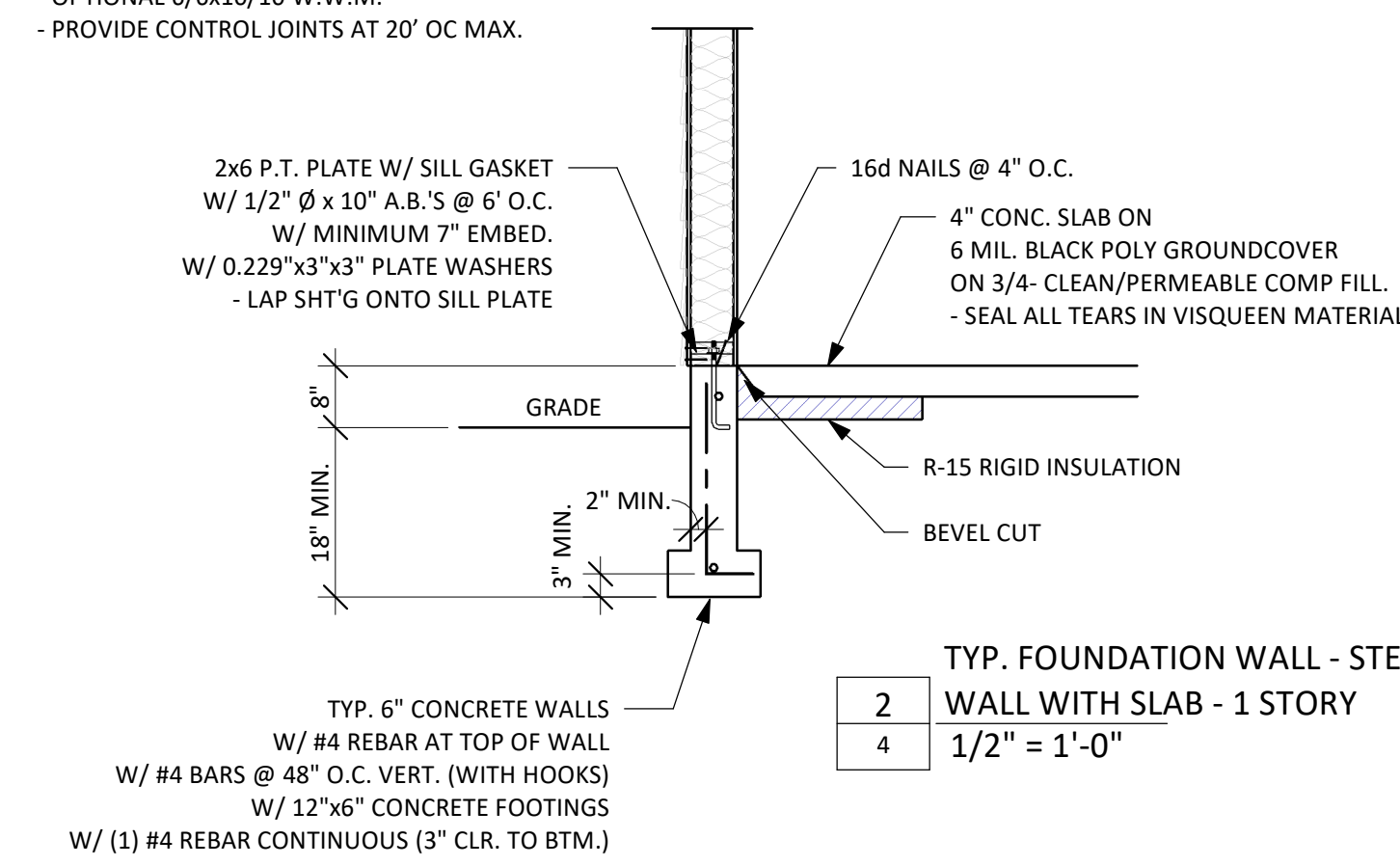
RADON CONTROL VENT UNDER SLAB
 3/4" = 1'-0"

- GENERAL NOTES**
 FLOOR SLAB:
 - OPTIONAL 6/6x10/10 W.W.M.
 - PROVIDE CONTROL JOINTS AT 20' OC MAX.

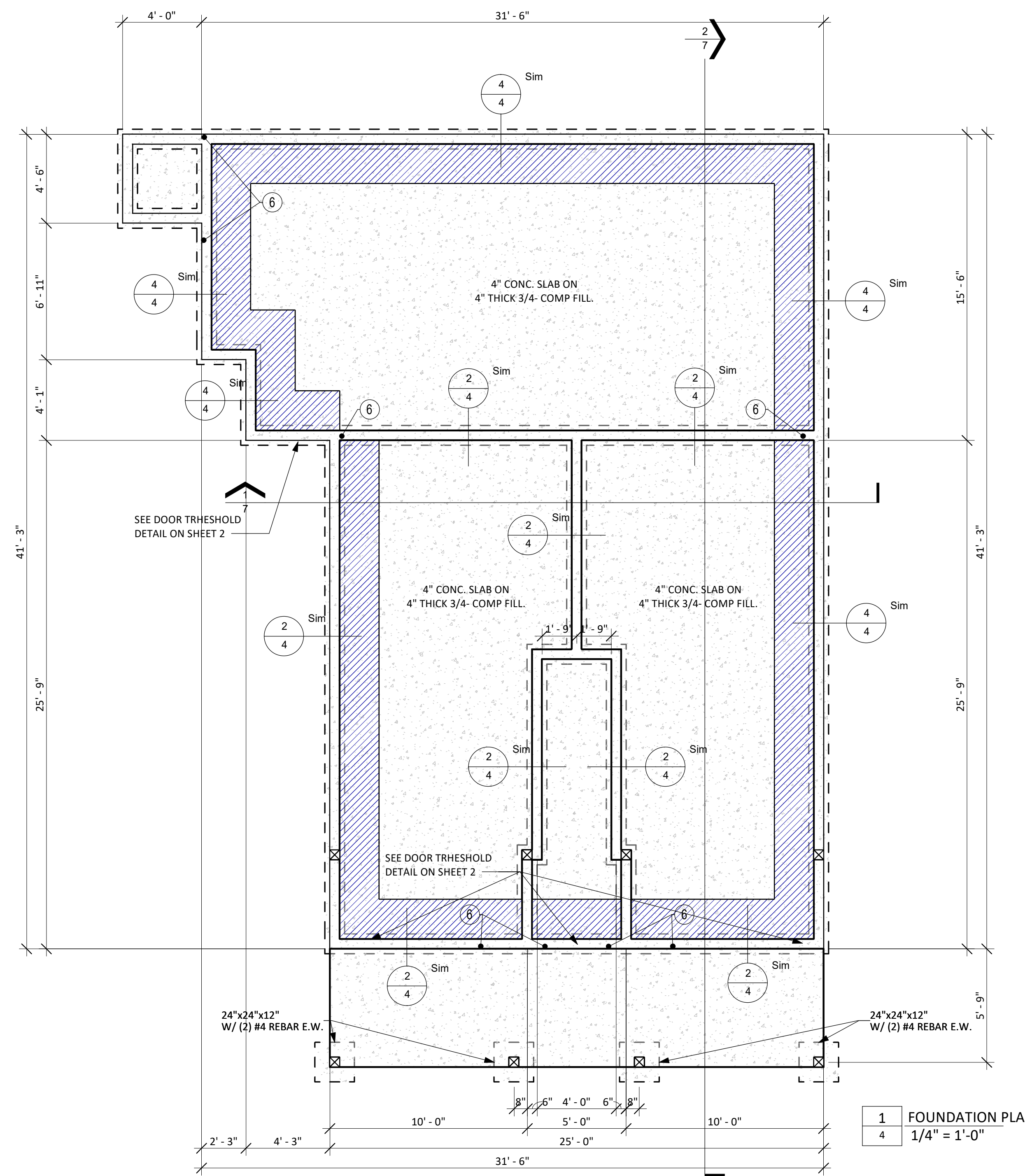


TYP. FOUNDATION WALL - STEM WALL WITH SLAB - 1 STORY - RETAINING
 4/4" = 1'-0"

- GENERAL NOTES**
 FLOOR SLAB:
 - OPTIONAL 6/6x10/10 W.W.M.
 - PROVIDE CONTROL JOINTS AT 20' OC MAX.



TYP. FOUNDATION WALL - STEM WALL WITH SLAB - 1 STORY
 2/4" = 1'-0"



1 FOUNDATION PLAN
 4/4" = 1'-0"

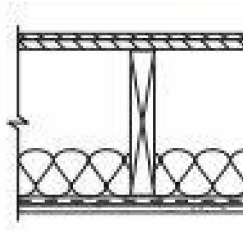
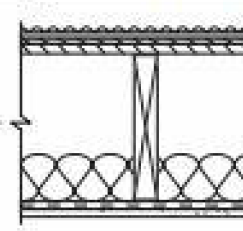
6 MIL. BLACK POLY GROUNDCOVER - SEAL ALL TEARS IN MATERIAL - SEAL ALL PENETRATIONS AND CONNECTIONS TO FOUNDATION WALLS - JOINTS LAPPED 12 AT SEAMS AND	CONCRETE SLABS 4" CONC. SLAB w/ 6"x6" W1.4xW1.4 W.W.F. OVER 6" MIN. WASHED GRAVEL OVER 98% COMPACTED FILL ON UNDISTURBED SOIL, SLOPE TOWARD DOOR MIN 1/4":1'-0"
CONCRETE FOUNDATION WALL - SEE DETAILS	
CONCRETE PAD FOOTING - SIZE & REBAR PER PLAN - MIN. 18" FROST DEPTH	

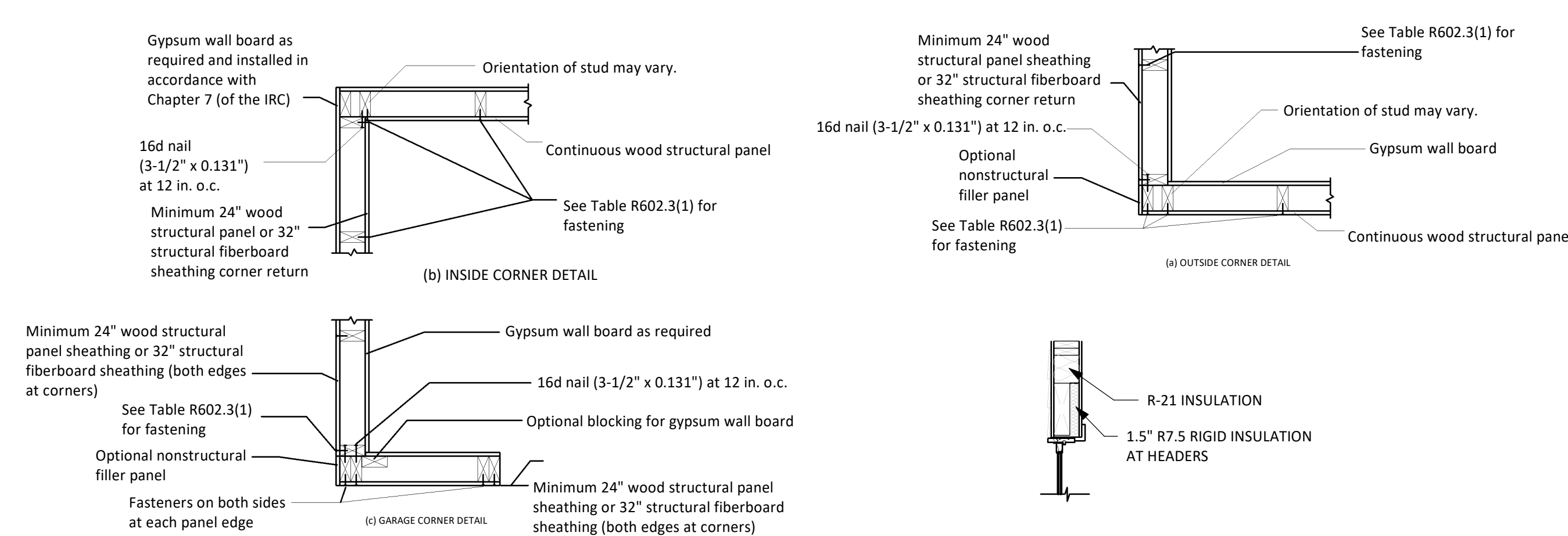
- HOLDDOWNS LOCATIONS SHOWN ARE APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE FOR THE PRECISE LOCATION. SEE SHEAR NOTES PAGE AND EMBEDMENT & HOLDDOWN SPECIFICATIONS.

CRAWL SPACE FOUNDATION LEGEND
 1/4" = 1'-0"

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GA FILE NO. FC 5120	GENERIC	1 HOUR FIRE	50 to 54 STC SOUND				
WOOD JOISTS, GYPSUM WALLBOARD, RESILIENT CHANNELS, GLASS FIBER INSULATION							
<p>One layer 1/2" type X gypsum wallboard or gypsum veneer base applied at right angles to resilient furring channels 24" o.c. with 1" Type S drywall screws 8" o.c. at ends and 12" o.c. at intermediate furring channels. Gypsum board end joints located midway between continuous channels and attached to additional pieces of channel 64" long with screws 8" o.c. Resilient furring channels applied at right angles to 2 x 10 wood joists 16" o.c. with 6d coated nails, 1 7/8" long, 0.085" shank, 1/4" heads, two per joist. Wood joists supporting 3/4" interior plywood with exterior glue subfloor and 3/8" particle board, 1.5 psf. 3 1/2" glass fiber insulation batts, 0.7 pcf, friction fit in joist cavities supported alternately every 12" by wire rods and resilient furring channels.</p> <p>Sound tested with carpet and pad and with insulation stapled to joists.</p>		<p>Approx. Ceiling Weight: 2 psf Fire Test: FM FC-181, 8-31-72 Sound Test: G&H OC-3MT, 10-13-71 (73 C & P) IIC & Test: G&H OC-3MT, 10-13-71</p>					
<p>GA FILE NO. FC - 5120 - 1-HR</p> <table border="1"> <tr> <td>4</td> <td>RATED</td> </tr> <tr> <td>5</td> <td>1/2" = 1'-0"</td> </tr> </table>				4	RATED	5	1/2" = 1'-0"
4	RATED						
5	1/2" = 1'-0"						

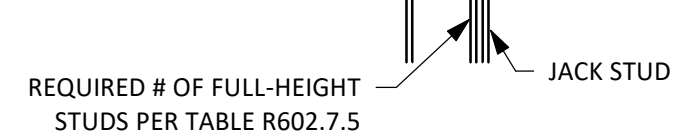


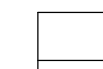

2	TYPICAL CORNER FRAMING
5	1/2" = 1'-0"

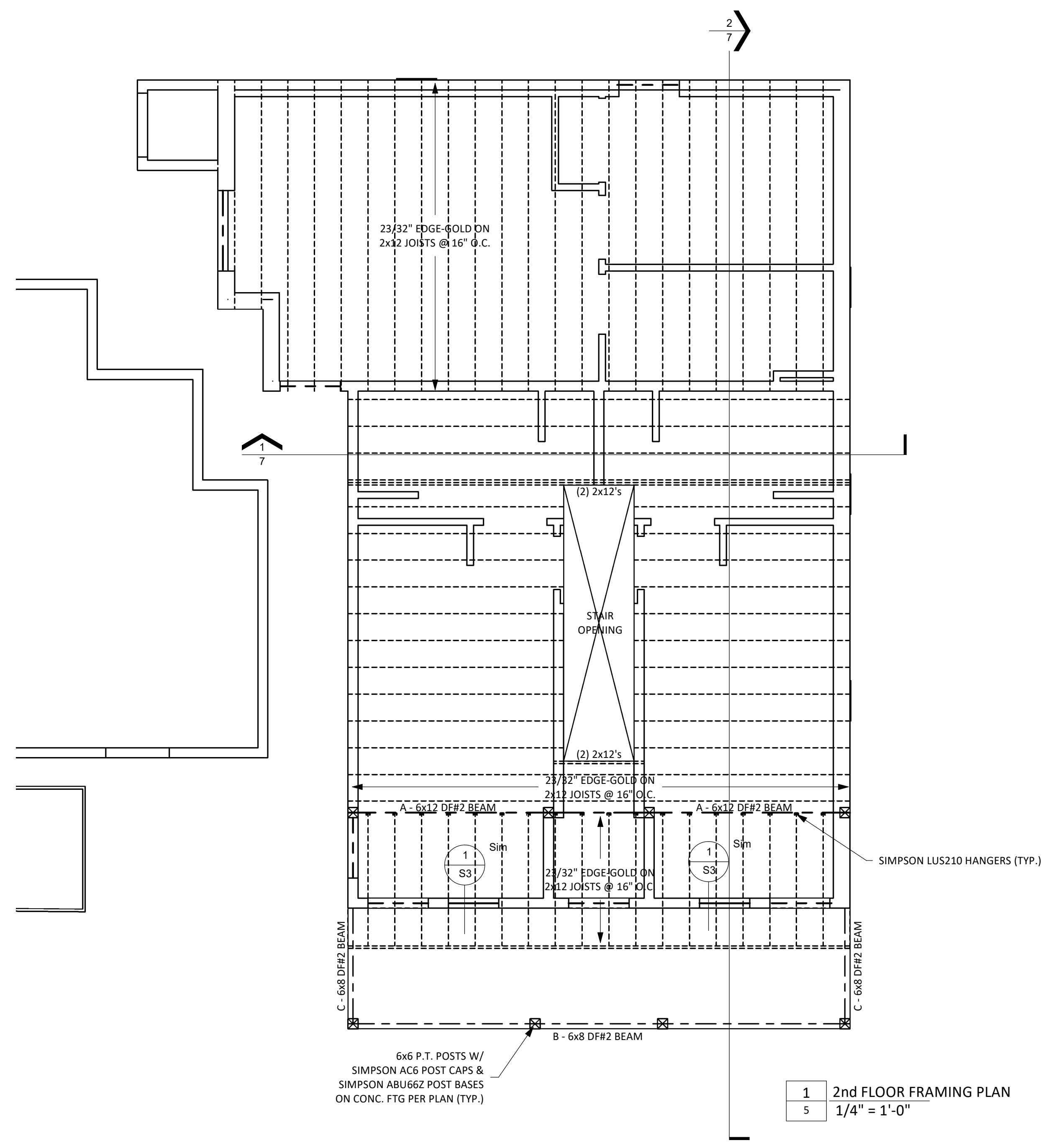
3	RIGID INSULATION AT HEADERS
5	1/2" = 1'-0"

- SUPPORT 6X BEAMS AND 5 1/2" GLB'S WITH 4X6 POST, MINIMUM.
- SUPPORT 4X BEAMS AND 3 1/8" GLB'S WITH 4X4 POST, MINIMUM.
 - ALL 2X AND 4X FRAMING SHALL BE DF-L NO. 2 MINIMUM.
 - ALL 6X FRAMING SHALL BE DF-L NO. 2 MINIMUM.
 - EXTERIOR DOORS AND WINDOWS ARE TO BE PROVIDED WITH 4x12 HEADERS, U.N.O.
 - ALL EXTERIOR HEADERS SHALL BE SUPPORTED WITH 2X6 STUD AND KING STUDS AS LISTED IN TABLE 602.7.5, TYPICAL.
 - INTERIOR NON-LOAD-BEARING HEADERS SHALL BE (2)2X6 U.N.O. SUPPORT WITH (2)2X4 STUDS, MAX SPAN=3'-0".
 - EVERY ROOF TRUSS SHALL BE CONNECTED TO WALL TOP PLATES WITH SIMPSON H2.5A UPLIFT CLIPS.
 - SIMPSON TOP FLANGE HANGERS SHALL BE TYPE LB, BA(MIN), OR HU.
 - FACE MOUNT HANGERS SHALL BE LUC OR HUC TYPE HANGERS.
 - ALL METAL HARDWARE IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE HOT-DIPPED-GALVANIZED OR ZINC-COATED.
 - 6X BEAM TO 6X6 POST CONNECTOR SHALL BE SIMPSON PC6Z(MIN).
 - 4X BEAM TO 4X POST CONNECTOR SHALL BE SIMPSON PC4Z
 - EXTERIOR WALLS AT STAIRWELLS ARE TO BE BALLOON FRAMED FROM BOTTOM SOLE PLATE TO DOUBLE TOP PLATE.
- R602.7.5 SUPPORTS FOR HEADERS
- HEADERS SHALL BE SUPPORTED ON EACH END WITH ONE OR MORE JACK STUDS OR WITH APPROVED FRAMING ANCHORS. THE FULL-HEIGHT STUD ADJACENT TO EACH END OF THE HEADER SHALL BE END NAILED TO EACH END OF THE HEADER WITH (4) 16d NAILS. THE MINIMUM NUMBER OF FULL HEIGHT STUDS AT EACH END OF HEADER SHALL BE IN ACCORDANCE WITH TABLE R602.7.5

TABLE R602.7.5. MINIMUM NUMBER OF FULL HEIGHT STUDS AT EACH END OF HEADERS IN EXTERIOR WALLS	
HEADER SPAN (FEET)	MINIMUM NUMBER OF FULL HEIGHT STUDS
< 4'-8"	1
8'-18"	2



	FRAMING LEGEND
	1/4" = 1'-0"



1	2nd FLOOR FRAMING PLAN
5	1/4" = 1'-0"

NOTE: FLOOR SYSTEM TO COMPLY WITH GA FILE NO. FC 5120.

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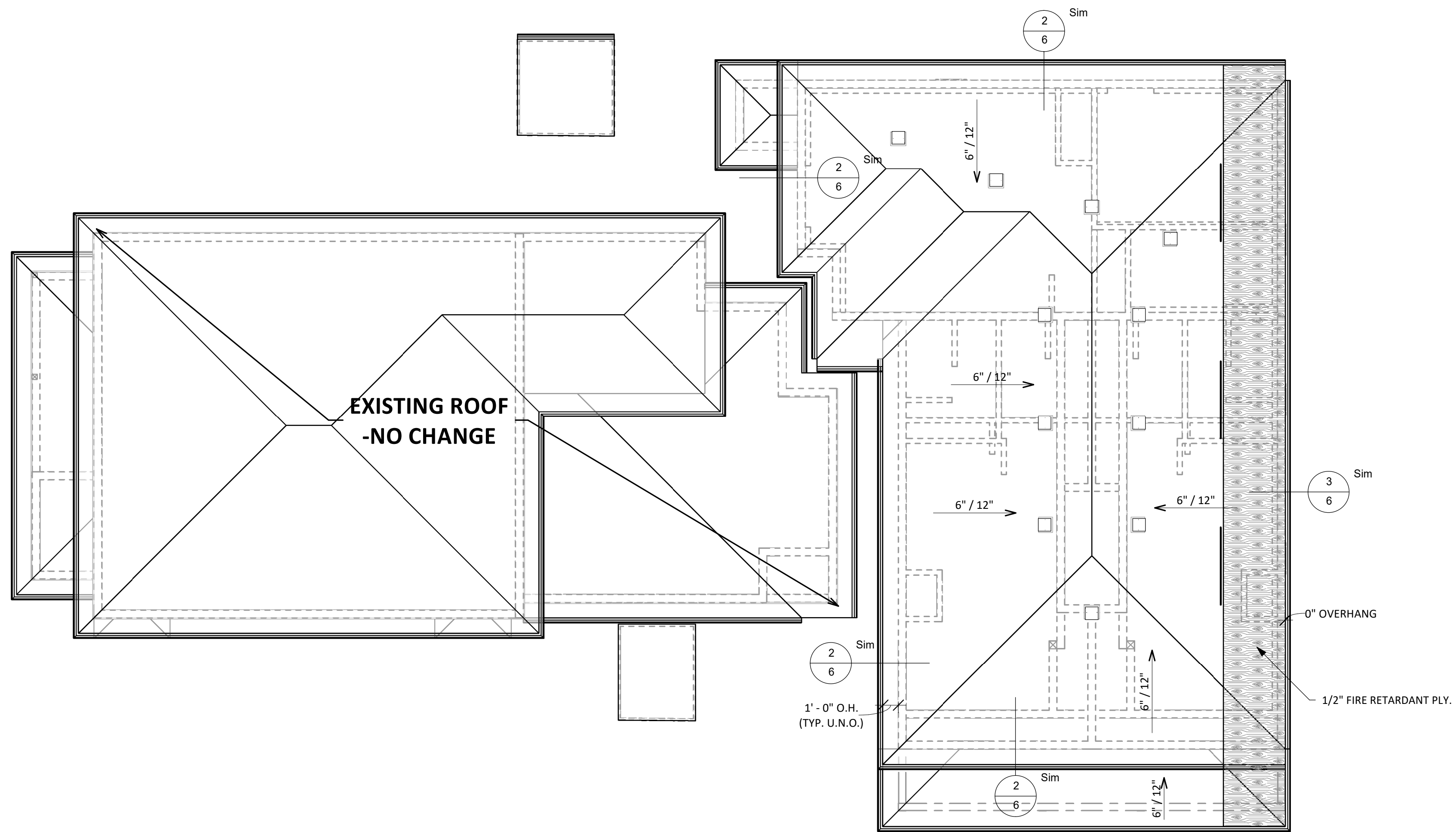
TONY UZUEGBUNAM
 1102 7th St. Oregon City, OR 97045
FRAMING PLAN

No.	Date	Issued by

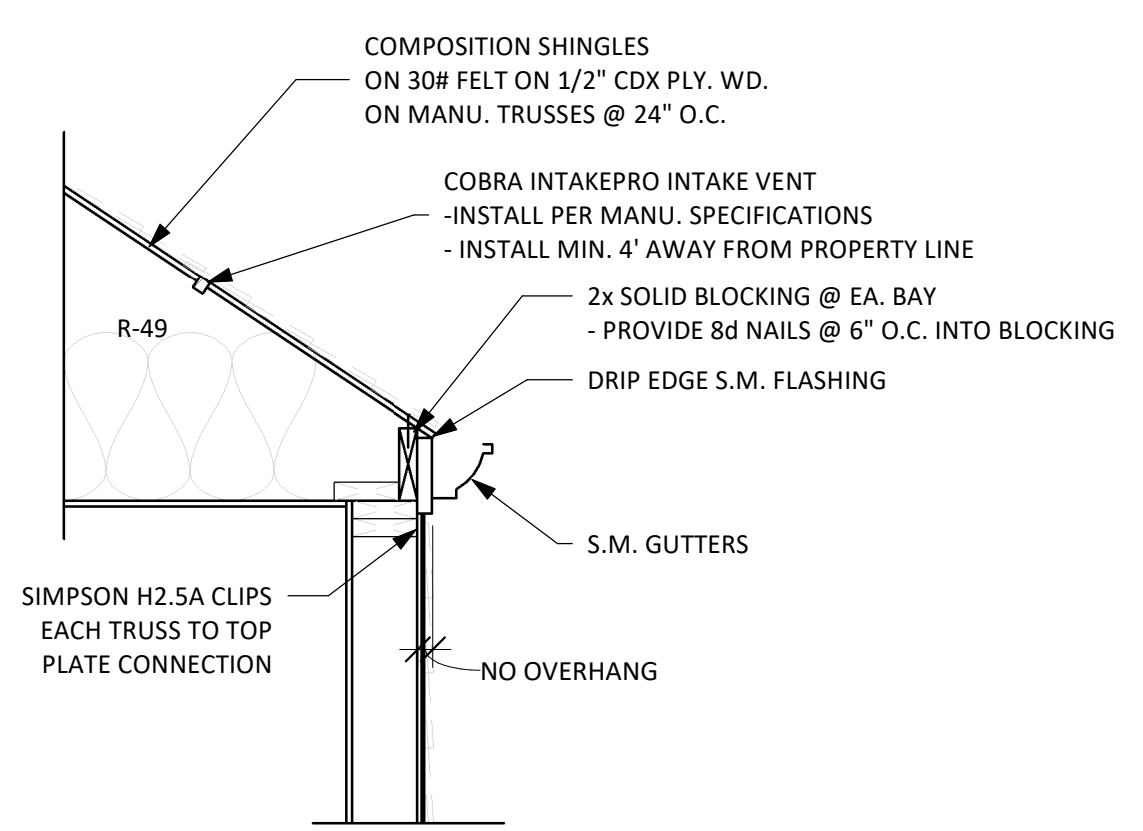
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 Area: -
 Scale: As indicated

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TONY UZUEGBUNAM
 1102 7th St. Oregon City, OR 97045
ROOF PLAN

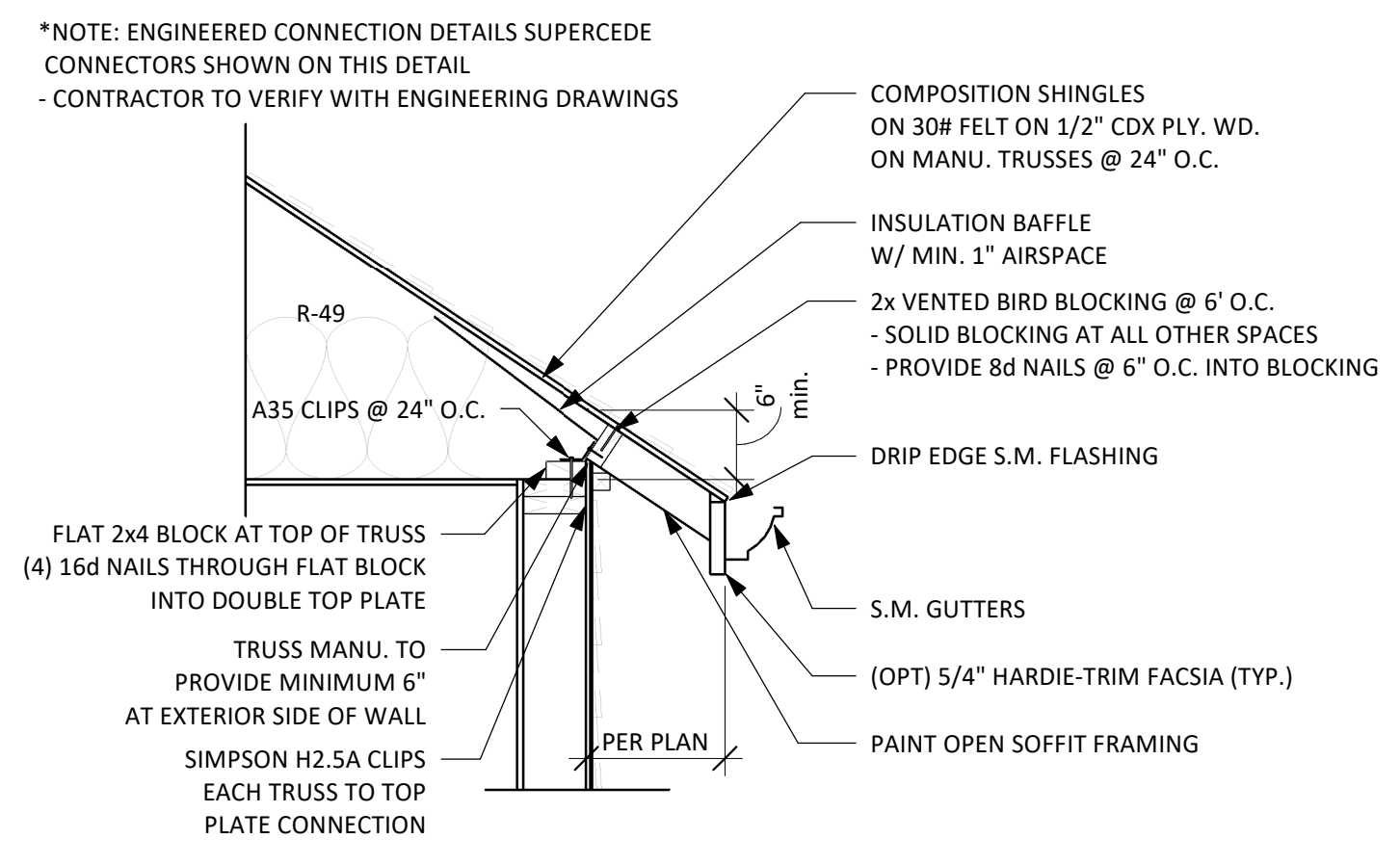


1 ROOF PLAN
6 3/16" = 1'-0"



*NOTE: ENGINEERED CONNECTION DETAILS SUPERCEDE CONNECTORS SHOWN ON THIS DETAIL
 - CONTRACTOR TO VERIFY WITH ENGINEERING DRAWINGS

3 TRUSS DETAIL (W/ COBRA INTAKEPRO INTAKE VENT)
6 3/4" = 1'-0"



2 STANDARD TRUSS DETAIL
6 3/4" = 1'-0"

COMP. ROOFING ON 30# FELT ON 1/2" CDX PLY. WD. ON MANU. ROOF TRUSSES @ 24" O.C.	
ROOF VENTS	
S.M. GUTTERS	
LINE OF WALLS BELOW	

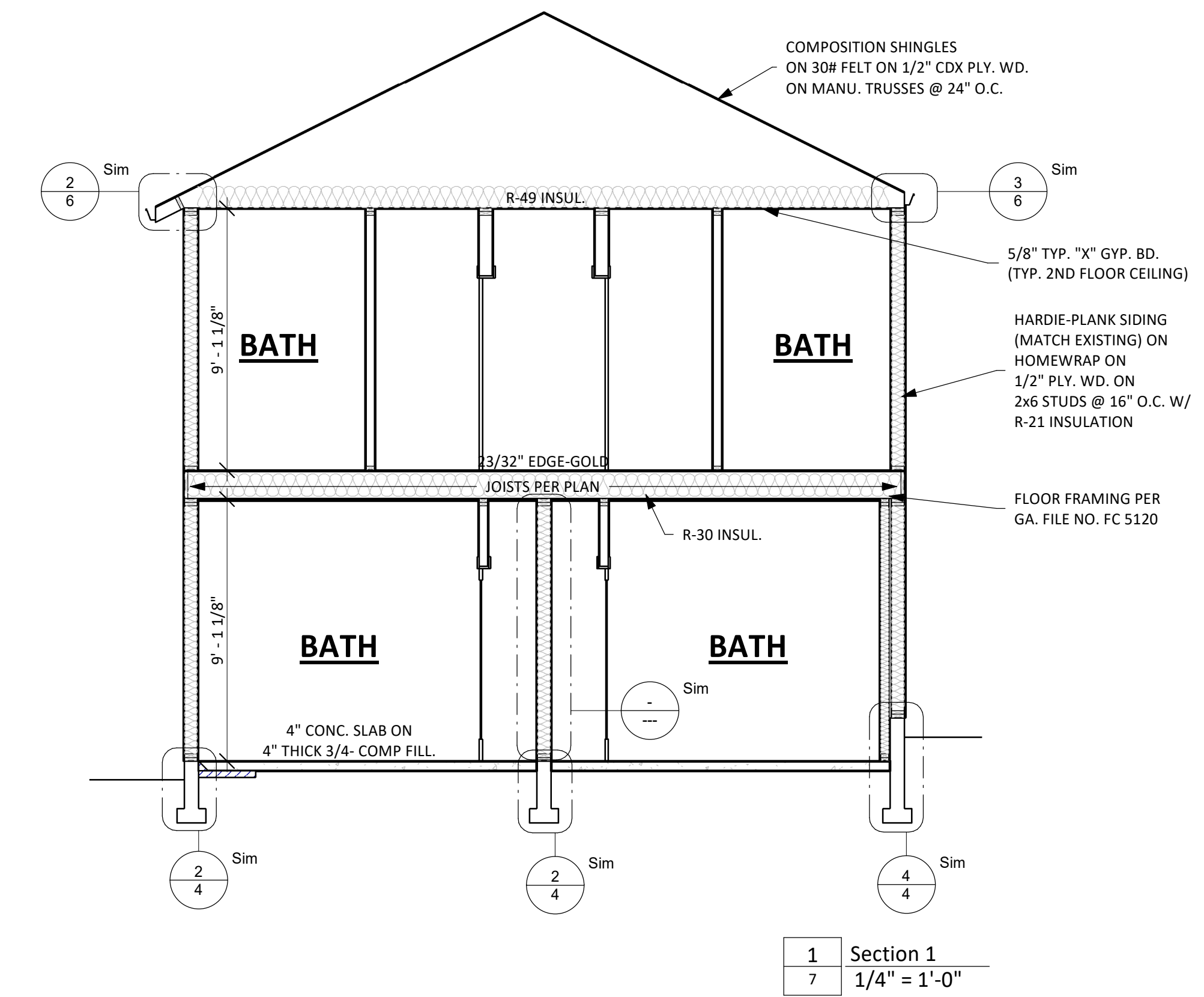
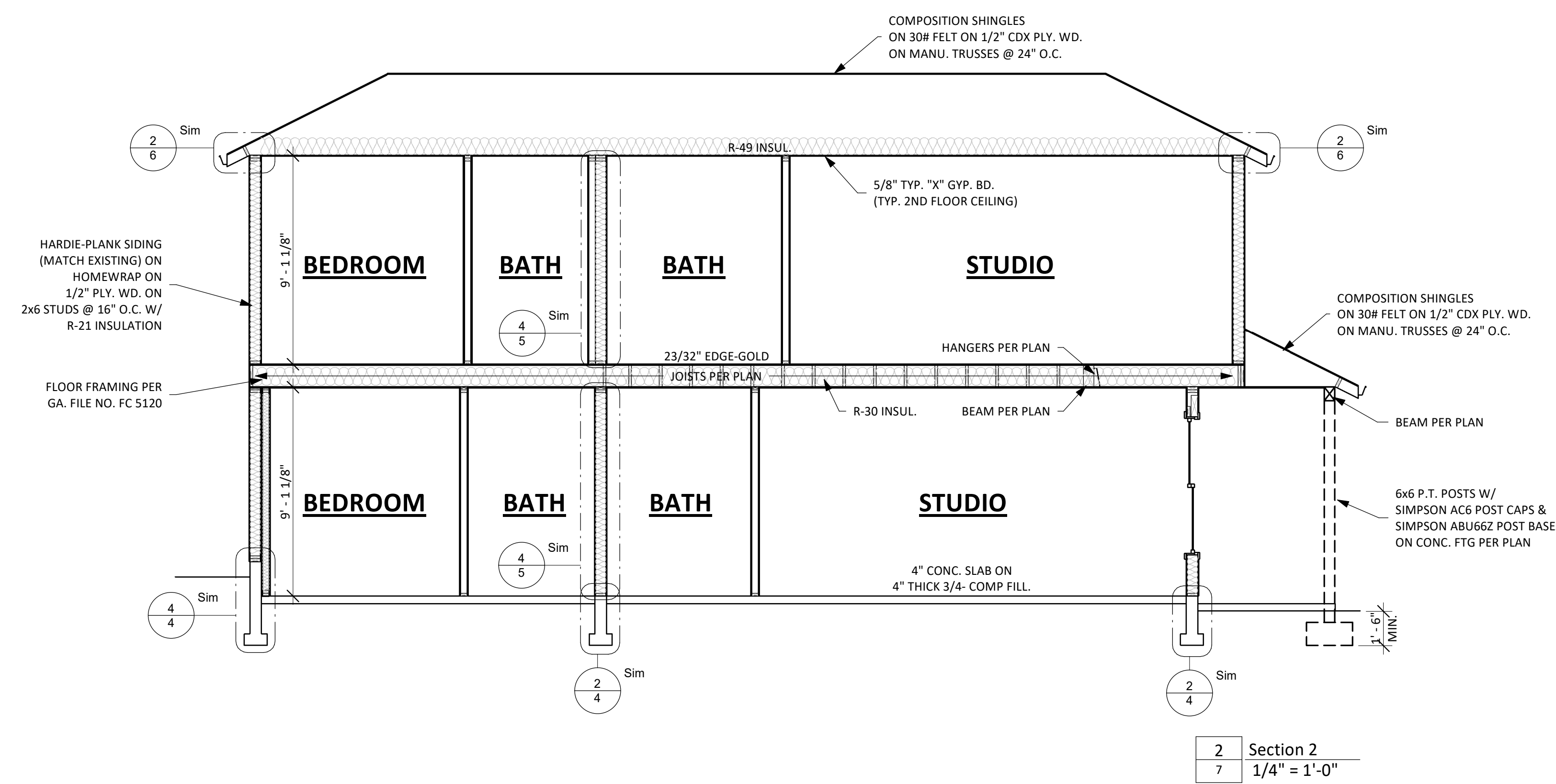
NOTES
 - OVERFRAMING TO BE 2x6 RAFTERS @ 24" W/ MAX. 72" SPAN
 - HIPS, RIDGES & ROOF PLATES TO BE 2x8 W/ 48" MAX. SPAN
 - SUPPORT WITH 2x4 STUDS
 - ALL GIRDER TRUSSES ARE TO BE SUPPORTED BY MINIMUM (3) 2x6 STUDS W/ 16d NAILS @ 6" O.C. STAGGERED U.N.O.
 ATTIC VENTILATION REQUIRED: THE ATTIC AREA MUST BE 1/150 OF THE AREA OF THE SPACE VENTILATED)
 - ATTIC SPACE IS 1,099 S.F. ATTIC AREA
 - ATTIC VENTS MUST PROVIDE MIN. 60 SQ. IN. (0.416 S.F.)
 - 1,099 / 150 = 7.32 / 2 = 3.66 - 3.66 / .416 = 9 ATTIC VENTS REQUIRED
 - .348 S.F. PER EAVE BLOCK PROVIDED - 3.66 / .348 = 11 EAVE BLOCKS REQUIRED

EAVE BLOCKING		4-VENT BLOCK (4) 2" DIA. HOLES (12.6 SQ. IN. EACH)	ROOF PLAN LEGEND		1/4" = 1'-0"
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No.	Date	Issued by

Project number: 13276
 Date: 10/24/2024 11:18:55 AM
 Drawn by: -
 Area: -
 Scale: As indicated

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TONY UZUEGBUNAM
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SECTIONS

No.	Date	Issued by

Project number: 13276
 Date: 10/24/2024 11:19:00 AM
 Drawn by: KG
 Area:
 Scale: 1/4" = 1'-0"

PERMIT REQUIRED PRIOR TO START OF CONSTRUCTION

R105.1 REQUIRED. ANY OWNER OR OWNERS AUTHORIZED AGENT WHO INTENDS TO CONSTRUCT, ENLARGE, ALTER, REPAIR, MOVE OR CHANGE THE OCCUPANCY OF A BUILDING OR STRUCTURE, OR TO ERECT, INSTALL, ENLARGE, ALTER, REPAIR, REMOVE, CONVERT OR REPLACE ANY GAS OR MECHANICAL SYSTEM, THE INSTALLATION OF WHICH IS REGULATED BY THIS CODE, OR TO CAUSE ANY SUCH WORK TO BE PERFORMED, SHALL FIRST MAKE APPLICATION TO THE BUILDING OFFICIAL AND OBTAIN THE REQUIRED PERMIT

GENERAL CONDITIONS

1. ALL WORK SHALL CONFORM WITH THE LATEST ADOPTED ISSUE OF THE 2021 OREGON STRUCTURAL SPECIALTY CODE.
2. THE CONTRACTOR & BUILDING OWNER IS RESPONSIBLE FOR CAREFULLY CHECKING THE PLANS AND SITE CONDITIONS AND TO NOTIFY THE DESIGNER OF ANY ERRORS OR OMISSIONS PRIOR TO THE START OF CONSTRUCTION, IN WRITING. BUILDER'S DESIGN IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS DISCOVERED AFTER CONSTRUCTION HAS COMMENCED.
3. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. PLEASE CONTACT DESIGNER IF ADDITIONAL DIMENSIONS ARE NECESSARY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING DIMENSIONS ON SITE.
4. ALL GRADING SHOWN ON PLANS IS APPROXIMATE, CONTRACTOR IS TO BE RESPONSIBLE FOR DETERMINING ALL FINAL GRADING AND NOTIFYING DESIGNER IF CHANGES TO THE PLAN SET ARE NECESSARY.
5. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THAT PLANS MEET ALL STATE AND LOCAL BUILDING CODES, IN ADDITION TO WHAT IS SHOWN ON THE PLAN SET. BUILDER'S DESIGN WILL NOT BE HELD RESPONSIBLE FOR DAMAGES RELATING TO THE ACCURACY OF THE PLANS IN EXCESS OF THE FEE PAID TO BUILDER'S DESIGN.
6. ALL DETAILS SHOWN TO MEET COMPLIANCE WITH THE LATEST ADOPTED VERSION OF THE BUILDING CODE. CONTRACTOR IS RESPONSIBLE FOR ALL FINAL MATERIAL INSTALLATIONS (INCLUDING, BUT NOT LIMITED TO, INSULATION, FLASHING, ROOF, VENTILATION, ETC.). IT IS HIGHLY RECOMMENDED THAT A PROFESSIONAL BE CONSULTED FOR ALL INSTALLATION PROCEDURES. DESIGNER IS NOT RESPONSIBLE FOR FINAL INSTALLATION OF ASSEMBLIES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL CONDITIONS ARE MET.

SITE WORK

1. REMOVE TOP SOIL AND ORGANIC MATERIAL FROM THE BUILDING SITE. STOCKPILING ON SITE FOR FINAL GRADING IS ALLOWED.
2. FOOTINGS ARE TO BEAR ON UNDISTURBED LEVEL SOIL. STEPPED AS REQUIRED TO MAINTAIN THE REQUIRED DEPTH BELOW FINISH GRADE.
3. ANY FILL UNDER GRADE SUPPORTED CONCRETE SLABS TO BE 4" THICK (MIN.) 3/4 MINUS ROCK COMPACTED TO 95%.
4. CONCRETE SLABS TO BE 4" THICK, 3000 PSI AT 28 DAYS WITH CONTROL JOINTS AT 25' 0"/C (MAX.) EACH WAY
5. FINISH GRADES ARE TO REMAIN AT LEAST 6" BELOW FINISH SIDING.

FOUNDATIONS

1. CONCRETE - MIX AND 28 DAY STRENGTH OF CONCRETE
- BASEMENT WALLS, FOUNDATIONS AND OTHER CONCRETE NOT EXPOSED TO THE WEATHER 2,500 PSI
- BASEMENT SLABS AND INTERIOR SLABS ON GRADE, EXCEPT GARAGE FLOOR SLABS 2,500 PSI
- BASEMENT WALLS, FOUNDATION WALLS, EXTERIOR WALLS AND OTHER VERTICAL CONCRETE WORK EXPOSED TO THE WEATHER 3,000 PSI
- PORCHES, CARPORT SLABS AND STEPS EXPOSED TO THE WEATHER, AND GARAGE FLOOR SLABS 3,000 PSI
2. ALL REINFORCING STEEL TO BE A-615 GRADE 60, WELDED WIRE MESH TO BE A-185.
3. LAP ALL CONTINUOUS BARS 30 x DIA. (MIN.) PLACE ALL REINFORCING AS PER ACI CODES & STANDARDS.
4. PROVIDE A MINIMUM CLEARANCE OF 18" UNDER GIRDERS, BEAMS, OR JOISTS, IN CRAWL SPACES.
5. COVER ENTIRE CRAWL SPACE WITH 6 MIL. BLACK "WISQUEEN" AND EXTEND UP FOUNDATION WALLS AND FASTEN TO MUD SILL.
6. PROVIDE A MINIMUM OF 1 S.F. OF NET VENTILATION AREA FOR EACH 150 S.F. OF CRAWL SPACE AREA. VENTS ARE TO BE CLOSABLE AND HAVE 1/4" OPENINGS IN CORROSIVE RESISTANT SCREEN. POST NOTICE ABOUT OPENING VENTS NEAR ELECTRICAL PANEL.
7. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
8. BEAM POCKETS IN CONCRETE WALLS TO HAVE 1/2" AIR SPACE AT SIDES AND ENDS AND 3" OF BEARING (MIN.)
9. MUD SILLS TO BE 2x6 PRESSURE TREATED WOOD WITH 1/2" DIA. x 10" ANCHOR BOLTS SPACED 6'-0" O/C, OR PER SHEAR WALL SCHEDULE AND WITHIN 12" OF CORNERS. LAYOUT FOR 14' LONG 2x6 P.T. SILL PLATE, PROVIDE AB. EACH SIDE OF SILL SPLICES.

FLASHING & MOISTURE PROTECTION

1. CONTRACTOR TO PROVIDE A "WATER TIGHT ENCLOSURE" FOR THE VALLEY ENVIRONMENT, EMPLOYING THE HIGHEST QUALITY MATERIALS, CRAFTSMAN AND CONSTRUCTION METHODOLOGY, BOTH GENERAL AND SPECIFIC TO THE VALLEY
2. ALL EXTERIOR FLASHING ARE TO BE CONSTRUCTED WITH MIN. GAGE 28 EXPOSED & 30 GAGE CONCEALED, BAKED ENAMEL
3. FLASHING SHALL BE INSTALLED AT JUNCTIONS OF CHIMNEYS AND ROOFS, IN ROOF VALLEYS AND AROUND ALL ROOF OPENINGS, INCLUDING SKYLIGHTS, ROOF VENTS, ROOF EDGES BOTH RAKE AND EAVE.
4. FLASHING SHALL BE INSTALLED AROUND ALL EXTERIOR DOORS AND WINDOWS, TRANSITIONS BETWEEN SIDING AND ROOF.
5. ALL FLASHING TO BE INSTALLED PER "SMACNA" LATEST EDITION OF THE "ARCHITECTURAL SHEET METAL MANUAL".
6. BUILDING WRAP OF "TYVEK" OR SAME TO BE INSTALLED PER MANUFACTURERS INSTRUCTIONS, INCLUDING WRAPPING WINDOW AND DOOR OPENINGS AND TAPING JOINTS.
7. FLASHING FOR WINDOWS. INSTALL ADHESIVE FLASHING THE WIDTH OF SILL AND UP 12" EACH JAMB, AND LAP ENTIRE LENGTH OF JAMB, AND LAP ADHESIVE FLASHING THE WIDTH OF HEAD AND LAP 12" DOWN EACH JAMB. (DETAIL)
8. ALL PRODUCTS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS. DESIGNER TAKES NO RESPONSIBILITY FOR INSTALLATION.

TABLE R602.3(1) - FASTENING SCHEDULE			
ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER & TYPE OF FASTENER ^{a,b,c}	SPACING AND LOCATION
ROOF			
1	BLOCKING BETWEEN CEILING JOISTS OR RAFTERS TO TOP PLATE	4-8d box (2-1/2" x 0.113")	TOE NAIL
2	CEILING JOISTS TO TOP PLATE	4-8d box (2-1/2" x 0.113")	PER JOIST, TOE NAIL
3	CEILING JOIST NOT ATTACHED TO PARALLEL RAFTER, LAPS OVER PARTITIONS (SEE SECTION R802.5.2 AND TABLE R802.5.2)	4-10d box (3" x 0.128")	FACE NAIL
4	CEILING JOIST ATTACHED TO PARALLEL RAFTER (HEEL JOINT) (SEE SECTION R802.5.2 AND TABLE R802.5.2)	Table R802.5.2	FACE NAIL
5	COLLAR TIE TO RAFTER, FACE NAIL OR 1-1/4" x 20 GA. RIDGE STRAP TO RAFTER	4-10d box (3" x 0.128")	FACE NAIL EACH RAFTER
6	RAFTER OR ROOF TRUSS TO PLATE	3-16d box nails (3-1/2" x 0.135")	2 TOE NAILS ON ONE SIDE AND 1 TOE NAIL ON OPPOSITE SIDE OF EACH RAFTER OR TRUSS ¹
7	ROOF RAFTERS TO RIDGE, VALLEY OR HIP RAFTERS OR ROOF RAFTER TO MINIMUM 2" RIDGE BEAM	4-16d (3-1/2" x 0.135") 3-16d box (3-1/2" x 0.135")	TOE NAIL END NAIL
WALL			
8	STUD TO STUD (NOT AT BRACED WALL PANELS)	16d common (3-1/2" x 0.162")	24" O.C. FACE NAIL
9	STUD TO STUD AND ABUTTING STUDS AT INTERSECTING WALL CORNERS (AT BRACED WALL PANELS)	16d common (3-1/2" x 0.162")	16" O.C. FACE NAIL
10	BUILT-UP HEADER (2" TO 2" HEADER WITH 1/2" SPACER)	16d common (3-1/2" x 0.162")	16" O.C. EACH EDGE FACE NAIL
11	CONTINUOUS HEADER TO STUD	5-8d box (2-1/2" x 0.113")	TOE NAIL
12	TOP PLATE TO TOP PLATE	16d common (3-1/2" x 0.162")	16" O.C. FACE NAIL
13	DOUBLE TOP PLATE SPLICE	8-16d common (3-1/2" x 0.162")	FACE NAIL ON EACH SIDE OF END JOINT (MINIMUM 24" LAP SPLICE LENGTH EACH SIDE OF END JOINT)
14	BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS)	16d common (3-1/2" x 0.162")	16" O.C. EACH FACE NAIL
15	BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (AT BRACED WALL PANEL)	3-16d box (3-1/2" x 0.135")	3 EACH 16" O.C. FACE NAIL
16	TOP OR BOTTOM PLATE TO STUD	4-8d box (2-1/2" x 0.113") 3-16d box (3-1/2" x 0.135")	TOE NAIL END NAIL
17	TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS	3-10d box (3" x 0.128")	FACE NAIL
18	1" BRACE TO EACH STUD AND PLATE	3-8d box (2-1/2" x 0.113")	FACE NAIL
19	1" x 6" SHEATHING TO EACH BEARING	3-8d box (2-1/2" x 0.113")	FACE NAIL
20	1" x 8" AND WIDER SHEATHING TO EACH BEARING	3-8d box (2-1/2" x 0.113")	FACE NAIL

NOTE: SEE TABLE R602.3(1) FOR ADDITIONAL FASTENER DETAILS

FRAMING

1. WOOD FRAMING MEMBER GRADES ARE AS FOLLOWS UNLESS OTHERWISE NOTED ON THE DRAWINGS:
 - A. POSTS, BEAMS, HEADERS, JOISTS AND RAFTERS - MIN. # 2 DOUG FIR OR LVL'S - 2650 FB & 1.8E
 - B. PLATES, BLOCKING AND BRIDGING - NO. 3 DOUG FIR
 - C. STUDS - STUD GRADE DOUG FIR
 - D. T&G DECKING - STUD & BETTER GRADE DOUG FIR
 - E. WALL SHEATHING - 7/16" OSB
 - F. GLU-LAM - 24-F V-4 (OR 24-F V-8 PER PLAN)
2. UNLESS OTHERWISE NOTED ON DRAWINGS, ALL EXTERIOR WINDOW AND DOOR HEADERS ARE TO BE 4x12 DOUG FIR NO. 2
3. PROVIDE DOUBLE JOISTS UNDER ALL BEARING PARTITIONS.
4. DESIGN LOADS: ROOF - 25 P.S.F. (LL)
FLOOR - 40 P.S.F. (LL)
STAIRS - 100 P.S.F. (LL)
GARAGE FLOOR - 50 P.S.F. (LL)
DECKS - 60 P.S.F. (LL)

5. SOIL BEARING PRESSURE IS ASSUMED TO BE 1500 P.S.F.
6. DECK AND BALCONY GUARDRAILS TO BE 36" HIGH WITH MAXIMUM OPENING SPACES SO THAT A 4" SPHERE CAN NOT PASS THROUGH.
7. PROVIDE SIMPSON H2.5A TRUSS CONNECTORS AT EACH TRUSS/RAFTER - UNLESS NOTED OTHERWISE ON PLAN
8. ALL EXTERIOR FASTENERS, EXPOSED TO THE ELEMENTS TO BE STAINLESS STEEL OR GALVANIZED. INCLUDING NAIL, STAPLES, CLIPS, ETC.

GYPSSUM BOARD FINISH

1. ERECT SINGLE LAYER 1/2" STANDARD, 5/8" F.R. AND 1/2" MOISTURE RESISTANT GYPSUM BOARD IN MOST ECONOMICAL DIRECTIONS, WITH ENDS OCCURRING OVER FIRM BACKING.

ROOF VENTILATION

R806.1 VENTILATION REQUIRED.

ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. VENTILATING OPENINGS SHALL HAVE AT LEAST DIMENSION OF 1/16" MINIMUM AND 1/4" MAXIMUM. VENTILATING OPENINGS HAVING AT LEAST DIMENSION LARGER THAN 1/4" SHALL BE PROVIDED WITH CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH, OR SIMILAR MATERIAL. OPENINGS IN ROOF FRAMING MEMBERS SHALL CONFORM WITH THE REQUIREMENTS OF SECTION R802.7

R806.2 MINIMUM AREA.

THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT REDUCTION OF THE TOTAL AREA TO 1/300 IS PERMITTED PROVIDED THAT AT LEAST 50% AND NOT MORE THAN 80% OF THE REQUIRED VENTILATING AREA IS PROVIDED WITH VENT OPENINGS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED

AT LEAST 3' ABOVE THE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS, AS AND ALTERNATIVE, THE NET FREE CROSS-VENTILATION AREA MAY BE REDUCED TO 1/300 WHEN A VAPOR RETARDER HAVING A TRANSMISSION RATE NOT EXCEEDING 1 PERM IS INSTALLED ON THE WARM IN WINTER SIDE OF THE CEILING.

R806.3 VENT AND INSULATION CLEARANCE.

WHERE EAVE OR CORNICE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1 INCH SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING AND AT THE LOCATION OF THE VENT.

R05.2.2 UNDERLAYMENT APPLICATION

- FOR ROOF SLOPES FROM 2 UNITS VERTICAL IN 12 UNITS HORIZONTAL UP TO 4 UNITS VERTICAL IN 12 UNITS HORIZONTAL, UNDERLAYMENT SHALL BE TWO LAYERS APPLIED IN THE FOLLOWING MANNER: APPLY A 19 INCH STRIP OF UNDERLAYMENT FELT PARALLEL TO AND STARTING AT THE EAVES, FASTENED SUFFICIENTLY TO HOLD IN PLACE. STARTING AT THE EAVE, APPLY 36 INCH WIDE SHEETS OF UNDERLAYMENT, OVERLAPPING SUCCESSIVE SHEETS 19 INCHES, AND FASTENED SUFFICIENTLY TO HOLD IN PLACE. DISTORTIONS IN THE UNDERLAYMENT SHALL NOT INTERFERE WITH THE ABILITY OF THE SHINGLES TO SEAL.
-FOR ROOF SLOPES OF 4 UNITS IN 12 OR GREATER, UNDERLAYMENT SHALL BE ONE LAYER APPLIED IN THE FOLLOWING MANNER: UNDERLAYMENT SHALL BE APPLIED SHINGLE FASHION, PARALLEL TO AND STARTING FROM THE EAVE AND LAPPED 2 INCHES, FASTENED SUFFICIENTLY TO HOLD IN PLACE. DISTORTIONS IN THE UNDERLAYMENT SHALL NOT INTERFERE WITH THE ABILITY OF THE SHINGLES TO SEAL. END LAPS SHALL BE OFFSET BY 6".

HEALTH AND SAFETY:

ALL NEW SMOKE AND CO ALARMS SHALL BE HARDWIRED WITH BATTERY BACKUP AND INTERCONNECTED WITHIN THE DWELLING UNIT ONLY SMOKE ALARMS SHALL BE LOCATED WITHIN EACH SLEEPING ROOM, IMMEDIATELY OUTSIDE OF EACH SLEEPING ROOM, AND ON EACH LEVEL OF THE DWELLING.
CO ALARMS SHALL BE LOCATED WITHIN 15' OUTSIDE OF EACH BEDROOM DOOR.
ALL ALARMS SHALL BE CROSS LISTED FOR INTERCONNECTION.

FANS AND SMOKE DETECTORS

FANS IN BATHING AREAS SHALL BE CONTROLLED BY TIMER.
SMOKE DETECTORS SHALL BE 110V BATTERY BACKUP.

ENTRY ROUTES:

CONDENSATE DRAINS:

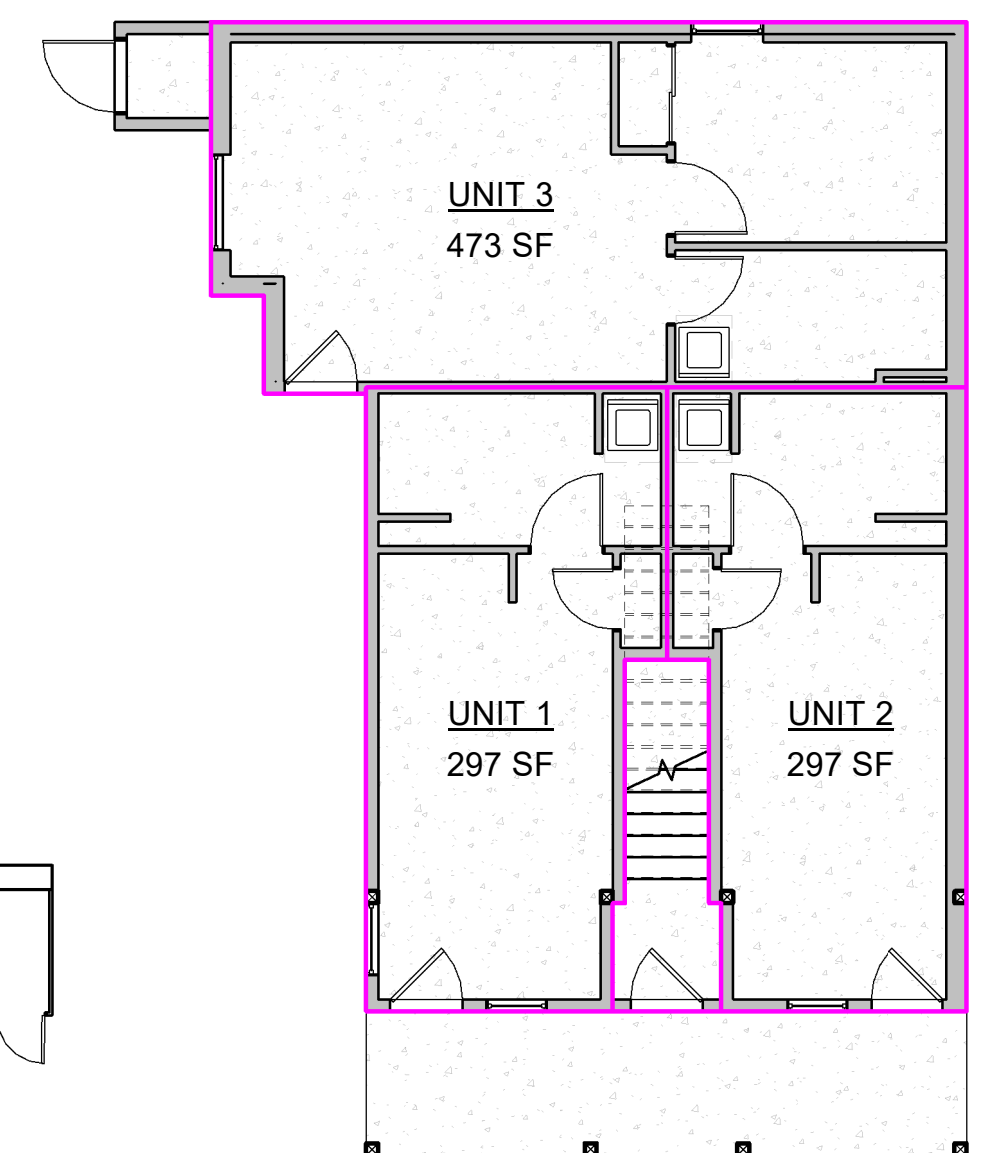
CONDENSATE DRAINS SHALL BE TRAPPED OR ROUTED THROUGH NON-PERFORATED PIPE TO DAYLIGHT
SUMPS:
SUMP PITS OPEN TO SOIL OR SERVING AS TERMINATION POINT FOR SUB-SLAB OR EXTERIOR DRAIN TILE LOOPS SHALL BE COVERED WITH GASKETED OR OTHERWISE SEALED LID. SUMPS USED AS THE SUCTION POINT IN A SUB-SLAB DEPRESSURIZATION SYSTEM SHALL HAVE A LID DESIGNED TO ACCOMMODATE THE VENT PIPE. SUMPS USED AS A FLOOR DRAIN SHALL HAVE A LID EQUIPPED WITH TRAPPED INLET

SOLAR READY CONNECTION

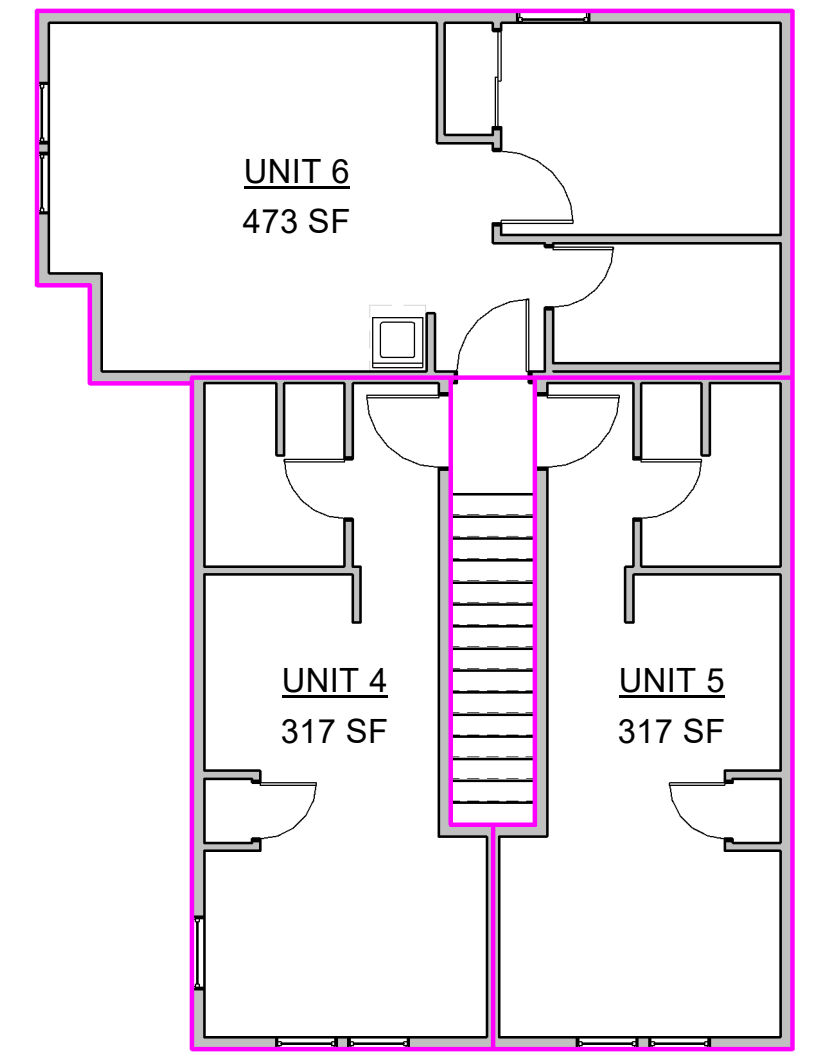
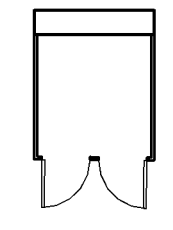
SOLAR READY SOLAR INTERCONNECTION PATHWAY. A SQUARE METAL JUNCTION BOX NOT LESS THAN 4 INCHES BY 4 INCHES WITH A METAL BOX COVER SHALL BE PROVIDED WITHIN 24 INCHES HORIZONTALLY OR VERTICALLY OF THE MAIN ELECTRICAL PANEL. A MINIMUM 3/4-INCH RIGID METAL RACEWAY SHALL EXTEND FROM THE JUNCTION BOX TO A CAPPED ROOF TERMINATION OR TO AN ACCESSIBLE LOCATION IN THE ATTIC WITH A VERTICAL CLEARANCE OF NOT LESS THAN 36 INCHES.

WINDOW GLAZING – SECTION 312.2

R308.4 HAZARDOUS LOCATIONS. THE LOCATIONS SPECIFIED IN SECTIONS R308.4.1 THROUGH R308.4.7 SHALL BE CONSIDERED TO BE SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSES OF GLAZING.
- CONTRACTOR TO VERIFY REQUIRED TEMPERED GLAZING LOCATIONS



2 1st FLOOR
8 1/8" = 1'-0"



3 2nd FLOOR
8 1/8" = 1'-0"

TABLE R602.3(1) FASTENING SCHEDULE			
ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER & TYPE OF FASTENER ^{a,b,c}	SPACING AND LOCATION
FLOOR			
21	JOIST TO SILL, TOP PLATE OR GIRDER	4-8d box (2-1/2" x 0.113")	TOE NAIL
22	RIM JOIST, BAND JOIST OR BLOCKING TO SILL OR TOP PLATE (ROOF APPLICATIONS ALSO)	8d common (2-1/2" x 0.131")	6" O.C. TOE NAIL
23	1" x 6" SUBFLOOR OR LESS TO EACH JOIST	3-8d box (2-1/2" x 0.113")	FACE NAIL
FLOOR			
24	2" SUBFLOOR TO JOIST OR GIRDER	3-16d box (3-1/2" x 0.135")	BLIND AND FACE NAIL
25	2" PLANKS (PLANK & BEAM—FLOOR & ROOF)	3-16d box (3-1/2" x 0.135")	AT EACH BEARING, FACE NAIL
26	BAND OR RIM JOIST TO JOIST	3-16d common (3-1/2" x 0.162")	END NAIL
27	BUILT-UP GIRDERS AND BEAMS, 2-INCH LUMBER LAYERS	20d common (4" x 0.192") And: 2-20d common (4" x 0.192")	NAIL EACH LAYER AS FOLLOWS: 32" O.C. AT TOP AND BOTTOM AND STAGGERED. FACE NAIL AT ENDS AND AT EACH SPLICE
28	LEDGER STRIP SUPPORTING JOISTS OR RAFTERS	4-16d box (3-1/2" x 0.135")	AT EACH JOIST OR RAFTER, FACE NAIL
29	BRIDGING OR BLOCKING TO JOIST	2-10d box (3" x 0.128")	EACH END, TOE NAIL
ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER & TYPE OF FASTENER ^{a,b,c}	SPACING OF FASTENERS
WOOD STRUCTURAL PANELS, SUBFLOOR, ROOF AND INTERIOR WALL SHEATHING TO FRAMING AND PARTICLEBOARD WALL SHEATHING TO FRAMING [SEE TABLE R602.3(3) FOR WOOD STRUCTURAL PANEL EXTERIOR WALL SHEATHING TO WALL FRAMING]			
30	3/8" — 1/2"	6d common (2" x 0.113") nail (subfloor, wall) 8d common (2-1/2" x 0.131") nail (roof)	6 12'
31	19/32" — 1"	8d common nail (2-1/2" x 0.131")	6 12'
32	1-1/8" — 1-1/4"	10d common (3" x 0.148") nail	6 12'
OTHER WALL SHEATHING^d			
33	1/2" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING	1-1/2" galvanized roofing nail	3 6
34	25/32" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING	1-3/4" galvanized roofing nail	3 6
35	1/2" GYPSUM SHEATHING ^e	1-1/2" galvanized roofing nail	7 7
36	5/8" GYPSUM SHEATHING ^e	1-3/4" galvanized roofing nail	7 7
WOOD STRUCTURAL PANELS, COMBINATION SUBFLOOR UNDERLAYMENT TO FRAMING			
37	3/4" AND LESS	6d deformed (2" x 0.120") nail	6 12
38	7/8" — 1"	8d common (2-1/2" x 0.131") nail	6 12
39	1-1/8" — 1-1/4"	10d common (3" x 0.148") nail	6 12

For Sl: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 mile per hour = 0.447 m/s; 1 ksi = 6.895 MPa.

- Nails are smooth-common, box or deformed shanks except where otherwise stated. Nails used for framing and sheathing connections shall have minimum average bending yield strengths as shown: 80 ksi for shank diameter of 0.192 inch (20d common nail), 90 ksi for shank diameters larger than 0.142 inch but not larger than 0.177 inch, and 100 ksi for shank diameters of 0.142 inch or less.
- Staples are 16 gage wire and have a minimum 7/16-inch on diameter crown width.
- Nails shall be spaced at not more than 6 inches on center at all supports where spans are 48 inches or greater.
- Four-foot by 8-foot panels shall be applied vertically.
- Spacing of fasteners not included in this table shall be based on Table R602.3(2).
- For wood structural panel roof sheathing attached to gable end roof framing and to intermediate supports within 48 inches of roof edges and ridges, nails shall be spaced at 6 inches on center where the basic design wind speed, V, is less than 130 mph and shall be spaced 4 inches on center where the basic design wind speed, V, is 130 mph or greater but less than 140 mph.
- Gypsum sheathing shall conform to ASTM C1396 and shall be installed in accordance with GA 253. Fiberboard sheathing shall conform to ASTM C208.
- Spacing of fasteners on floor sheathing panel edges applies to panel edges supported by framing members and required blocking and at floor perimeters only. Spacing of fasteners on roof sheathing panel edges applies to panel edges supported by framing members and required blocking. Blocking of roof or floor sheathing panel edges perpendicular to the framing members need not be provided except as required by other provisions of this code. Floor perimeter shall be supported by framing members or solid blocking.
- Where a rafter is fastened to an adjacent parallel ceiling joist in accordance with this schedule, provide two toe nails on one side of the rafter and toe nails from the ceiling joist to top plate in accordance with this schedule. The toe nail on the opposite side of the rafter shall not be required.
- RSRS-01 is a Roof Sheathing Ring Shank nail meeting the specifications in ASTM F1667.

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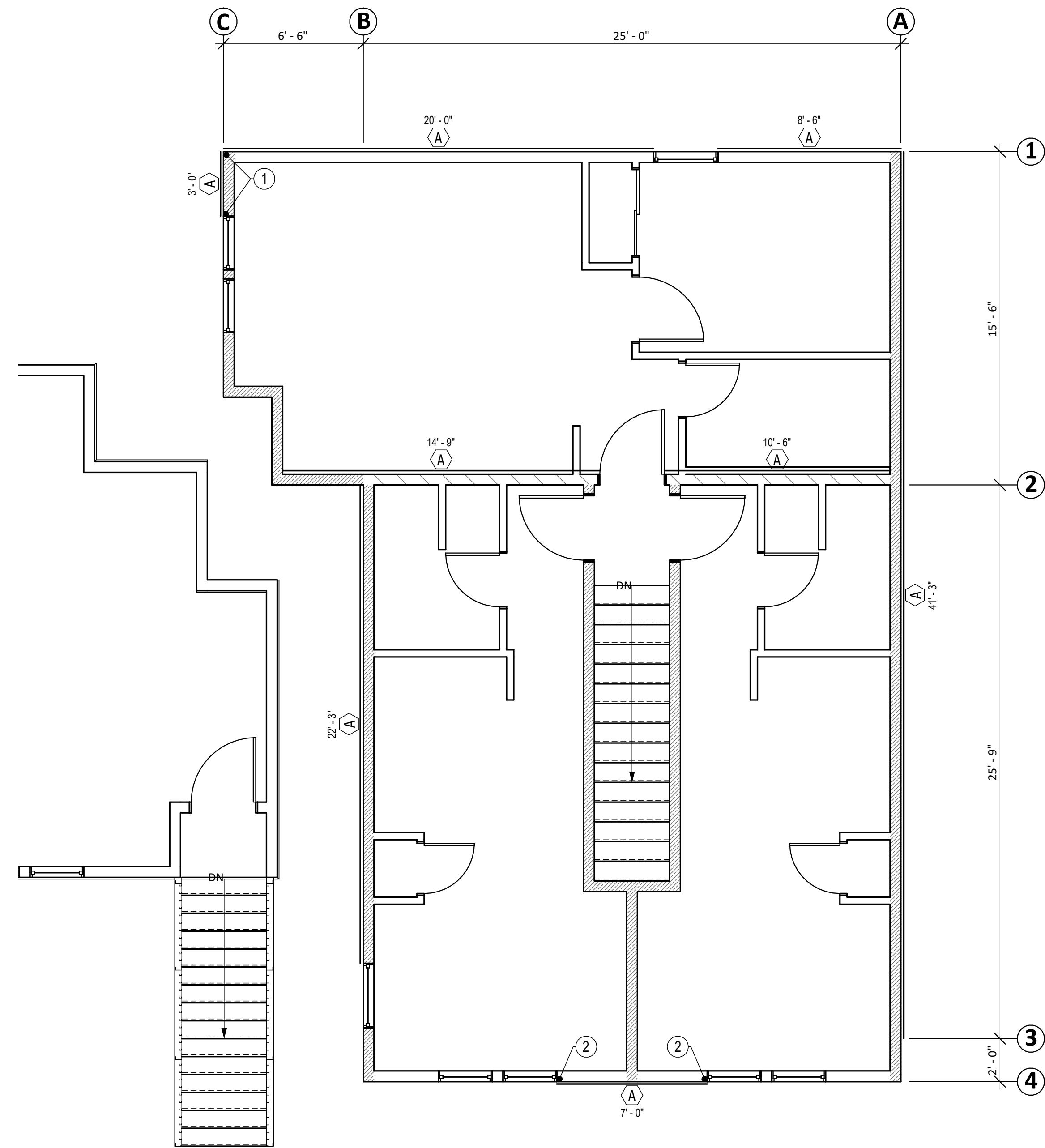
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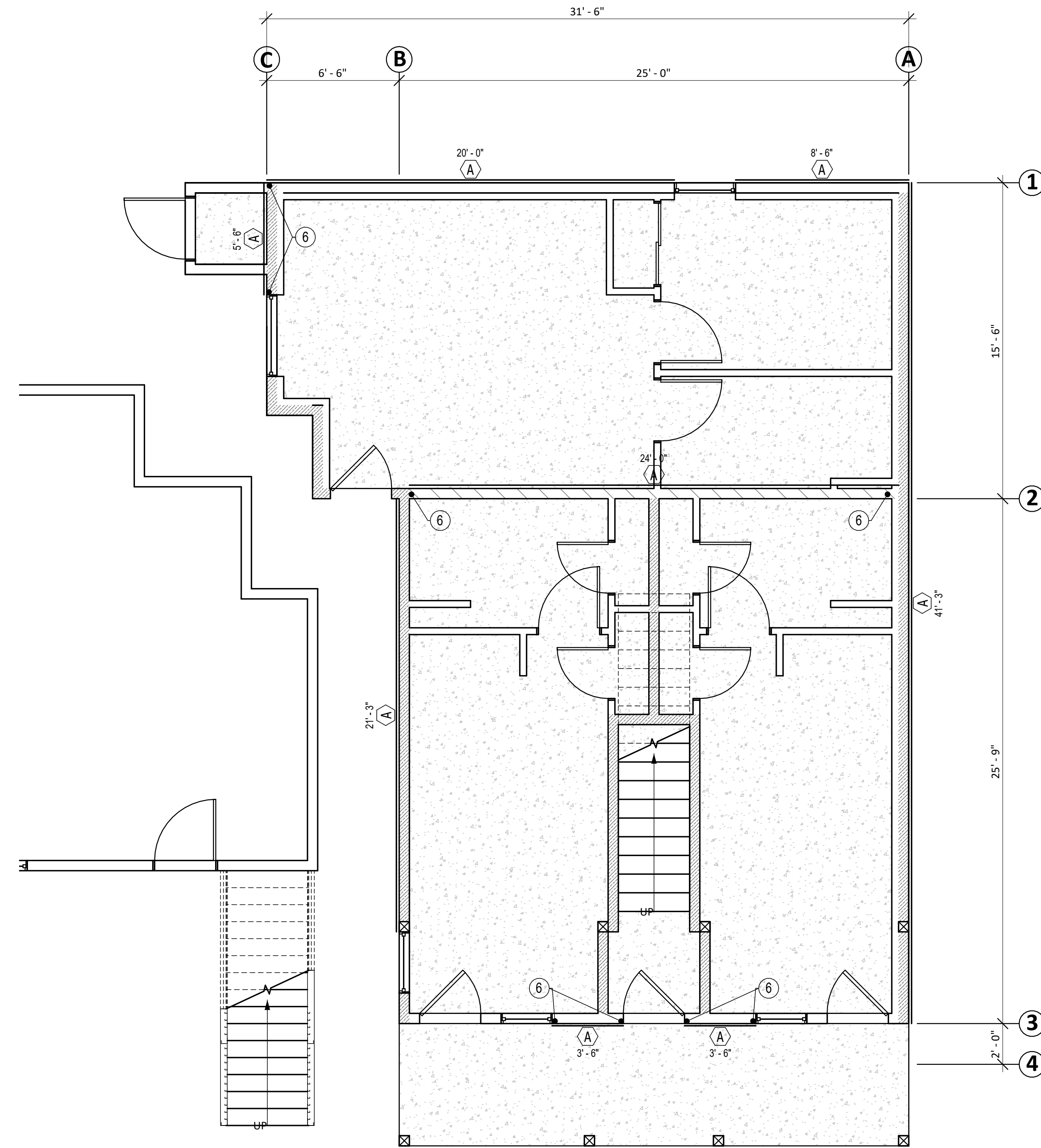
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2 2nd FLOOR SHEAR PLAN
S1 1/4" = 1'-0"



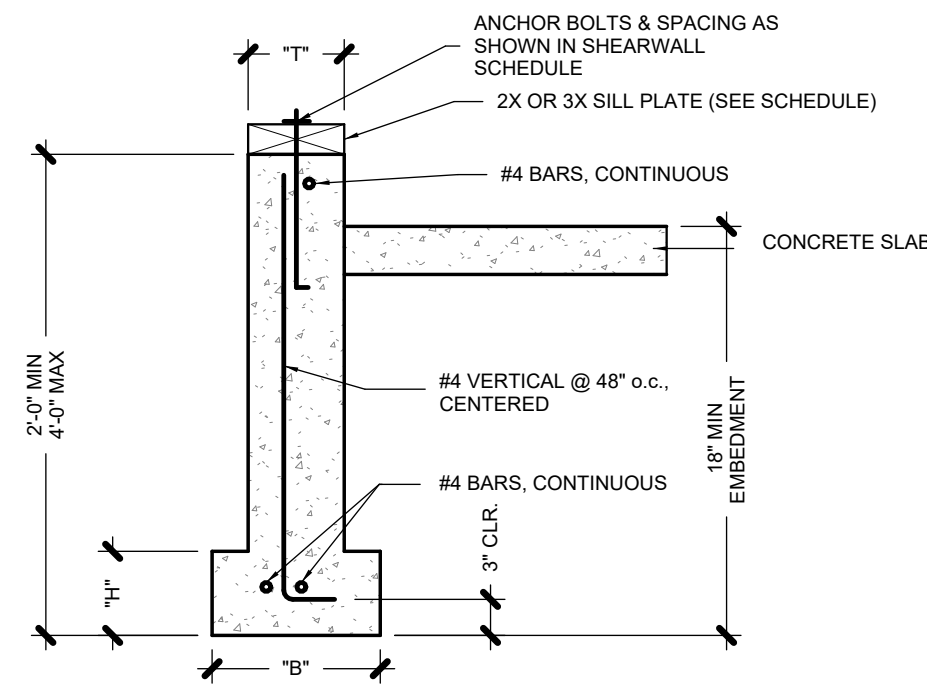
1 1st FLOOR SHEAR PLAN
S1 1/4" = 1'-0"

TONY UZUEGBUNAM
1102 7th St, Oregon City, OR 97045
SHEARWALL PLANS

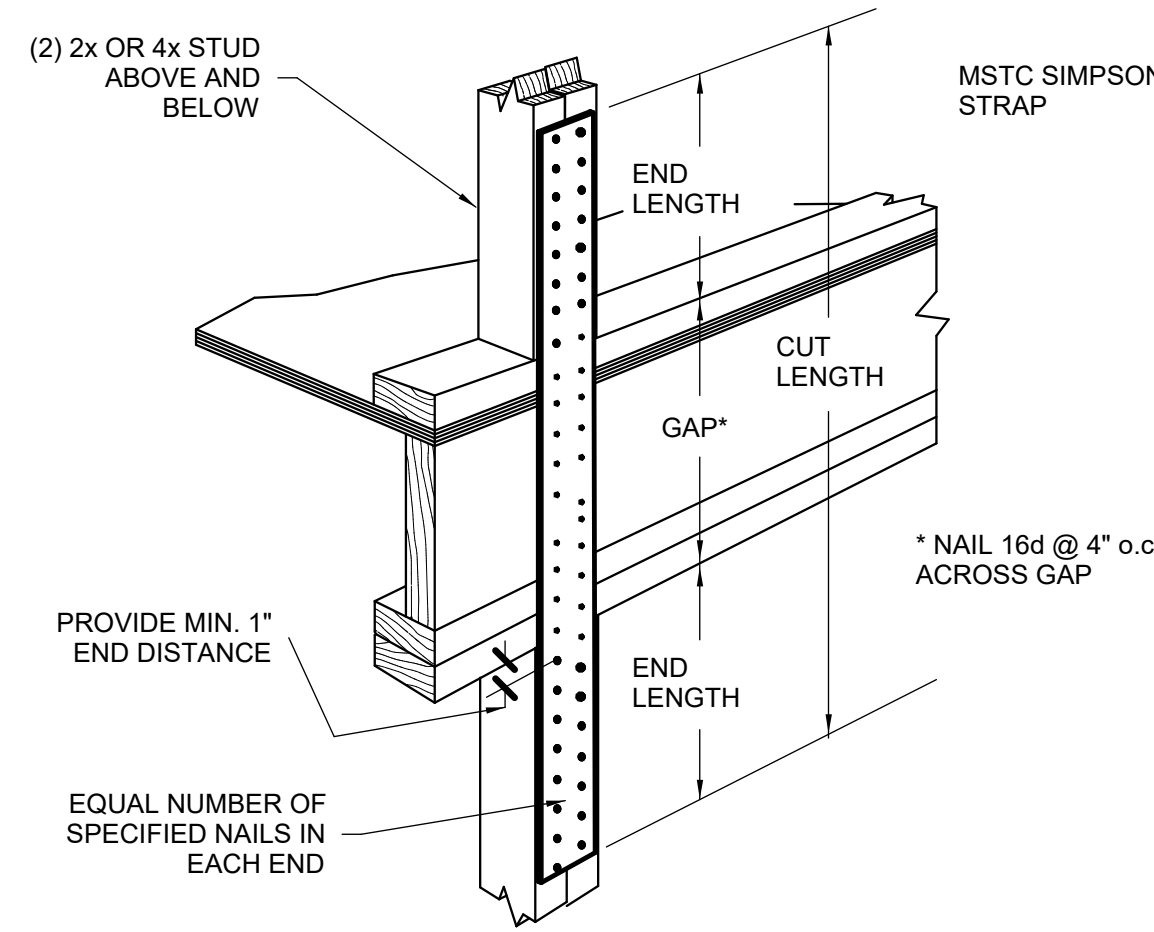
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S1

NO. OF FLOORS SUPPORTED	T	H	B
1	6"	6"	12"
2	8"	7"	15"
3	10"	8"	18"

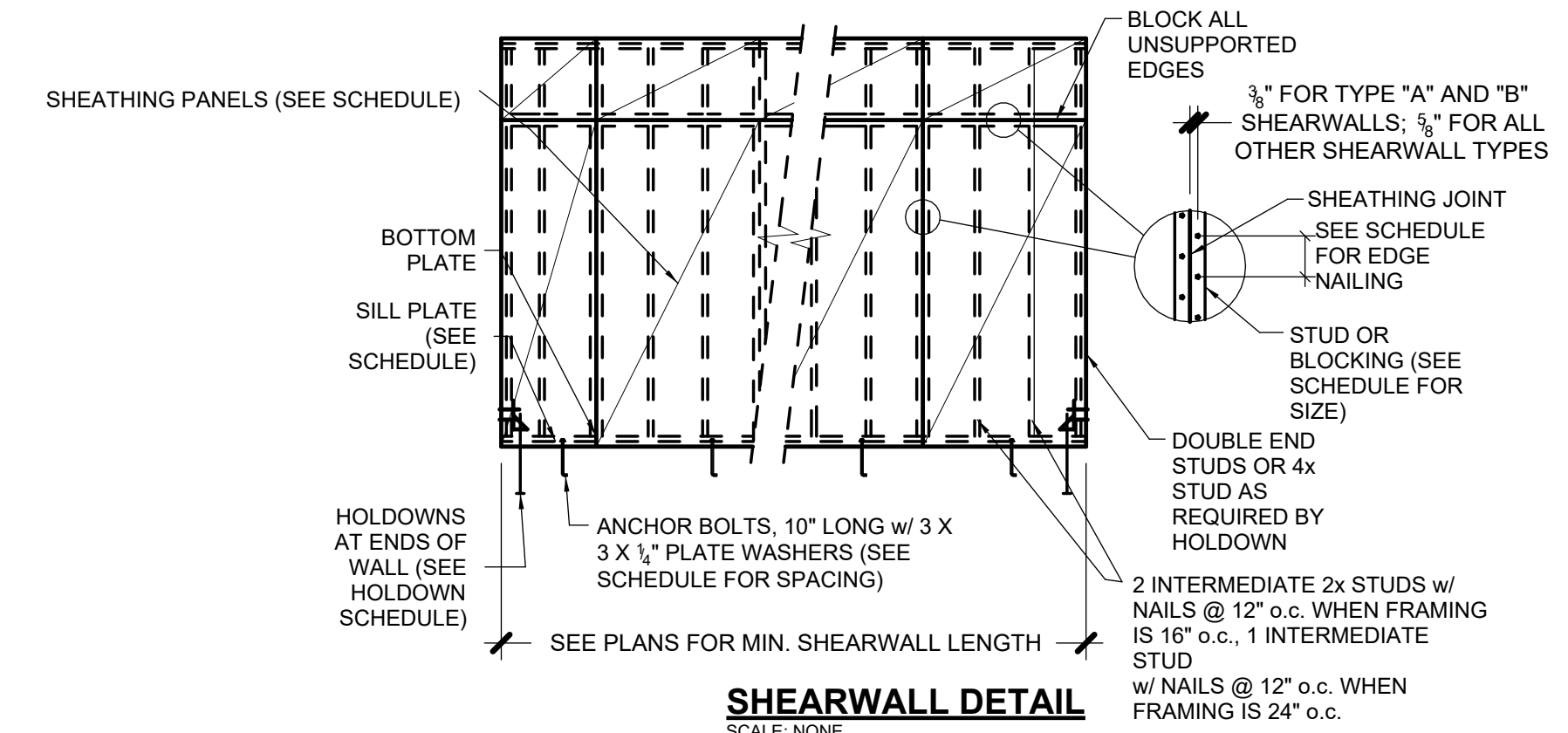


1.1 - STANDARD FOUNDATION - SLAB FOUNDATION
 S2 3/4" = 1'-0"



HOLDOWN MARK	DESIGNATION	16d NAILS EACH END	DESIGN LOAD
1	MSTC28	8	1310
2	MSTC40	18	2945
3	MSTC52	24	3925
4	MSTC66	34	5800
5	MSTC78	38	5860

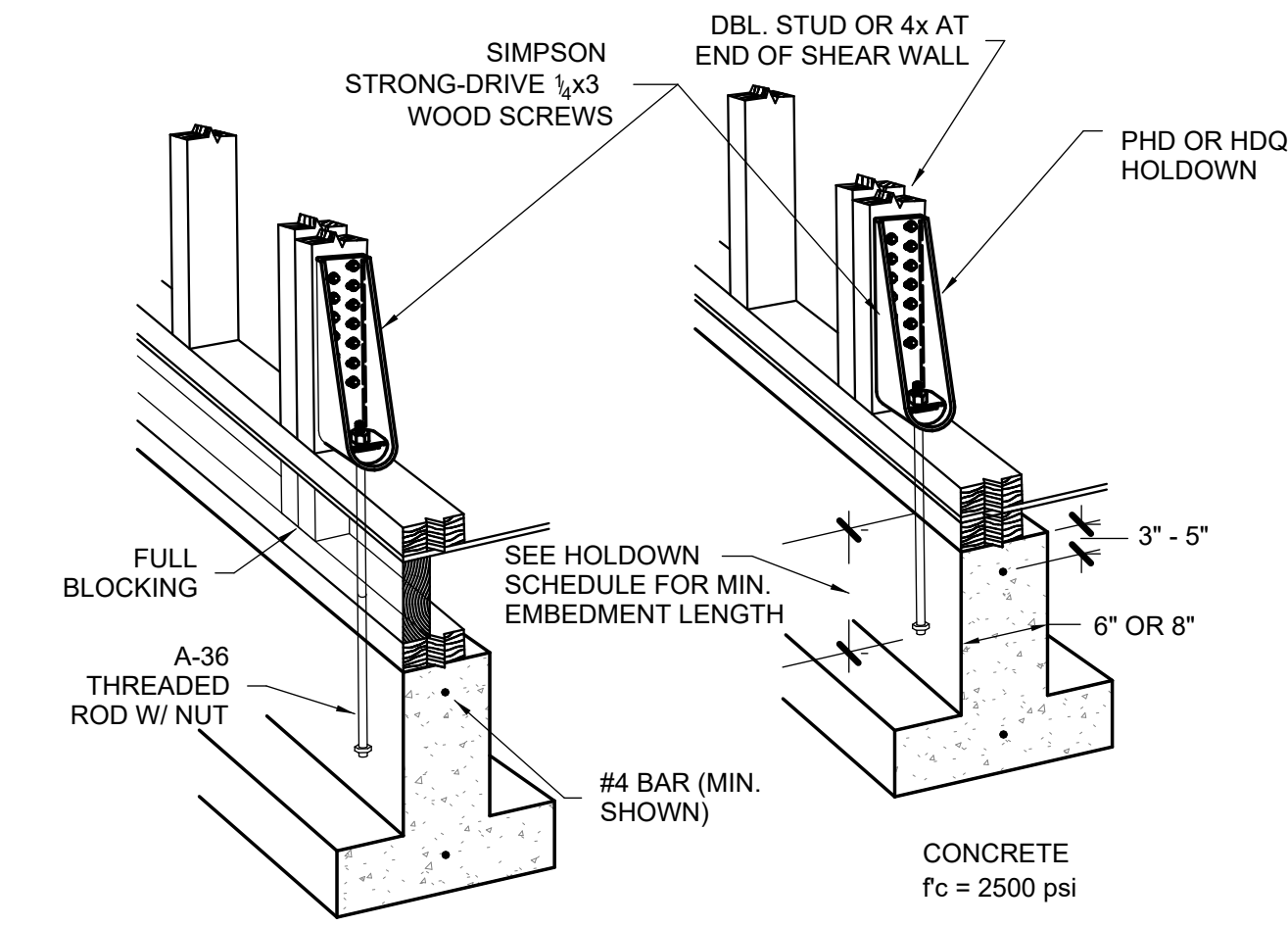
3 8.2 - MSTC STRAPS
 S2 3/4" = 1'-0"



TYPE	SHEATHING	SIDES	STUDS/BLKG ⁵	BTM. PLATE	SILL PLATE	EDGE NAILING	BOTTOM PLATE NAILING	SILL PLATE ANCHOR BOLTS	LTP4 @	W/S CAPACITY (plf) ⁹
A	15/32" CDX	ONE	2x	2x	2x	8d @ 6"	16d @ 4"	5/8" @ 3'-0"	24"	360/260
B	15/32" CDX	ONE	2x	2x	2x	8d @ 4"	16d @ 3"	5/8" @ 2'-0"	16"	530/350
C	15/32" CDX	ONE	3x ¹⁰	2x	2x	8d @ 3"	16d @ 2"	5/8" @ 1'-2"	12"	690/490
D	15/32" CDX	ONE	3x	2x	2x	8d @ 2"	16d @ 1.5"	5/8" @ 0'-11"	9"	900/600
E	15/32" CDX	ONE	3x	2x	3x	10d @ 2"	SDS 1/4 X 4 1/2 @ 5"	5/8" @ 1'-4"	7"	1080/770
F	15/32" CDX	TWO	3x	2x	3x	8d @ 3"	SDS 1/4 X 4 1/2 @ 4"	5/8" @ 1'-0"	6"	1370/980
G	15/32" CDX	TWO	3x	2x	3x	8d @ 2"	SDS 1/4 X 4 1/2 @ 3"	5/8" @ 0'-9"	4.5"	1790/1280

- All exterior walls & roof shall be sheathed with 15/32" CDX or 7/16" OSB and nailed 8d @ 6" edges, 8d @ 12" field.
- 7/16" APA-Rated OSB is an acceptable substitute for 15/32" CDX.
- 1/2" anchor bolts @ 6'-0" o.c. except as noted.
- Foundation vents are acceptable under shearwalls. Anchor bolts shall be placed 3" clear of foundation vents. Any two adjacent vents must have at least 12" of conc. between. Anchor bolt spacing may vary, but sched. average spacing shall be maintained.
- Studs and blocking specified as 3x shall be single 3" nominal lumber at intermediate abutting sheathing joints only, others may be 2x studs and blocking. Double 2x members are NOT an acceptable substitute for 3x material, per code requirements.
- 8d nails shall be 0.131 dia. x 2 1/2" common wire or galvanized box (hot-dipped or tumbled) nails.
- 10d nails shall be 0.148 dia. x 3" common wire or galvanized box (hot-dipped or tumbled) nails.
- Schedule utilizes the permitted 40% increase for wind loads per IBC 2308.4.1.
- Shearwalls w/ seismic load >350 & <600 plf utilize dbl. sill pl. anchors req'd for 2x sill plate material per IBC 2305.3.10 Exception.
- 3x material is not required for all loading conditions. Refer to structural plans for exceptions, if any.
- Staggered fasteners.

3.1 - SHEARWALL SCHEDULE -
 S2 1/2" = 1'-0"



HOLDOWN TYPE	SIMPSON MODEL #	No. OF SIMPSON SDS 1/4" x 2 1/2" WOOD SCREWS	THREADED ROD φ	MIN. ROD EMBEDMENT IN CONCRETE
6	HDU2	6	5/8"	21"
7	HDU4	10	5/8"	18"
8	HDU5	14	5/8"	18"
9	HDU8	20	7/8"	18"
10	HDU11	30	1"	11" INTO FTNG
11	HHQ11	24	1"	11" INTO FTNG
12	HHQ14	30	1"	11" INTO FTNG
13	HDU14	36	1"	11" INTO FTNG

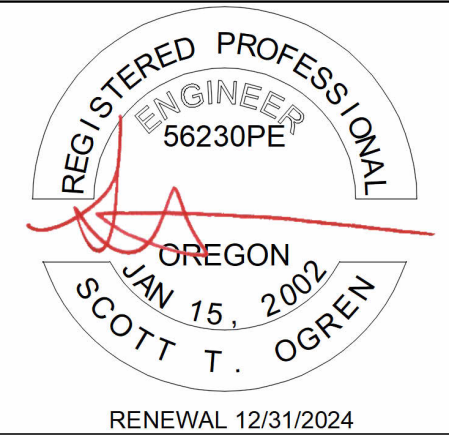
4 8.4 - HDU AND HHQ HOLDOWNS
 S2 3/8" = 1'-0"

CALL OUT	HOLDOWN / STRAP	BOLT	MIN CONCRETE EMBEDMENT DEPTH (in)	STUD	6" STEMWALL CAPACITY (lbs)	8" STEMWALL CAPACITY (lbs)	STRAP CAPACITY (lbs)
1	MSTC28	N/A	N/A	(2) 2x			1310
2	MSTC40	N/A	N/A	(2) 2x			2945
3	MSTC52	N/A	N/A	(2) 2x			3925
4	MSTC66	N/A	N/A	(2) 2x			5800
5	MSTC78	N/A	N/A	(2) 2x			5860
6	HDU2	5/8" φ SB5/8x24	18"	(2) 2x	3075		
7	HDU4	5/8" φ SB5/8x24	18"	(2) 2x	4565		
8	HDU5	5/8" φ SB5/8x24	18"	(2) 2x	5645		
9	HDU8	7/8" φ SB7/8x24	18"	(2) 2x	5980		
10	HDU11	1" φ PAB8 w/ NUT	10.5" INTO FOOTING	(2) 2x		9535	
11	HHQ11	1" φ PAB8 w/ NUT	10.5" INTO FOOTING	(2) 2x		11,810	
12	HHQ14	1" φ PAB8 w/ NUT	10.5" INTO FOOTING	(2) 2x		13,710	
13	HDU14	1" φ PAB8 w/ NUT	10.5" INTO FOOTING	(2) 2x		14,925	

- NOTES:**
- HOLDOWN CALLOUTS CORRESPOND WITH CALCULATIONS AND DETAILS.
 - PAB8 BOLTS REQUIRE EXPANDED FOOTING, IF REQUIRED SEE DETAIL.
 - FOOTING CONCRETE SHALL DEVELOP A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2500 PSI.
 - USE GRADE 60 REINFORCING BARS.

8.1 SHEARWALL HOLDOWN SCHEDULE

2 8.1 - SHEARWALL HOLDOWN SCHEDULE
 S2 1" = 1'-0"



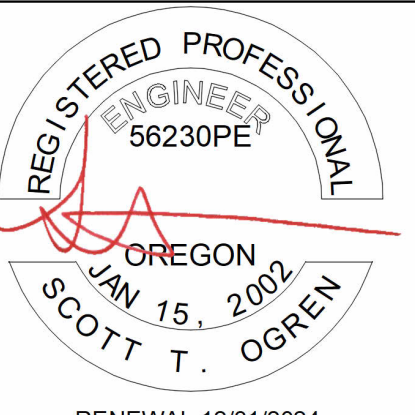
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SHEARWALL DETAILS

Project number: 13276

S2

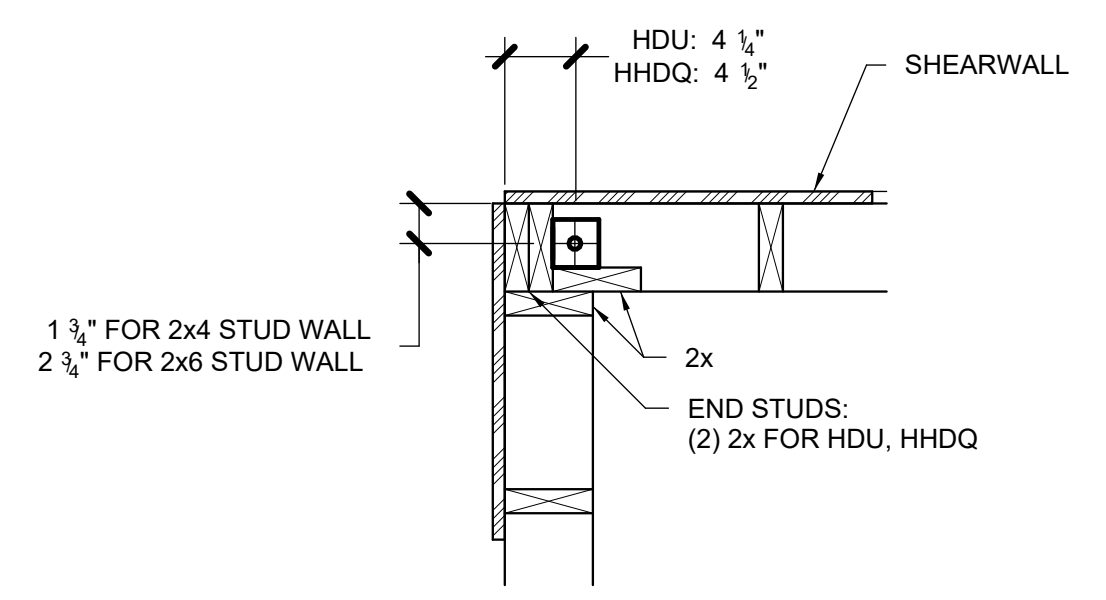


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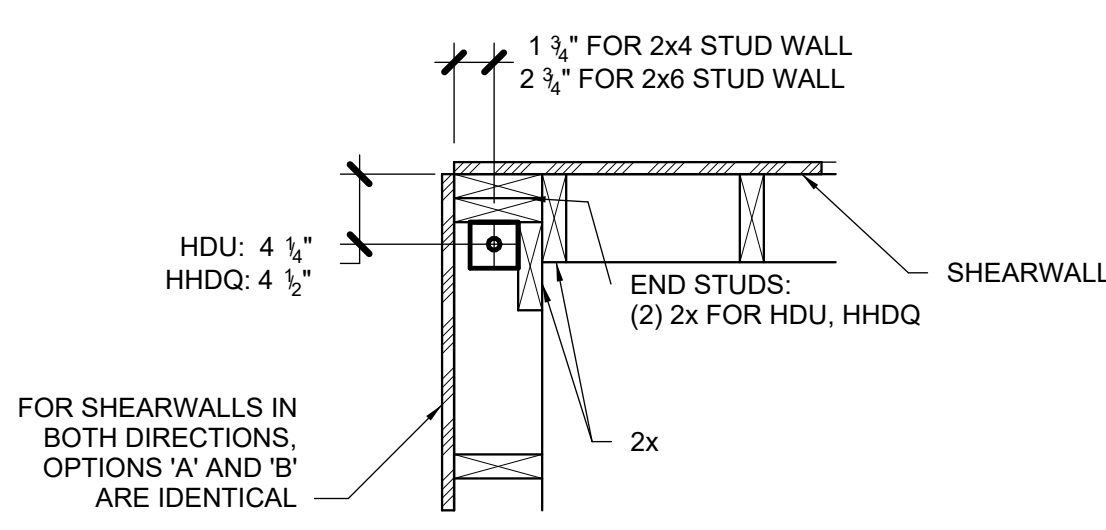
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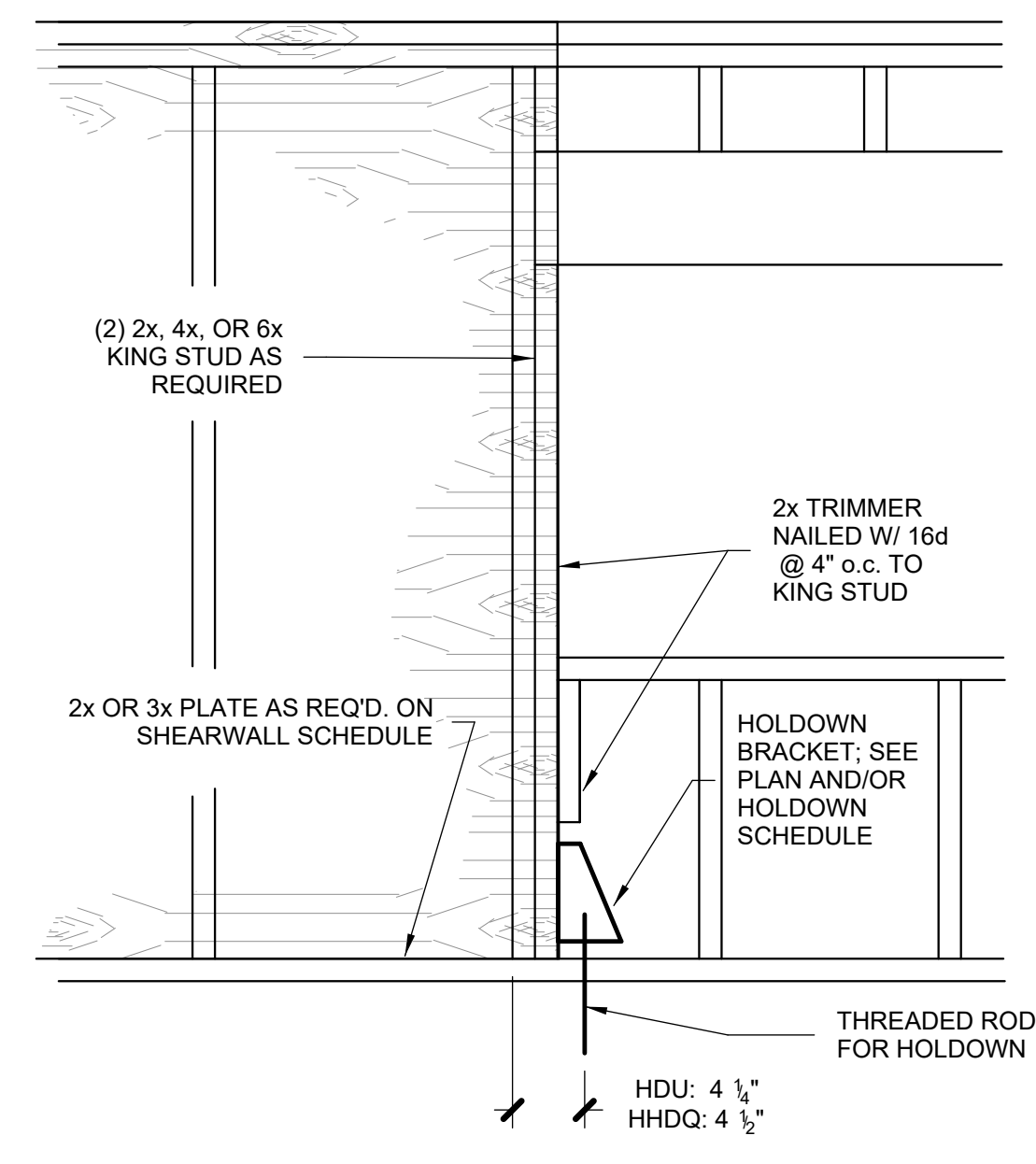
OPTION 'A'



OPTION 'B'

8.10 - TYP. END OF SHEARWALL AT WALL CORNER

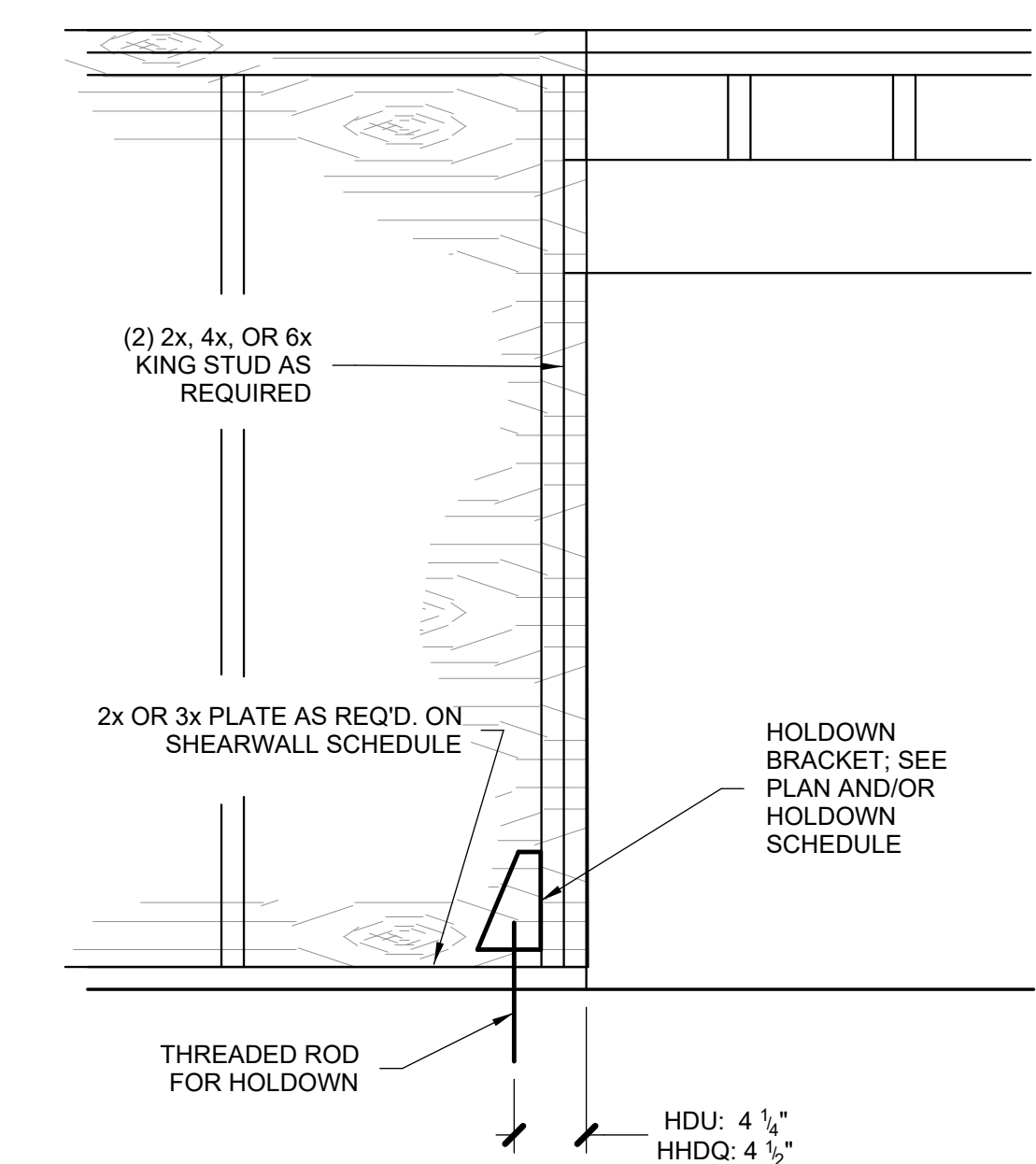
5	1" = 1'-0"
S3	



NOTES:
 DIMENSIONS ARE FROM FACE OF STUD TO C.L. OF THREADED ROD.

8.11 - TYP. END OF SHEARWALL AT WINDOW OPENING

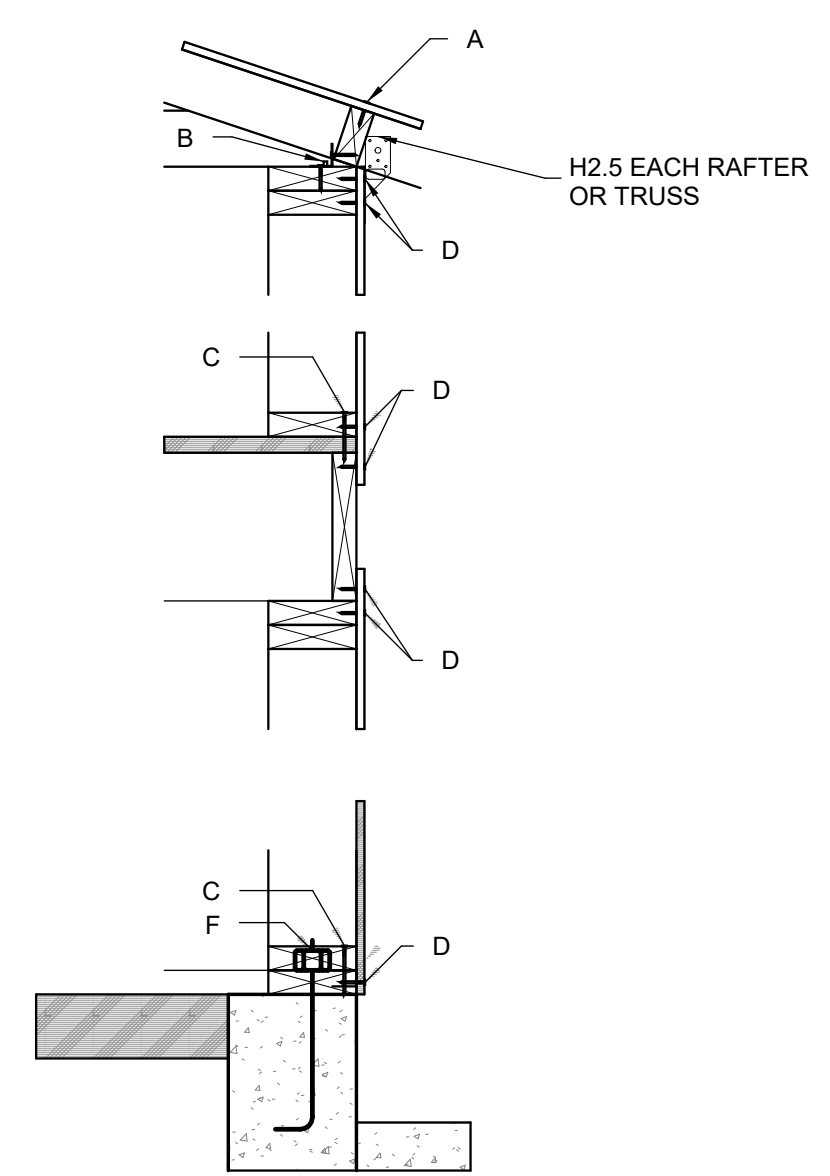
4	1" = 1'-0"
S3	



NOTES:
 DIMENSIONS ARE FROM ROUGH OPENING TO C.L. OF THREADED ROD.

8.9 - TYP. END OF SHEARWALL AT DOOR OPENINGS

3	1" = 1'-0"
S3	



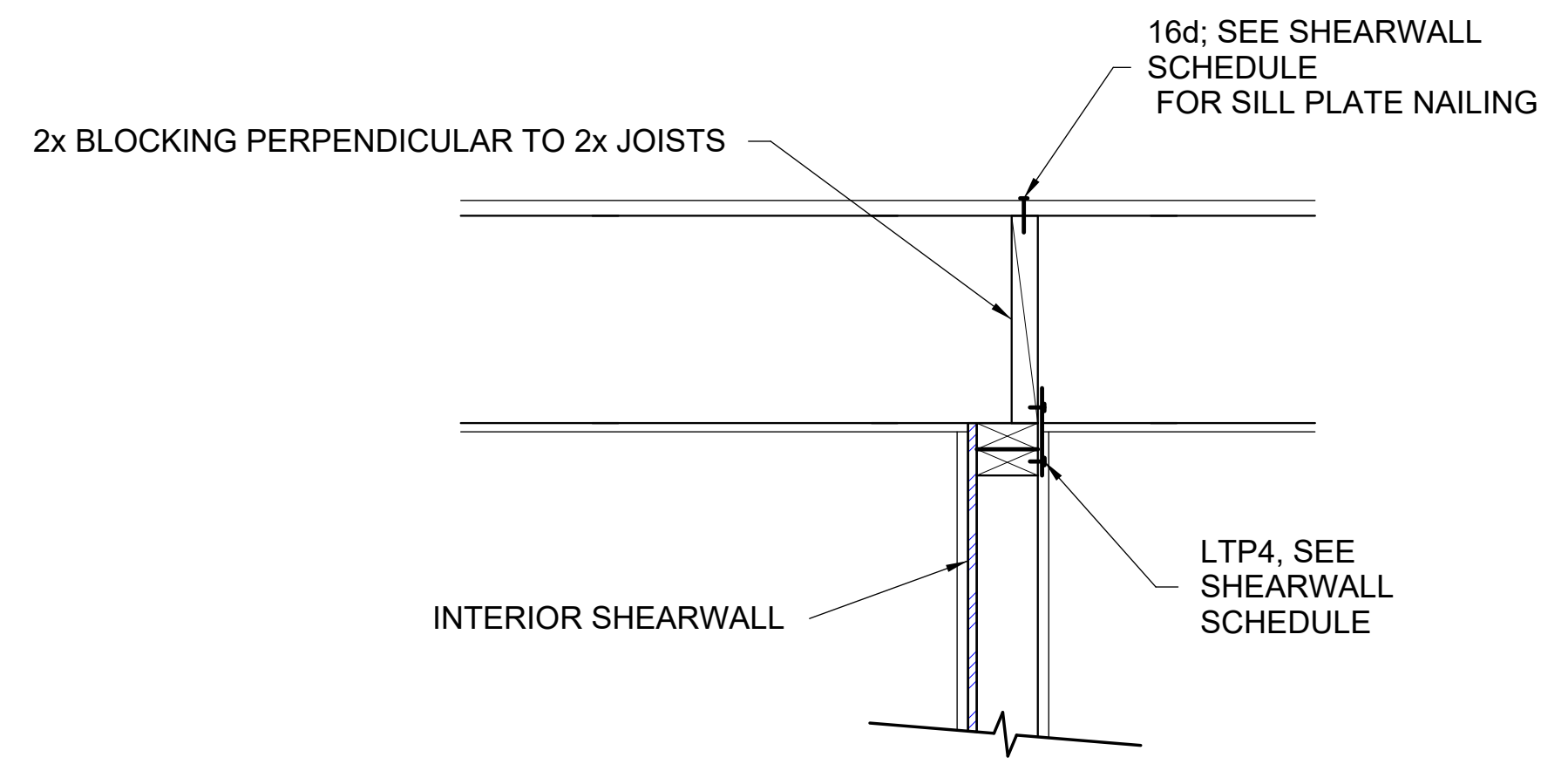
TO BE CONSTRUCTED AT ENTIRE PERIMETER OF STRUCTURE AT ALL LEVELS

A. 8d @ 6" OR SPECIFIED ROOF DIAPHRAGM NAILING
 B. A35 @ SPECIFIED SPACING, 24" AVG. MAX
 C. BASE PLATE NAILING AS SPECIFIED (IF LPT4 PLATES 'E' ARE INSTALLED OR IF SHEATHING IS LAPPED, NAIL 16d @ 16" O.C. PER IBC 2304.9.1)
 D. SCHEDULED SHEARWALL NAILING
 E. LTP4 @ SCHEDULED SPACING 24" AVG. MAX (NOT REQUIRED IF SHEATHING IS LAPPED)
 F. ANCHOR BOLTS @ SCHEDULED SPACING

3.7 TYPICAL SHEAR TRANSFER DETAILS

3.7 - TYPICAL SHEAR TRANSFER DETAILS - JOIST

2	1" = 1'-0"
S3	



INTERIOR SHEARWALL PERPENDICULAR TO FLOOR JOISTS

5.1 INTERIOR SHEARWALLS PERPENDICULAR TO FLOOR JOISTS

5.1 - INTERIOR SHEARWALL TO FLOOR JOISTS

1	1" = 1'-0"
S3	

TONY UZUEGBUNAM
 1102 7th St, Oregon City, OR 97045

SHEARWALL DETAILS

Project number: 13276

S3

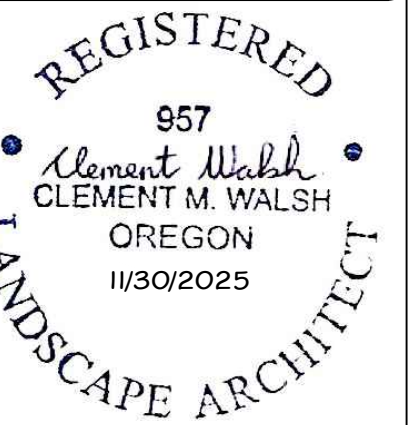
Revisions:

Project Information:

Project name:
TONY UZUEGBUNAM

Project address:
1102 7TH ST.,
OREGON CITY, OR 97045

Issue Information:



CLEMENT WALSH
LANDSCAPE ARCHITECT, INC.
8215 SW Tualatin-Sherwood Rd. Suite
#200
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503.898.0130 ClementWalsh.com

Project no. 2025-019
Drawn by: Debra McPherson
Checked by: Clement Walsh
Sheet size: 24" x 36"
Scale: Noted
Plot date: May 29, 2025
Sheet no. 1 of 2

Sheet title:

Landscape Plan

Drawing:

L100

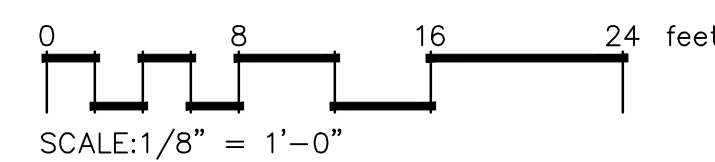
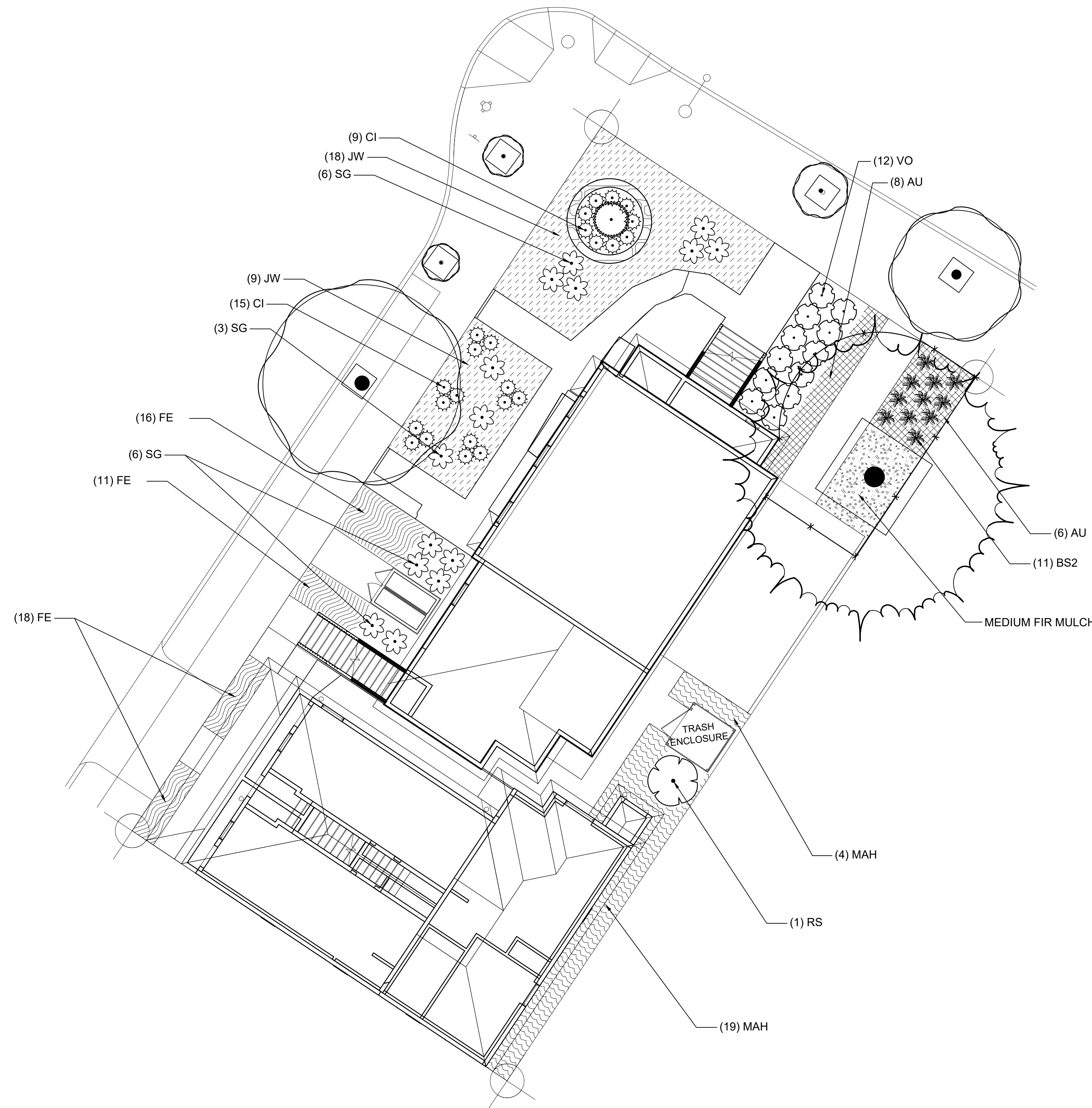
PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING
SHRUBS					
	RS	1	Ribes sanguineum Red Flowering Currant	2 gal.	72" o.c.
	SG	15	Spiraea japonica 'Goldmound' Goldmound Japanese Spirea	1 gal.	36" o.c.
	VO	12	Vaccinium ovatum Evergreen Huckleberry	1 gal.	36" o.c.
FERNS					
	BS2	11	Blechnum spicant Deer Fern	1 gal.	24" o.c.
GRASSES					
	CI	24	Carex morrowii 'Ice Dance' Ice Dance Japanese Sedge	1 gal.	24" o.c.
GROUND COVERS					
	AU	14	Arctostaphylos uva-ursi Kinnikinnick	1 gal.	36" o.c.
	FE	45	Festuca glauca 'Elijah Blue' Elijah Blue Fescue	1 gal.	22" o.c.
	JW	27	Juniperus horizontalis 'Wiltonii' Blue Rug Juniper	1 gal.	48" o.c.
	MAH	23	Mahonia repens Creeping Mahonia	1 gal.	36" o.c.

**SEE SHEET L101 FOR
DETAILS AND
SPECIFICATIONS**

Planting Plan General Notes:

- Contractor shall verify location of all site utilities prior to landscape implementation.
- Location of existing trees shall be verified in the field by the contractor prior to the start of work.
- Project is to be irrigated by an automatic, underground system, which will provide full coverage for all plant material. The system shall use drip lines where possible and high efficiency spray heads for all other areas. The system shall be designed/built by landscape contractor. This system should be guaranteed for a minimum of one year.
- Contractor shall guarantee plants for a period of one year after final acceptance of project.
- Landscape architect or owner's representative shall approve layout of all plants prior to installation.
- If any conflicts or discrepancies are observed between the landscape drawings, existing conditions, and/or utility locations, notify the landscape architect.
- All plant beds disturbed by installation shall be lightly tilled, receive fertilizer and 2 - 3 inches of mulch.
- Plant locations on the plan are diagrammatic and may be subject to adjustment in the field by the contractor to avoid conflict.
- All areas that are planted with groundcover are indicated on the plan with a hatch pattern. See plant schedule for plant type, size and spacing.
- Contractor is to:
 - Verify plant count. If there is a discrepancy, the planting layout shall be consulted as the correct source. Actual plant quantities to be determined by required plant spacing.
 - Adjust plantings in the field as necessary.



1 LANDSCAPE PLAN

Outline Specifications Planting:

- A. **QUALITY AND SIZE**
 1. Quality and size of plants should conform to the American Association of Nurserymen Standards for Nursery Stock.
 2. The American Association of Nurserymen's guides to on-site plant selection should be used as a guideline for inspecting plants delivered to the job.
 3. All specified plants should be reasonably uniform in size, texture, and color for the species, in relatively good health with no damage or diseases.
 4. Groundcover plants: All rooted cuttings should be healthy vegetative material with well-established roots at one or more nodes. Container grown stock should have viable roots through at least 50% of the medium.
- B. **PLANT HEALTH**
 1. All plants used should comply with Federal and State laws and quarantines that affect their use
 2. In the absence or lack of clarity of details regarding the Specifications and Plans, best practice is always to be employed. All work is to be carried out to this level of workmanship, and with the highest quality of both materials and construction.
- C. **SUBMITTALS**

Samples of materials including, but not limited to, plants, seed, staking materials, fertilizers and soil amendments may be required. Contractor should provide samples when called for by code, specifications, or client's representative.
- D. **NOTIFICATION**

The Landscape Architect or the Owner's Representative is to be given a minimum of 3 days' advance notice of times for inspections. The LA or Owner's Representative maintains the right of rejection of sub-standard materials at project site, regardless of inspections at growing site. As a result, each plant that does not meet the standards outlined above, or in any way failing to meet the requirements shall be noted as rejected, removed from the site immediately, and replaced by the Contractor at his or her expense, and replaced with plants, shrubs, or trees which meet the needed requirements.
- E. **SUBSTITUTIONS**

All substitutions of plants and/or materials specified should be approved in writing by the Landscape Architect or the Owner's Representative. Substitution requests should have similar characteristics to the original selections.
- F. **ENVIRONMENTAL CONDITIONS**

When plantings have to take place in wet or muddy soils or in times of high temperatures, steps should be taken to minimize compaction in the planting areas and to assure adequate moisture levels for plant survival. Planting should not take place in freezing weather or in frozen ground.
- G. **SCHEDULING**

Planting operations should be scheduled to allow the shortest possible time between plant delivery to job sites and actual planting.
- H. **GUARANTEE AND REPLACEMENT**
 1. All plant material shall be:
 - a. Guaranteed from the completion and final inspection of work for one full growing season or one year, whichever is longer.
 - b. Replaced by the Contractor during this period, if any plant material is not in good condition and producing new growth with plants of the same quality, size, variety, and age as the original at no cost to the owner under guarantee by the Contractor.
 2. Exceptions to this guarantee: include material damaged by severe weather conditions; due to Owner's negligence; normally unforeseen peculiarities of the planting site; or lost due to vandalism.
 3. All receipts for soil amendment and topsoil delivery are to be kept on site for Owner's Representative's inspection.
- I. **PROTECTION**

Existing roads, sidewalks, and curbs, landscaping, and other features are to be protected to remain as final work. Location of underground utilities to be verified prior to doing work. Any damage to service lines, existing features, etc. caused by landscaping installation are to be repaired to the original condition.
- J. **PLANT QUALITY ASSURANCE**
 1. All plants should be properly stored to assure health at planting time.
 2. Nursery stock shall be healthy, well branched and rooted, formed true to variety and species, full foliated, free of disease, injury, defects, insects, scars, breaks, weeds, and weed roots. Trees shall have straight trunks, symmetrical tips, and have an intact single leader. Any trees with double leaders will be rejected upon inspection. All Plants: True to name, with one of each bundle or lot tagged with the common and botanical name and size of the plants in accordance with standards of practice of the American Association of Nurserymen, and shall conform to the Standardized Plant Names, 1942 Edition.
 3. Container grown stock: Small container-grown plants, furnished in removable containers, shall be well-rooted to ensure healthy growth. Container plants grown in containers a minimum of one year prior to delivery, with roots filling container but not root bound. Bare root stock roots are to be well-branched and fibrous. Balled and burlapped (B&B) ball shall be of natural size and firmness to ensure healthy growth, and the burlap sound.

- K. **TOPSOIL AND FINAL GRADES**
 1. Contractor may stockpile site topsoil for possible reuse in landscape beds. Stockpiled topsoil to be tested by a soil's laboratory for nursery or agricultural use and recommendations for amendments to be followed.
 2. Site topsoil to be screened to remove all grass clods and debris larger than 1". Existing site topsoil to be amended with compost at a ratio of 3:1, with 3 units of existing soil to one unit of compost. In lieu of amending site topsoil, contractors may choose to use imported 3-way topsoil. Topsoil to be placed at a minimum of 6" in all landscape bed areas and incorporated into existing subgrade. Topsoil to be placed at a minimum of 12" in all tree pit areas. In all instances, placed topsoil to be incorporated into existing grade.
 3. Landscape contractor is to determine and verify with the general contractor the condition of the site topsoil. Landscape contractor is to budget 8"-12" imported soil depth for planting bed areas and 6" imported soil depth for lawn areas.
 4. Landscaping shall include finished grades and even distribution of topsoil to meet planting requirements:
 - a. Grades and slopes shall be as indicated.
 - b. Planting bed grades shall be approximately 3" below adjacent walks, paving, finished grade lines etc., to allow for bark application.
 - c. Finish grading shall remove all depressions or low areas to provide adequate drainage throughout the area.

Planting Specifications:

- A. **HERBICIDES**
 1. Prior to soil preparation, all areas showing any undesirable weed or grass growth shall be treated with Roundup or Cheetah Pro in strict accordance with the manufacturer's instructions at least one week prior to planting. An alternative method of treating/removing undesirable weed or grass growth must be approved by the Landscape Architect or the Owner's Representative.
 2. When used, herbicides should conform to national, state, and local codes; should only be used as per label instructions; and should be used in a safe and environmentally protective manner. Applications should only be made by individuals properly licensed by the ODA.
- B. **SOIL PREPARATION**
 1. Soil should be reasonably free of rocks, debris, and noxious weeds. Soils should be tested and, if it is subsoil or of poor quality, sufficient topsoil or amendments should be brought in to assure plant health.
 2. Work all areas by:
 - a. Rototilling to a minimum depth of 8"
 - b. Removing all stones (over 1 1/2" size), sticks, mortar, large clumps of vegetation, roots, debris, or extraneous matter turned up in working
 - c. Leveling, smoothing and lightly compacting area to plus or minus 0.10' (feet) of required grades.
 3. Imported soils should be free of disease, weeds, pests, and debris. Soil amendments should be free of diseases, pests, weeds, and or chemicals including herbicides.
- C. **PLANTING HOLE**
 1. **PREPARATION:** Should consist of laying out plant locations, digging holes, and adding amendments if called for.
 2. **PLANT HOLES**
 - a. Planting holes should be dug with a width 2 to 2 1/2 times the root ball and to a depth 2"-4" less than the original root ball's depth in the container or ball. The depth of the root ball in the planting hole should leave the root crown 2" above the finished grade to allow for settling after planting and mulch application.
 - b. Planting holes should be dug with the sides as vertical as the soil will allow. In heavy soils the sides taper away from the center of the planting pit. The base of the planting hole should be left undisturbed if possible and should be firmed prior to planting.
 - c. In heavy soils, if the sides of the planting hole are glazed, the sides of the hole should be scarified.
 - d. For planting bare root trees and shrubs, a cone shaped mound should be created in the base of the planting hole to support the roots.
- D. **SOIL MIX**

Prepare soil mix in each planting hole by mixing:

 - 2-part native topsoil (no subsoil)
 - 1 part compost (as approved)

For groundcovers areas add 2" of compost (or as approved) and rototill in to the top 6" of soil.

Thoroughly mix in planting hole and add fertilizers at the following rates:

- 2-part native topsoil (no subsoil)
- Small shrubs: 1/8 pound per plant
- Shrubs: 1/3 to 1/2 pounds per plant
- Trees: 1/3 to 1.0 pounds per plant

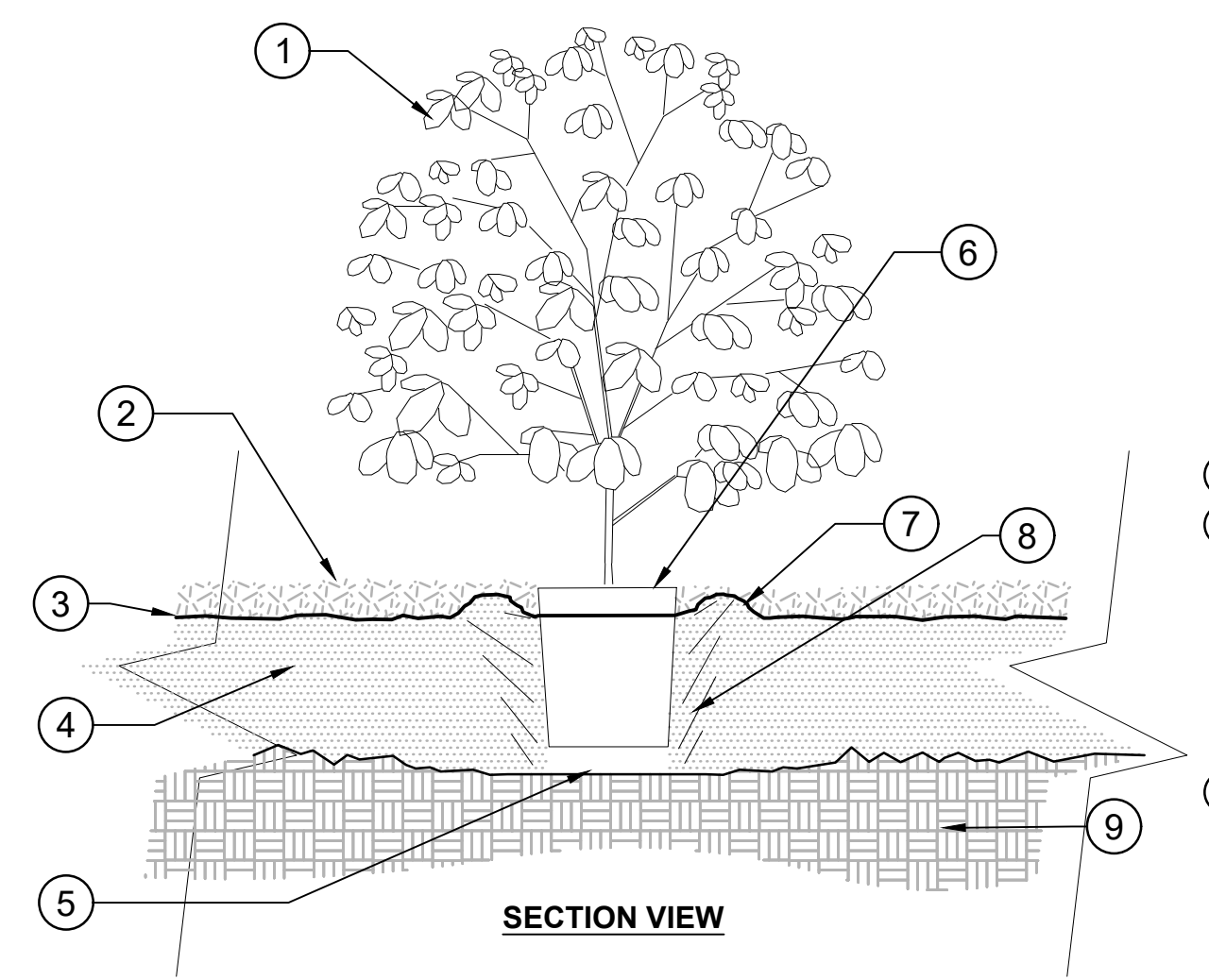
- E. **FERTILIZER**
 1. Fertilizers may be organic or synthetic and can be in pellet, tabular, granular, or liquid form. All fertilizers used must have labeling that conforms to environmental and safety requirements set forth by state and national regulations.
 2. All fertilizers should be applied as per label instructions, as indicated by soil tests and in a manner that is environmentally safe.
 3. Do not apply fertilizer to Water Quality Swale.
- F. **SHRUBS**
 1. **MOVING:** As shrubs are moved to position on the site, the container and/or root ball should be always supported. Do not carry plants by trunks/branches only.
 2. Container plants should be removed carefully from containers, checked for circling or girdling roots, and placed plumb in the planting hole. If there are circling and/or girdling roots, they should be pulled outward and straightened or pruned prior to planting.
 3. **WITH WIRE BASKETS,** the wire grids should be cut down completely to the base, unless the nursery guide says otherwise.
 4. **BACKFILL:** Prior to backfilling, the soil and backfill should be moist but not wet. In heavy soils, planting should take place in native soil removed from the hole. In light soils the backfill should be mixed with soil amendments as specified. Amendments with high carbon to nitrogen ratios should not be used when planting new plants. Planting holes should be backfilled in layers to firmly surround the plant's roots. Large air pockets should all be removed. If planting holes are settled using water, care should be taken to avoid over compaction and subsequent loss of structure.
 5. **WATERING:** Plants should be thoroughly watered in after back fill. In light soils or situations where water will not stay in plant root zone area, water basins should be created to facilitate watering until the plants are established.
 6. **FINISH GRADING:** All planting areas should be graded to a smooth finish and mulched to a 2"-4" depth as specified to complete the work.
 7. **PRUNING:** At planting time, pruning should be kept to a minimum. Damaged, diseased and/or dead material should be removed.
- G. **PLANTING GROUNDCOVER, ANNUAL AND PERENNIAL PLANTS**

For groundcover, perennial and/or annual plantings, entire beds should be prepared and amended as specified prior to planting. Plants should be planted at the spacing and pattern specified and then watered in.
- H. **MULCHING OF PLANTINGS**
 1. Mulch should be free of disease and insects.
 2. Mulch planting areas with a fine dark bark to a depth of 2" in ground cover areas and 2 1/2" in shrub beds. Apply evenly, not higher than grade of plant as it came from the nursery, and rake to a smooth finish. Water thoroughly, then hose down planting area with fine spray to wash leaves of plants.
- J. **GENERAL MAINTENANCE**

Work described in these specifications is to be consistently maintained and protected against all defects of materials and workmanship, through final acceptance. Plants not in normal healthy condition at the end of this period are to be replaced. Plants are to be watered, weeded, cultivated, mulched and/or reset to proper grade or upright position, dead wood removed, and necessary standard operations maintained. Irrigate when necessary to avoid drying out of plant materials, and to promote healthy growth.
- K. **CLEAN-UP**

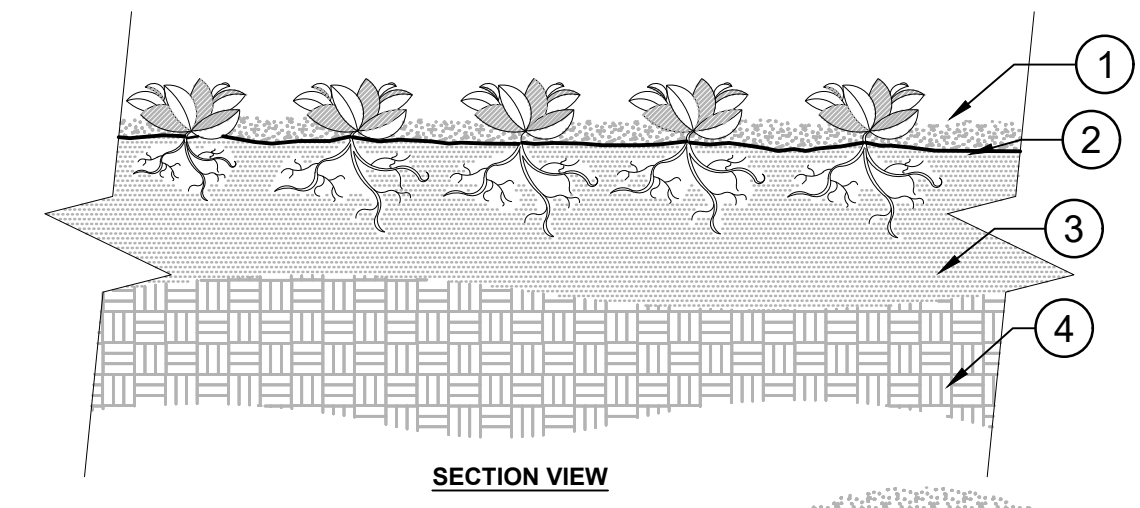
At completion of each stage of work all extra material, supplies, equipment, etc., shall be removed from the site. All walks, paving, or other surfaces shall be swept clean, mulch areas shall have debris removed. All areas of the project shall be kept tidy.

NOTE: ANY PROPOSED CHANGES TO OUR SPECIFICATION OR DETAILS SHOULD BE APPROVED BY THE LANDSCAPE ARCHITECT. LIKEWISE, IN ACCORDANCE WITH BEST PRACTICES OF LOCAL LANDSCAPE INSTALLATION, SHOULD THE LANDSCAPE ARCHITECT BE SO ADVISED.



1 SHRUB - MODIFIED SOIL
3/4" = 1'-0"

- 1 SHRUB
- 2 2" LAYER OF MULCH. (SEE SPECS FOR MULCH).
- 3 FINISHED GRADE.
- 4 MODIFIED SOIL. DEPTH VARIES. (SEE SPECS FOR SOIL MODIFICATION).
- 5 LOOSEN ROOTS. ROOT BALL RESTS ON EXISTING OR RECOMPACTED SOIL AND MYCORRHIZAE BALANCED FERTILIZER LIKE MROOTS.
- 6 ROOT BALL 2" ABOVE SOIL GRADE
- 7 4" HIGH X 8" WIDE ROUND - TOPPED SOIL BERM ABOVE ROOT BALL SHALL BE CONSTRUCTED AROUND THE ROOT BALL WITH 50% OF NATIVE SOIL AND 50% OF COMPOST OR CLAY BUSTER DEPENDING ON SOIL TYPE. BERM SHALL BEGIN AT ROOT BALL PERIPHERY.
- 8 PRIOR TO MULCHING, LIGHTLY TAMP SOIL AROUND THE ROOT BALL IN 6" LIFTS TO BRACE SHRUB. DO NOT OVER COMPACT. WHEN THE PLANTING HOLE HAS BEEN BACKFILLED, POUR WATER AROUND THE ROOT BALL TO SETTLE THE SOIL.
- 9 EXISTING SOIL.



- 1 2-3" THICK LAYER OF MULCH
- 2 FINISHED GRADE
- 3 TILL 6" - 8" INTO NATIVE SOIL. AMEND SOIL WITH 2" - 3" OF COMPOST OR CLAY BUSTER. TILL AMENDMENT INTO NATIVE SOIL.
- 4 EXISTING SOIL
- 5 GROUNDCOVER PLANTS TO BE TRIANGULARLY SPACED
- 6 MULCH
- 7 PAVEMENT

PLAN

6" MIN

1- SEE PLANTING LEGEND FOR GROUNDCOVER SPECIES, SIZE, AND SPACING DIMENSION.
2- SMALL ROOTS (1/4" OR LESS) THAT GROW AROUND, UP, OR DOWN THE ROOT BALL PERIPHERY ARE CONSIDERED A NORMAL CONDITION IN CONTAINER PRODUCTION AND ARE ACCEPTABLE HOWEVER THEY SHOULD BE ELIMINATED AT THE TIME OF PLANTING. ROOTS ON THE PERIPHERY CAN BE REMOVED AT THE TIME OF PLANTING. (SEE ROOT BALL SHAVING CONTAINER DETAIL).
3- SETTLE SOIL AROUND ROOT BALL OF EACH GROUNDCOVER PRIOR TO MULCHING.

2 GROUNDCOVER
3/4" = 1'-0"

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P-2025-COM-2025.019-05

URBAN TREE FOUNDATION © 2014
OPEN SOURCE FREE TO USE
P-2025-COM-2025.019-02

Revisions:

Project Information:

Project name: **TONY UZUEGBUNAM**

Project address: **1102 7TH ST., OREGON CITY, OR 97045**

Issue Information:

REGISTERED

957

Clement Walsh
CLEMENT M. WALSH
OREGON
11/30/2025

LANDSCAPE ARCHITECT

CLEMENT WALSH
LANDSCAPE ARCHITECT, INC.
8215 SW Tualatin-Sherwood Rd. Suite #200
Tualatin, OR 97062
503.898.0130 ClementWalsh.com

Project no. 2025-019

Drawn by: Debra McPherson

Checked by: Clement Walsh

Sheet size: 24" x 36"

Scale: Noted

Plot date: May 29, 2025

Sheet no. 2 of 2

Sheet title:

**Landscape Plan:
Details and
Specifications**

Drawn:

L101

November 14, 2025

Preliminary comments for:	HR-25-13
Address or project:	1102 7 th Street, Oregon City, OR 97045
Scope of Work:	New two-story, six unit apartment building
Applicant or Contact:	Trevor Tyree, American Made Construction
Contact phone and email:	(503) 344-7666 t.tyree@amadeconstruct.com

The preliminary drawings for the above referenced project have been reviewed for conformance with the 2022 Oregon Specialty Codes as adopted by the State of Oregon and administered by the City of Oregon City. These comments are limited in scope as pertains to the location of the proposed structures to the existing structures and the adjacent property lines.

Relevant Oregon Specialty Codes – 2022 Oregon Structural Specialty Code, 2022 Oregon Mechanical Specialty Code, 2022 Oregon Fire Code

Applicable code citations and comments:

1. Fire separation distance issues related to having more than one building on a single lot:

OSSC 705.3: Buildings on the same lot: For purposes of determining the required wall and opening protection, projections and roof-covering requirements, buildings on the same lot shall be assumed to have an imaginary line between them.

Where a new building is to be erected on the same lot as an existing building, the location of the assumed imaginary line with relation to the existing building shall be such that the exterior wall and opening protection of the *existing building* shall also meet the criteria as set forth in Sections 705.5 and 705.8.

Exception 1 states: Two or more buildings on the same lot shall be either regulated as separate buildings or shall be considered as portions of one building if the aggregate area of such buildings is within the limits specified in Chapter 5 for a single building. Where the buildings contain different occupancy groups or are of different types of construction, the area shall be that allowed for the most restrictive occupancy or construction.

Comment: As designed, the walls of the existing and new apartment buildings are 4'-0" apart and the roof overhangs are, at the worst case, 1'-0" apart. The existing apartment building's south wall is non-rated, has a non-protected window opening in it and an electric meter base and communication boxes. It is not known whether this existing building is sprinklered.

The proposed building will have a 1 hour rated wall assembly with no openings between the two structures and the new roof sheathing and soffit is called out as ½” fire-retardant plywood. The code analysis calls for a Type 13R sprinkler system.

For Code review purposes, Exception 1 (noted above) allows two options:

1) two buildings on the same lot, or 2) one building on the same lot.

As noted in the Code citation above, if you choose to have these to be reviewed as ‘two separate buildings’, then you will need to provide an imaginary property line between the two structures --with the roof eaves representing the ‘face of building’, respectively, and then demonstrate how both buildings comply with the requirements of Sections 705.5 and 705.8. Essentially, this will require the wall and roof structure of the existing apartment building to be fire-rated, for the existing window to be removed and for the electric meters and communication panels and their penetrations to be dealt with, and perhaps relocated.

If you choose to have both structures to be reviewed as ‘one building’, both buildings need to have the same construction type (V-B), both be sprinklered with the same sprinkler system (13R or 13—see item 2 below) and have an aggregate area of less than 7,000 sq. ft. to 21,000 sq. ft., based on sprinkler system type (which is the case).

2. Issues related to proposed setback/ fire separation distance at east property line:

OSSC Table 705.8: Max area of exterior wall openings based on Fire Separation Distance and Degree of Opening Protection: When the fire separation distance is 3’ to less than 5’, and the degree of opening protection is ‘Unprotected, Sprinklered (UP,S)’ the allowable area of openings is ‘not permitted’.

TABLE 705.8 MAXIMUM AREA OF EXTERIOR WALL OPENINGS BASED ON FIRE SEPARATION DISTANCE AND DEGREE OF OPENING PROTECTION

FIRE SEPARATION DISTANCE (feet)	DEGREE OF OPENING PROTECTION	ALLOWABLE AREA ^a
0 to less than 3 ^{b, c, k}	Unprotected, Nonsprinklered (UP, NS)	Not Permitted ^k
	Unprotected, Sprinklered (UP, S) ^j	Not Permitted ^k
	Protected (P)	Not Permitted ^k
3 to less than 5 ^{d, e}	Unprotected, Nonsprinklered (UP, NS)	Not Permitted
	Unprotected, Sprinklered (UP, S) ^j	15%
	Protected (P)	15%
5 to less than 10 ^{h, f, j}	Unprotected, Nonsprinklered (UP, NS)	10% ^h
	Unprotected, Sprinklered (UP, S) ^j	25%
	Protected (P)	25%



UP, NS = Unprotected openings in buildings not equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1.1.

UP, S = Unprotected openings in buildings equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1.1.

P = Openings protected with an opening protective assembly in accordance with Section 705.8.2.

- a. Values indicated are the percentage of the area of the exterior wall, per story.
- b. For the requirements for fire walls of buildings with differing heights, see Section 706.6.1.
- c. For openings in a fire wall for buildings on the same lot, see Section 706.8.

Comment: The fire separation distance on the east wall of the proposed new building is shown as 3'-0". Per the Table footnotes (see above—Section 903.3.1.1 refers to a Type 13 system), a Type 13R sprinkler system is classified as 'Nonsprinklered' and thus no opening area is allowed and neither the two windows nor the penetrations of the mini-splits would be allowed. If the sprinkler system is upgraded to a Type 13 system, then a maximum of 15% openings are allowed. Note: 'openings' refers to all openings (including those made by the mini-splits and vents, etc.).

3. Issues associated with mini-splits located on east wall of proposed apartment building:

OSSC 1003.6: Means of egress continuity: The path of egress travel along a means of egress shall not be interrupted by a building element. Obstructions shall not be placed in the minimum width or required capacity of a means of egress component except projections permitted by this chapter. **Per OSSC 1031**, this egress path must be 36" clear in width.

The intent of this section is to provide for egress of occupants from bedroom spaces and for firefighter access in the event of a fire.

Comment: The two egress windows on the east façade of the proposed apartment building are currently 3'-0" from the east property line. The proposed mini-splits would diminish this required minimum 3'-0" wide egress clearance to a non-compliant width.

Another code item related to the mini-splits, as designed, is **OSMC Section M306.1 'Access'**, which requires a level, minimum 30" wide x 30" deep space in front of the control side of the mechanical equipment to allow for maintenance. This requirement, however is exceeded by the 36" clear egress path requirement.

4. Issue related to Opening created by column and roof overhang at South property line:

Per OSSC Table 705.8, openings are not permitted when the Fire Separation Distance is less than 3'.

Comment: The space between the west wall of the proposed structure and the column that supports the outside corner of the hip roof constitutes an ‘opening’, and would not be allowed as designed.

5. Clarification of building setback at south property line:

All building elements must be located within the Owner’s property line.

Comment: It is unclear what the setback to the proposed building is at the south property line. It will need a setback sufficient to insure that the retaining wall footing and the perforated drainage pipe shown on detail 4/4 as well as the roof gutter above are all within the property line.

6. Trash Enclosure considerations:

a) Per OSSC 105.2 ‘Work exempt from permit’, one-story detached non-occupied accessory structures not greater than 120 sq. ft. are exempt from building permit review.

Comment: At 36 sq. ft, the Trash Enclosure is exempt from Building Code review, however it should be accessible from the apartment building and have accessible door hardware.

Side note: please clarify note on Sheet 0.2-SD that states: “Trash Enclosure to meet requirements of “Heavy timber framing”. Per OSSC Table 2304.11, heavy timber posts are required to be 6x8’s. The Plan calls out 4x4 p.t. posts

b) 2022 Oregon Fire Code Section 304 ‘Combustible Waste Material’ needs to be addressed and may have some influence on the design of the structure.

If you have any questions about these preliminary comments, please reach out to me via email.

Thank you,

Guy Altman
Plans Examiner
galtman@orcitey.org
(503) 496-1568

Comments on GLUA-25-00045 / HR-25-00013 / HR-25-00014 – 1102 7th St (corner of J.Q. Adams & 7th)

To: ocplanning@orccity.org
Cc: jthaddaeus@orccity.org

Hello Planning Staff and Historic Review Board,

I live on J.Q. Adams Street adjacent to the site at 1102 7th Street. I'm submitting comments on the proposed six-unit building.

Parking on J.Q. Adams and 7th is already very limited. The proposal appears to remove existing off-street stalls and add six units, which would push more cars to the street. I already park far from my home most days. Adding six units without adequate on-site parking will worsen congestion and make access for emergency and service vehicles harder.

Oregon City Municipal Code Chapter 17.52 requires minimum off-street parking for multifamily housing. Table 17.52.020 shows at least 1.0 space per studio, 1.25 per one-bedroom, and 1.5 per two-bedroom, with maximums as listed. Please confirm the unit mix and the exact minimum number of stalls required for this project, and whether the applicant is requesting any reduction based on on-street capacity. If a reduction is requested, I ask that staff and the Board require a current on-street parking survey that reflects peak conditions on this block and the corner.

Because the site is within a historic district, I also ask that the Board consider neighborhood compatibility and livability. The scale and parking burden from six units at this corner will change daily use of the street for existing residents.

In addition, the existing building next to the proposed site appears to operate as a short-term rental (less than 30 days at a time). Oregon City's own guidance states that in all residential zones (R-6, R-8, R-10, R-3.5, R-5, and R-2), short-term rentals require a Conditional Use Permit processed through a Type III Land-Use review.

If that property is being used as an Airbnb or similar rental without such a permit, it may already be non-compliant with City code. Vehicles from these guests regularly park along J.Q. Adams and in the area slated for redevelopment, compounding the parking congestion problem. I have attached screenshots of the listings and photos showing where guests typically park.

Please verify whether the current use complies with the City's short-term rental regulations before approving any new construction at this location. If it is operating without a Conditional Use Permit, I ask that enforcement be initiated or that the proposed project's approval be paused until compliance is confirmed.

In addition to codes and regulations, I am opposed to additional structures on this already rental-heavy city block on the principal in that it diminishes the integrity of this area as a

residential neighborhood. I cannot even imagine 6 units fitting in the designated space, which tells me this entire request is in an effort to gain as much profits as possible. I've lived here with my husband and two young children (7 & 5) since 2017. My husband also grew up in the area. This block we live on, where the proposed project would reside, already has one house owned by Clackamas Housing Authority, where the police are frequently present (at least once a month). If there aren't emergency vehicles in front of our house, there are vehicles of Dairy Queen patrons and workers. I love this area and the neighbors we have that call this area their home. We have worked hard to bring our 1920s home back to life and were honored to be recipients of the Ruth McBride Powers award in 2022.

The rendering shows that the structure would be nearly taller than the existing rental building to its left. I think this would be visually disruptive of the historic homes on our block.

In addition to the visual factors, adding more rentals to this block would contribute to the existing noise pollution residents face. There are already many people coming and going from the many rental buildings on the block, plus Dairy Queen and a bar across the street that has pool tournaments where parking can take up the entire street. There is also a mechanic shop nearby that sometimes parks cars on the street. Across 6th, we find a ministry building with multiple residents that also hosts workshops.

Finally, a large mixed use building was recently completed a mere one block away. When the restaurant below it opens, and all units are filled, parking and noise will be even more of an issue in the area.

I am reminded by this development request of one that was recently heard for 1016 6th St.; the previous owner was also requesting to demolish a "non contributing structure" and ultimately the request was denied. I believe due to their inability to turn that home into an even larger rental, they decided to sell the property. The new owner has worked to bring the home back to life while keeping all its original character. I can't wait to nominate her for the preservation award this year. The home is now being used as a single family residence. Since they've moved in, our little section of the McLoughlin neighborhood has felt even more like a community. This is what I hope to see in the future growth of our neighborhood and I hope the Board can see that squeezing six more rental units onto this block is not going to respect the current atmosphere of this area nor maintain the integrity of the historic district as a whole.

Requested actions:

1. Require the code-minimum off-street parking based on actual unit mix or reduce the unit count to meet the standard.
2. If any reduction is proposed, require a rigorous parking study and deny a reduction if on-street capacity is already constrained.
3. Consider conditions that protect emergency access and resident parking on this narrow block.

4. Consider that this residential block only currently has three homes with the owner living in the home while the rest already operate as businesses and long and short term rentals.

Thank you for your time and for including this email and attachments in the public record for the November 25 hearing.

Sincerely,

Hayley McGinnis
610 JQ Adams St
503.380.2771

NOTICE OF DECISION**Date:** December 1, 2025

FILE NUMBER: HR-25-00013
HEARING DATE: November 25, 2025 – In Person

APPLICANT: Wendy Polk & Trevor Tyree
American Made Construction
402 Beaver Creek Rd, Ste 110
Oregon City, OR 97045

OWNER: Tony Uzuegbunam
19663 Wildwood Drive
West Linn, OR 97068

REQUEST: Request to demolish an existing non-conforming and non-contributing accessory garage at the Sarah Hughes House located at 1102 7th St.

LOCATION: 1102 7th St
Oregon City, OR 97045
Clackamas Map & Tax lot: 2-2E-31AD, Tax Lot 8500

REVIEWERS: Jude Thaddaeus - Planner

WEBPAGE: <https://www.orcity.org/3477/GLUA-25-00045-HR-25-00013-HR-25-00014-11>

ZONING: Mixed Use Corridor (MUC-1) District
Historic Overlay District

DECISION: Approved with Conditions

Application Submitted: 10/27/2025
Application Complete: 11/3/2025
Historic Review Board Hearing Date:
11/25/2025
120-Day Decision Deadline: 3/3/2026
Notice of Decision: 12/1/2025

PROCESS: Pursuant to OCMC 17.50. The decision of the Community Development Director is final unless appealed to the City Commission within fourteen (14) days following the mailing of this notice. Only persons who commented in writing to the Community Development Director may appeal this limited land use decision. The request for a hearing shall be in writing. The request for a hearing shall demonstrate how the party is aggrieved or how the proposal does not meet the applicable criteria. The application, decision (including specific conditions of approval), and supporting documents are available for inspection at the Oregon City Planning Division. Copies of these documents are available (for a fee) upon request. A city-recognized neighborhood association requesting an appeal fee waiver pursuant to 17.50.290(C) must officially approve the request through a vote of its general membership or board at a duly announced meeting prior to the filing of an appeal. IF YOU HAVE ANY QUESTIONS ABOUT THIS APPLICATION, PLEASE CONTACT THE PLANNING DIVISION OFFICE AT (503) 722-3789.

VISIT THE WEBPAGE ABOVE TO REVIEW THE STAFF REPORT WITH DECISION AND CONDITIONS

HISTORIC REVIEW BOARD ADDITIONAL FINDINGS

On November 25, 2025, the Historic Review Board voted 4-0 in favor of Approval with Conditions GLUA-25-00045 / HR-25-00013. The Conditions of Approval are as follows:

CONDITIONS OF APPROVAL

1. The applicant shall obtain all necessary permits for the proposed demolition.

ADDITIONAL NOTES

At the same meeting on November 25, 2025, the Historic Review Board voted 4-0 in favor of continuing the public hearing for HR-25-00014 to a date certain of January 27, 2026 and approved the applicant's verbal request of a 30-day extension of that file's decision timeline.

This Notice of Decision only applies to HR-25-00013, the accessory structure demolition request reviewed at that same meeting.

CONCLUSIONS AND RECOMMENDATIONS

Based on the findings above, the Historic Review Board voted 4-0 to Approve with Conditions HR-25-00013, the request to demolish the existing non-conforming and non-contributing accessory garage at 1102 7th Street.

EXHIBITS

1. Applicant Submittal (On File)
2. Pre-Demolition Photos (On File)
3. New Construction Plans (On File)
4. Historic Resource Inventory Forms (On File)



CITY OF OREGON CITY

625 Center Street
Oregon City, OR 97045
503-657-0891

Staff Report

To: Historic Review Board **Agenda Date:** January 27, 2026
From: Christina Robertson-Gardiner, Senior Planner

SUBJECT:

Item 4.a. - Compatible Change: New Construction Review in Historic Districts- HRB Policy and OCMC 17.40 Code Review

STAFF RECOMMENDATION:

Review the revised HRB Policy 13 and revision to OCMC17.40 and determine if the package is ready for presentation to the City Commission at the worksession this spring.

As the Historic Review Board moves closer to consensus, staff also recommends a holistic discussion to determine whether the proposed policy is meeting the goal of providing a reasonable design that property owners would choose to pursue as a Type I staff-level review. Please be ready to discuss the following questions at the meeting:

1. What is the Historic Review Board trying to encourage and discourage with HRB Policy 13?
2. Does HRB Policy 13 provide a middle ground approach that is neither too specific nor too broad? If not, what should be adjusted?

Once the Historic Review Board has reached consensus on revisions to HRB policies and the Municipal Code, staff will schedule a work session with the City Commission before moving forward with the Legislative adoption process. Currently, there is a tentative date for the March 10, 2026 City Commission Worksession. The City Commission provided direction to the Historic Review Board in August 2025 that they supported the policy recommendations to change the threshold for new construction review for non-designated resources in the McLoughlin Conservation District.

EXECUTIVE SUMMARY:

An overview of the revisions can be found below:

HRB Policy 13 – Construction Of Small Detached Dwelling Units on Non-Designated Resources

Staff updated the draft policy in accordance with directions from the October 2025 HRB meeting. These updates are highlighted in yellow. At the end of the October HRB meeting, two homework assignments were identified. Staff returned with examples of transparency calculations for previously approved HRB projects to compare with the recommended transparency requirements, and HRB brought examples of developments in the McLoughlin neighborhood to determine whether a specific setback or cap on the number of dormers is

needed.

HRB Board Member Green also provided a sample layout of a design that could meet Policy 13 for discussion purposes. A friend prepared this and was not paid for or endorsed by the Board or the city. It is attached to the agenda as public comment. Board member Green, who was unable to attend the October meeting, also requested that the dormer locations and front door specifications be revisited during the discussion.

At the November 2025 Historic Review Board meeting, the Board discussed allowing two dormers (one on each side) if they are set below the ridgeline, and only one dormer if the dormer is proposed at the ridgeline. The discussion centered on the compatibility vs. second-floor access for smaller units. The revised language can be found highlighted in yellow in the revised draft Policy 13.

HRB Policy 7—Construction of Accessory Structures on Designated and Non-Designated Properties

No additional revisions have been added for the January Historic Review Board meeting.

OCMC 17.40- Historic Overlay District

Staff met with City Attorney Carrie Richer to further refine the HRB policy memo direction into clearer code language. The revised redline code provides additional clarity and relocates some existing code for better readability. Staff has provided the new code for review, along with the initial October redline code for comparison.

The Archeological Monitoring Recommendation was relocated to its own code section for readability. This is the same language found in Chapter 17.62 - SITE PLAN AND DESIGN REVIEW and Chapter 16.04 - GENERAL PROVISIONS AND ADMINISTRATION OF LAND DIVISIONS. [Goal 5 Cultural Areas Rule -Oregon Administrative Rule 660-023-02](#) was recently adopted by the State of Oregon. The revised rules take effect on January 1, 2027, and direct counties and cities to include tribal voices in land-use planning. Oregon City has required early coordination with the State Historic Preservation Office and five nationally recognized tribes for the last 15 years, and is largely already meeting the intent of the new OAR. A small revision may be needed for all three chapters to ensure full compliance, though further analysis is forthcoming on that front as staff await additional guidance from the State Historic Preservation Office and the Department of Land and Conservation (DLCD). Any such revisions will be handled through a separate Legislative adoption process.

17.04 Definitions – New construction.

The previous approach to setting thresholds for Historic Review Board review was incorporated into the definition of "new construction," which indicated 30% or more to non-designated resources. The revised approach provides the thresholds within OCMC 17.40; therefore, the historic section of the 17.04 definition of "new construction" is no longer needed and will be removed.

BACKGROUND:

Background information can be found on the [Compatible Change Project Page](#) :

OPTIONS:

Provide staff feedback on the requested items

BUDGET IMPACT:

OREGON CITY HISTORIC REVIEW BOARD POLICIES

HISTORIC REVIEW BOARD POLICY #13: *Construction Of Small Detached Dwelling Units on Non-Designated Resources* *A Guide for Property Owners*

ABOUT THE HISTORIC REVIEW BOARD POLICIES

The City has adopted protections for locally designated properties to ensure these historic buildings maintain their integrity.

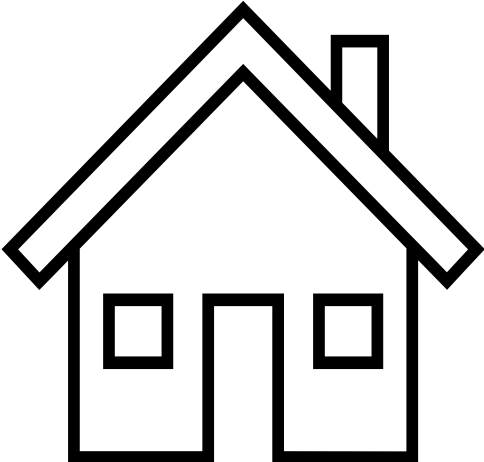
The Historic Review Board (HRB) adopted these to provide clear direction to property owners for smaller projects that will not adversely affect the historic resource or district. Most HRB policies are directed toward designated resources. This policy, however, covers stand-alone new construction on non-designated resources in the McLoughlin Conservation District.

Please Note: New detached dwelling units that are located on locally designated resources will require formal review from the HRB; however, those property owners are encouraged to review the requirements of Policy 13 as they design their project.

HRB POLICY #13: CONSTRUCTION OF SMALL DETACHED DWELLING UNITS ON NON-DESIGNATED RESOURCES

Detached dwelling units on non-designated resources can provide additional housing opportunities for our community and do not require a hearing from the Historic Review Board if the following standards are met. Policy 13 was written to support a compatible design that would easily blend in with the predominant architectural styles of the district. **This policy applies to the construction of new detached dwelling units on non-designated resources.**

- Structures with a footprint of 550 square feet or smaller may be reviewed by staff. The criteria to be used by staff in making the decision shall be as follows:
- Be no higher than fifteen (15) feet (measured at the midpoint of the top of the peak to the bottom of the eaves)
- Utilize lap or channel siding (wood or composite) with a reveal of four (4) to six (6) inches
- No pressure-treated or unfinished materials shall be visible.
- Roofs shall be gable-designed with a 6/12 to 10/12 roof slope with 3-tab or architectural shingles. Flush-mounted skylights located on a non-primary elevation are allowed.
- All dwellings shall have a gabled, shed, or hip roof front porch with a depth of three (3) to six (6) feet. For the purposes of this policy, covered porches (front and back) are considered part of the building footprint.
- Gable or shed dormers are permitted on the second floor if proposed and must be set back from the roof edges. The total width of all dormers cannot exceed 50% of the wall plane they run parallel to and may be located on both sides of the roof if the dormer wall is located 1 foot back from the exterior wall of the floor, one foot below the ridgeline, and 3 feet from the edge of the roof plane with no part of the dormer extending above the ridgeline.



See Additional Requirements on Page 2



- Alternatively, one dormer may be allowed if proposed at the ridgeline, provided it does not exceed 50% of the wall plane it runs parallel to, is located 1 foot back from the exterior wall of the floor, and 3 feet from the edge of the roof plane, with no part of the dormer extending above the ridgeline.
- Porch and deck railings shall use vertical balusters and top and bottom rails if utilized. The baluster attachment shall be positioned between the rails, not attached to the side of the rail. Composite material (e.g., Trex, Timbertech, Azek) is allowed. Aluminum rails on porches and decks are not permitted. Deck or porch materials made from 100% vinyl are not permitted. No exterior stairs to upper floors are allowed.
- There shall be a minimum of thirty percent (30%) of the lineal length of the ground floor windows on the front elevation. There shall be a minimum of twenty-five percent (25%) of the lineal length of the ground floor windows on side elevations. Qualifying windows shall be placed at pedestrian height.
- Windows shall be painted wood, fiberglass, metal, or a composite of several materials. Vinyl composites are allowed, but 100% vinyl windows are not allowed. Allowed window operation types include single- or double-hung, casement, fixed, hopper, or awning; Sliding windows or sliding doors are not allowed. If the applicant desires the look of divided lights, simulated divided lights must use a dimensional exterior grid (at least ¼" thick from face of glazing) plus a window spacer grid (between the panes of an insulated glass unit). Simulated divided lights using a window spacer grid are not allowed.
- Windows will be finished with exterior trim (casing) of at least 3.5" wide on at least three sides (head and jambs) that projects outward from the wall by at least 3/8" more than the face of the window frame/sash at the jamb. Windows will be installed with a sloped, exterior sill that projects outward from the wall by at least ½" more than the outer face of the exterior trim/casing. The width of the sill must lap beyond the casing width on both sides of the window by ½" minimum.
- Exterior doors shall be wood, fiberglass, or a composite of several materials. Full-lite, half-lite, and bungalow-style panel doors are recommended. Oval glass and half-circle glass paneled doors are not allowed.
- The structure shall be placed a minimum of three (3) feet from any interior lot line as per OCMC Section 17.54.010- Accessory Structure Standards and shall be separated from the main dwelling unit by five (5) feet.

Any structure that does not meet this standard shall be referred to and submitted to the HRB for review and decision

WHAT DOES THIS MEAN FOR YOU?

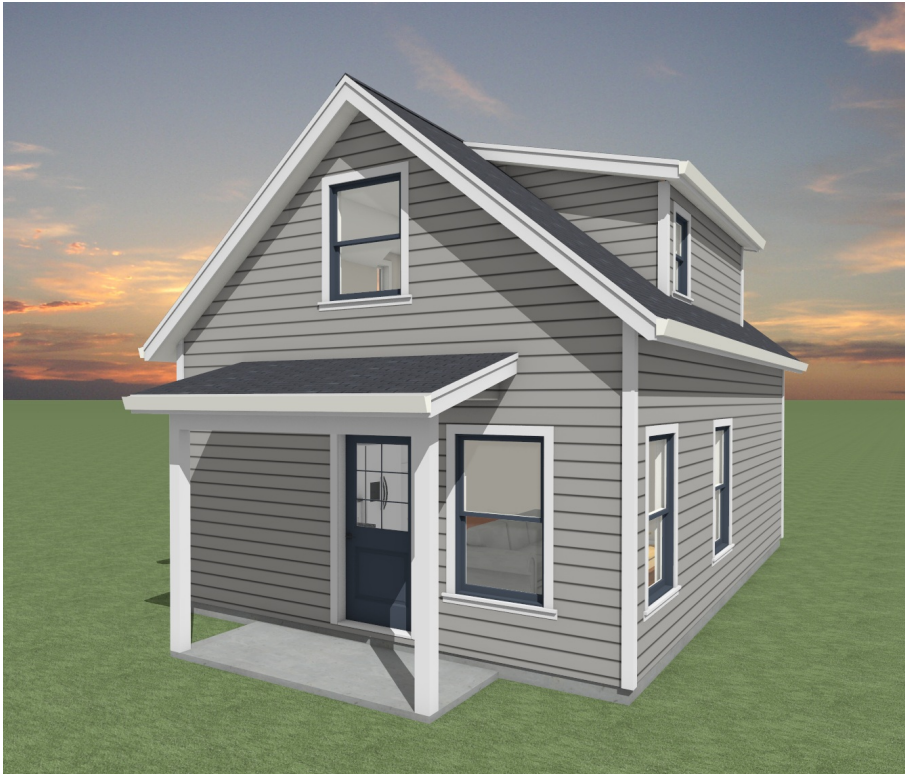
- If the detached dwelling unit meets the HRB policy, it is reviewed at the staff level with no application fee.
- If the detached dwelling unit does not follow these policies or is over 550 sq ft, then it must be referred or submitted to the HRB for review and decision, which requires a fee of \$50 plus 2.5% of construction cost, with a maximum cost of \$1,000.
- The HRB can approve exceptions to minimum setbacks as a preservation incentive. Contact Planning staff to learn more about preservation incentives.
- Verify there are no easements in the location where the proposed accessory structure will be built, as well as overlay zones such as the Natural Resource Overlay District, Flood Management Overlay, and Geologic Hazards Overlay. This can be verified on www.maps.ORECity.org or by contacting the Planning Department.
- Detached dwelling units will require a building permit. Check with the Building Department. Contact (permits@orcitey.org) or (503) 722-3789 regarding building code requirements, including plumbing, electrical, or mechanical equipment permit requirements.

Further information about the HRB and HRB Policies can be found at:
www.orcity.org/planning/hrb-policies

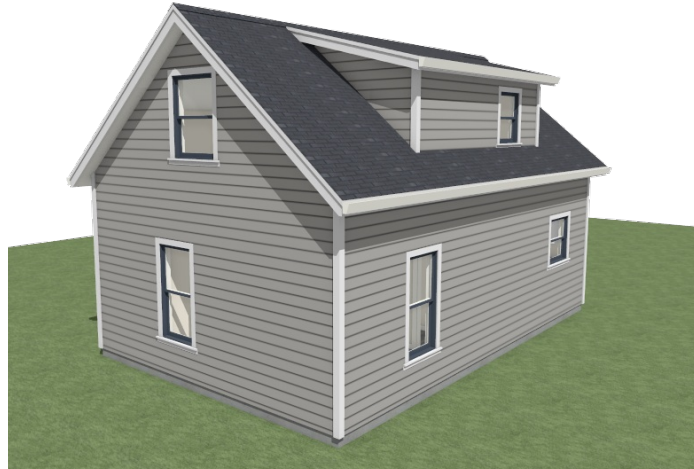
If you have any questions about the City's Preservation Program or if your property is locally designated, please contact:
Oregon City Preservation Program Phone: 503-722-3789
ocplanning@orcitey.org

City of Oregon City
Planning Division
698 Warner Parrott Rd
Oregon City, OR 97045
503.722.3789
www.orcity.org/planning





FRONT PERSPECTIVE 10/12



BACK PERSPECTIVE 10/12



INTERIOR PERSPECTIVE

INTERIOR W/ SPIRAL STAIRS

JOB#
SQ. FT:
CLIENT:
DESIGNER: SG
DATE: 11/17/2025

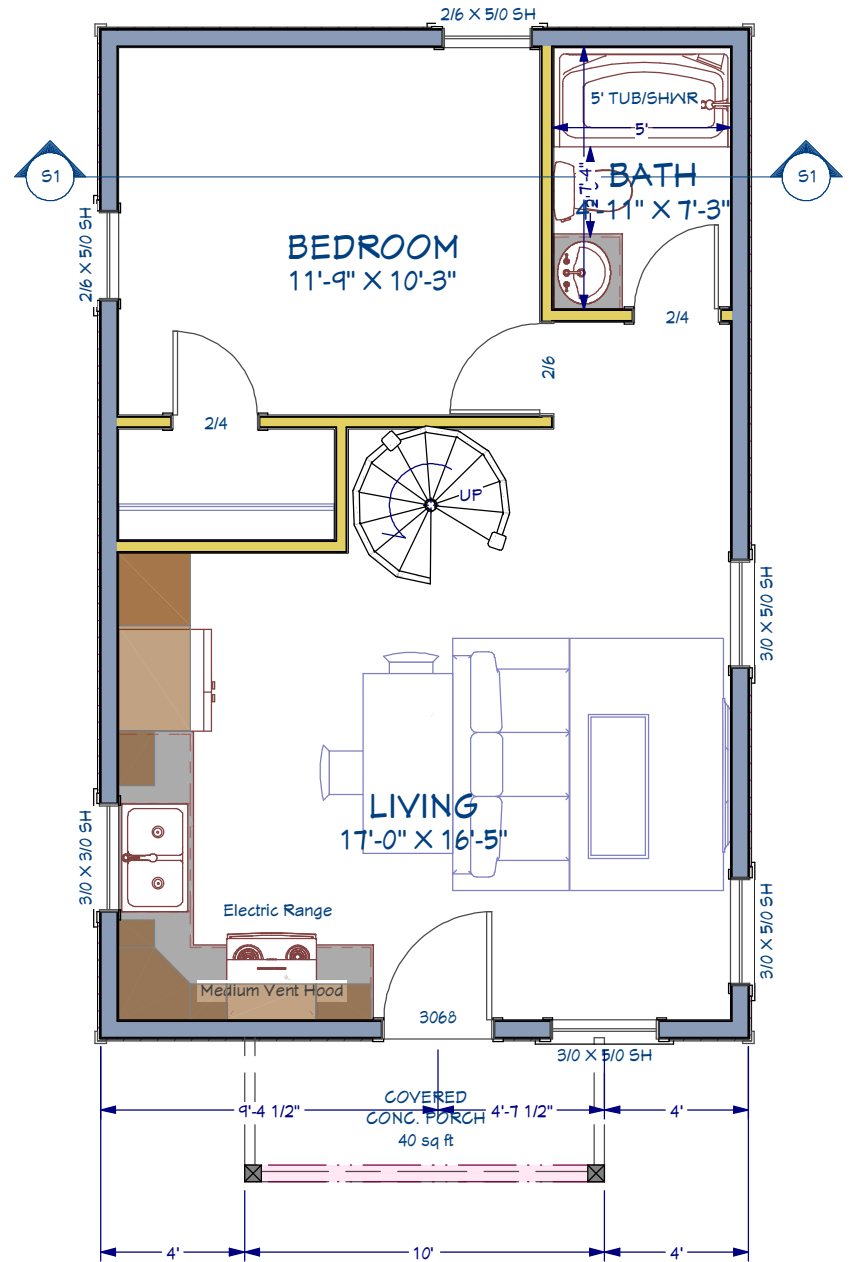
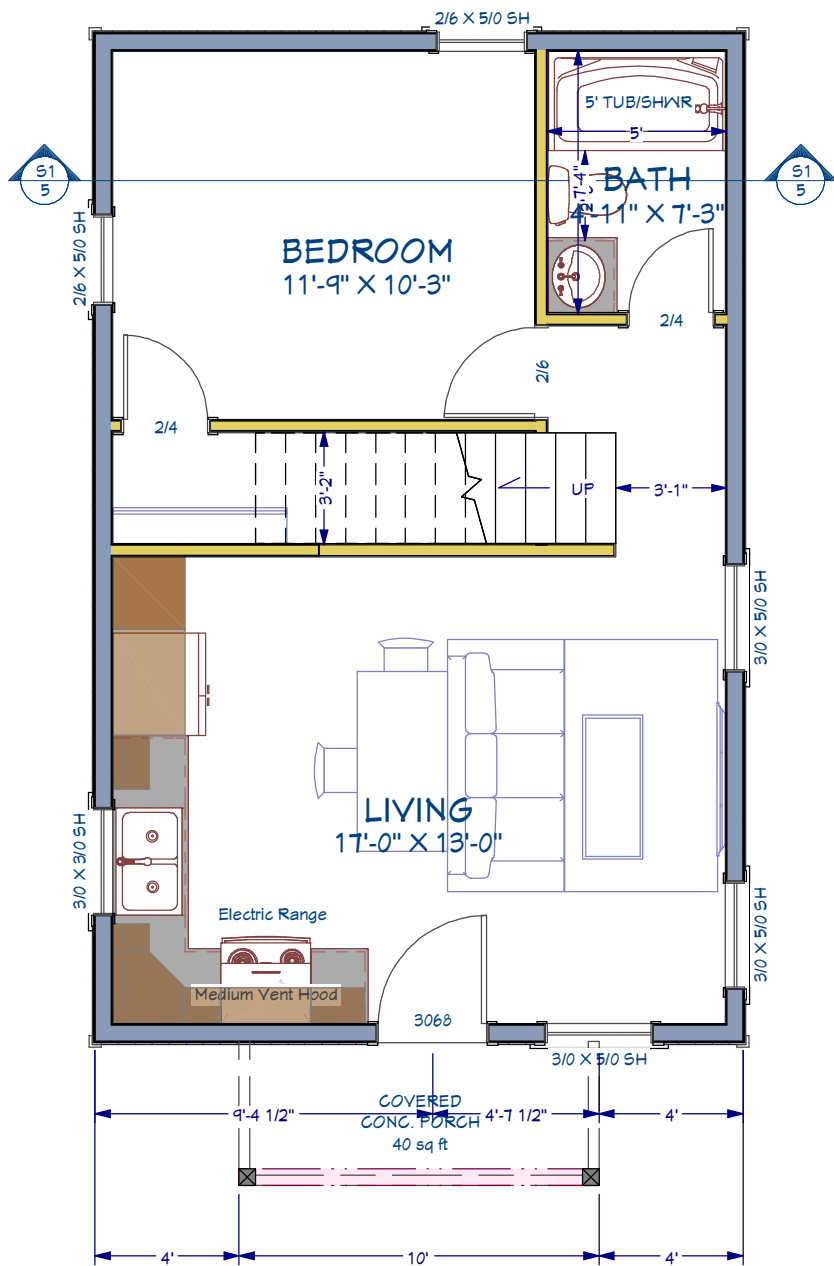
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14602-D 4th Plain
Vancouver WA 98682

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1ST FLOOR PLAN

JOB#
 SQ. FT:
 CLIENT:
 DESIGNER: SG
 DATE: 11/17/2025

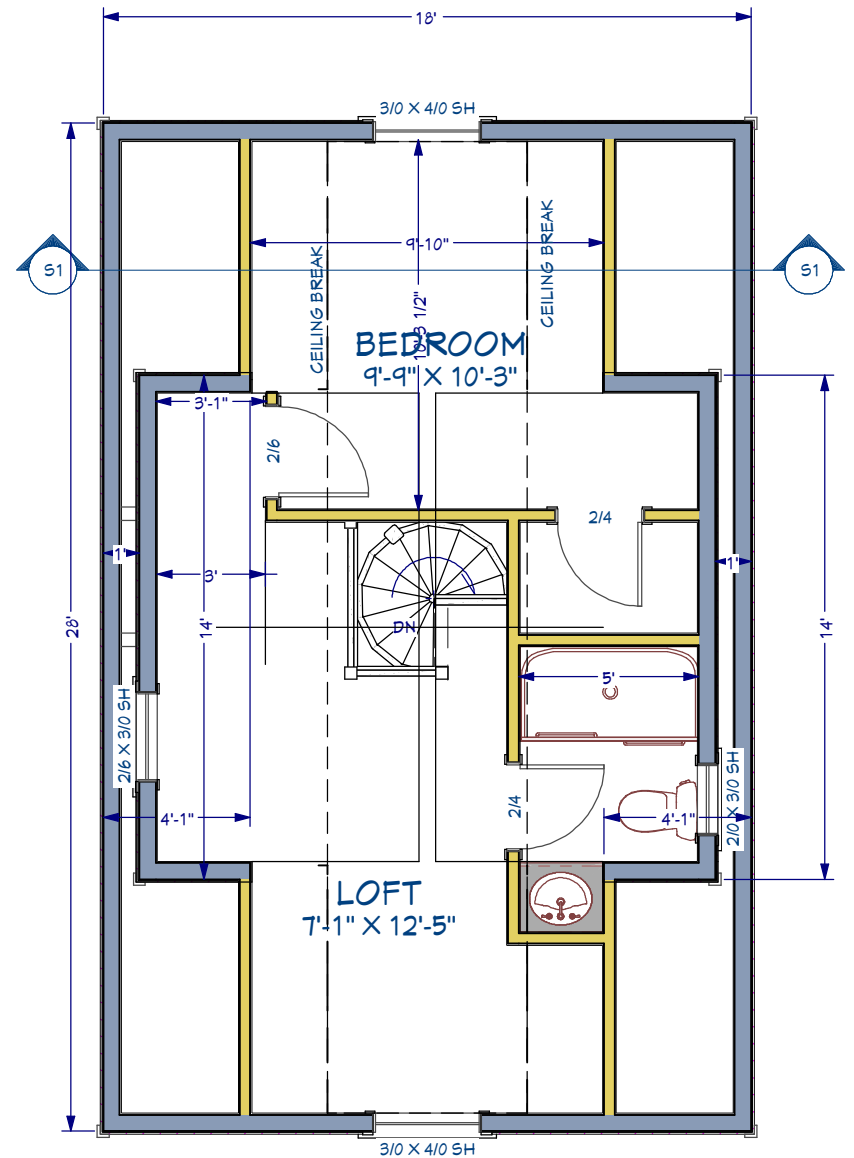
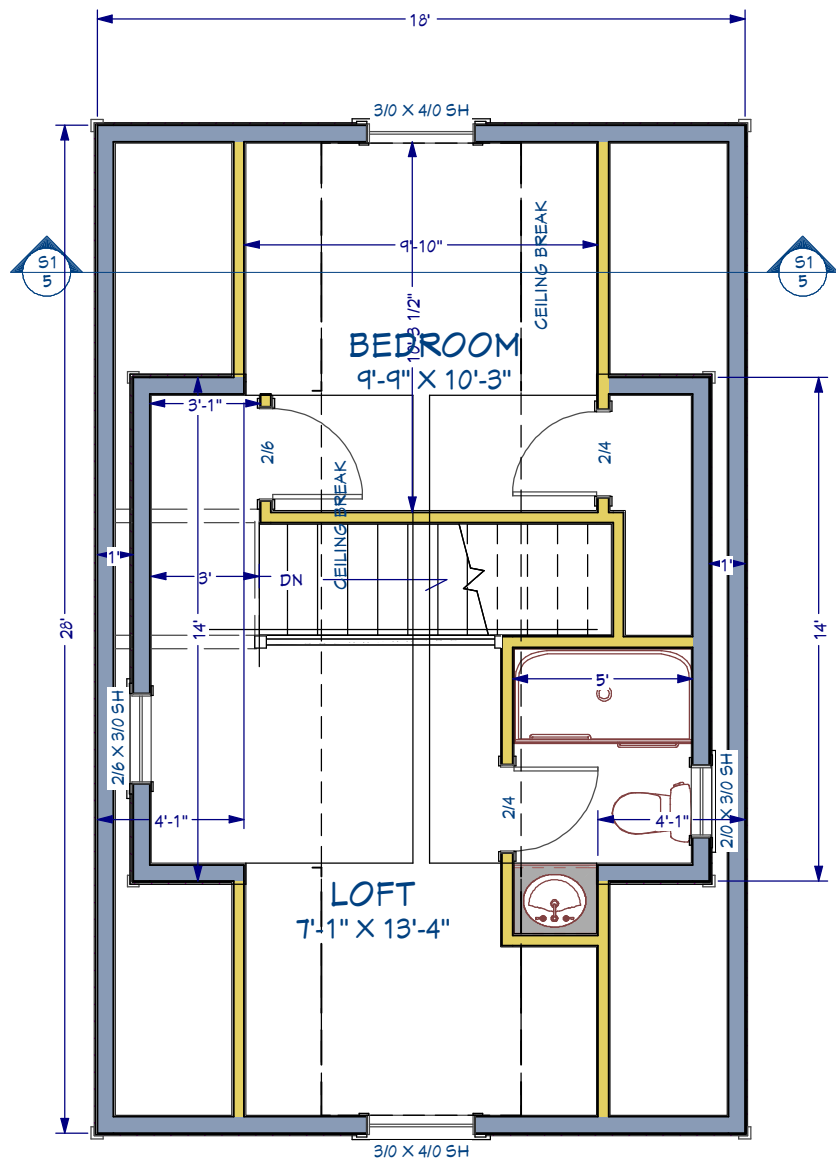
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2ND FLOOR PLAN

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 DESIGNER: SG
 DATE: 11/17/2025

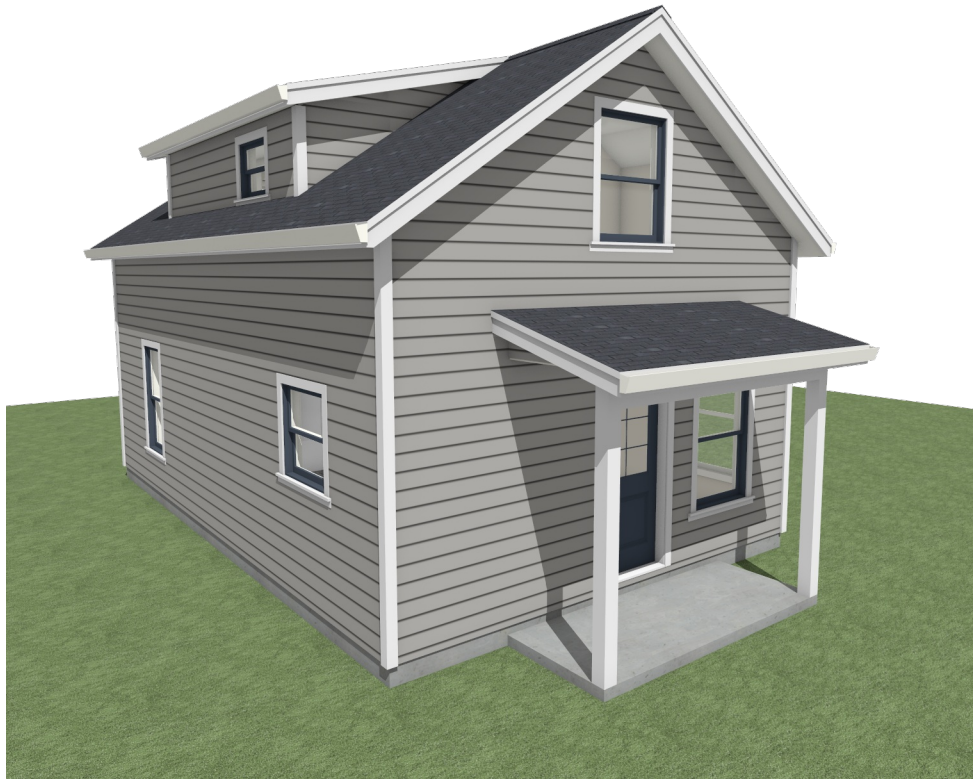
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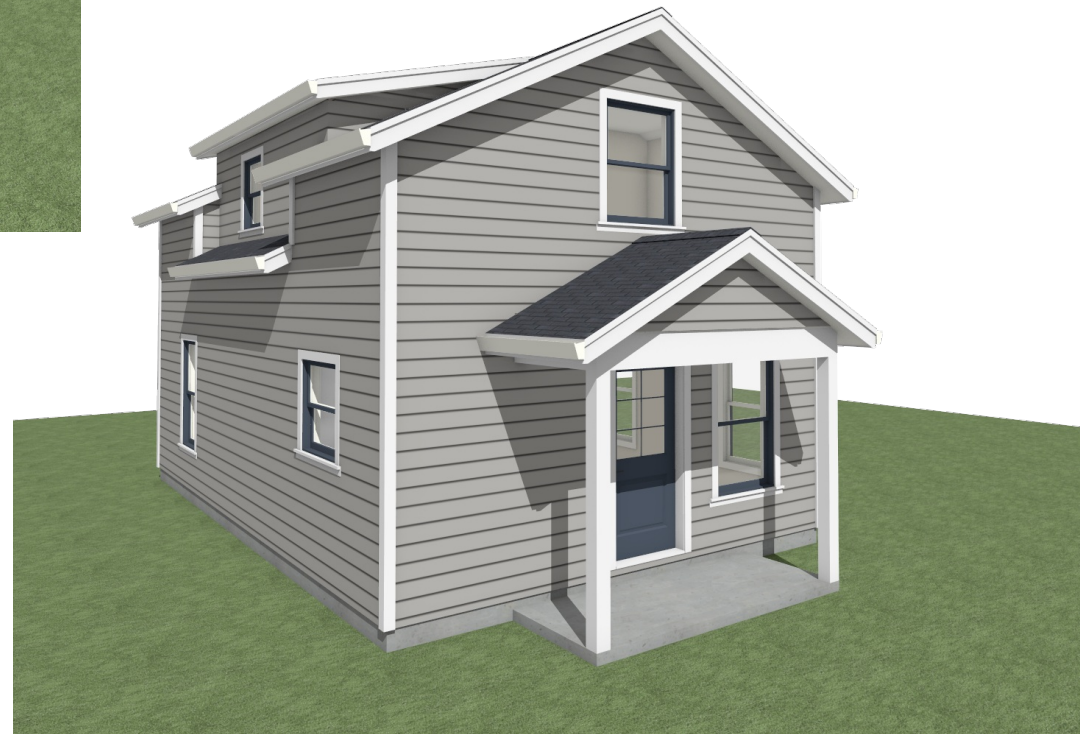
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8/12 ROOF



6/12 ROOF

JOB#
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CLIENT:
DESIGNER: SG
DATE: 11/11/2025

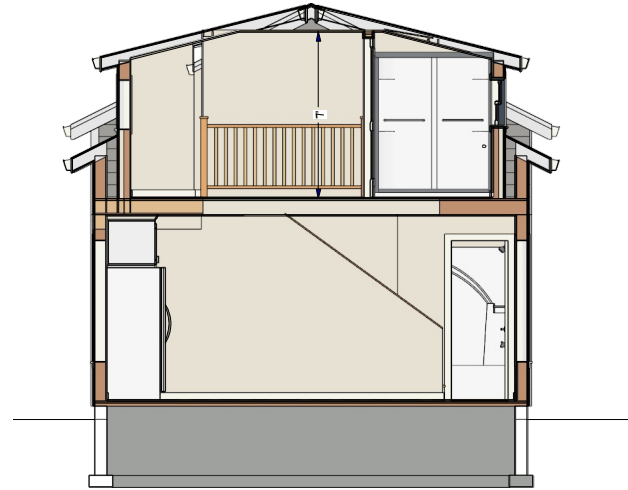
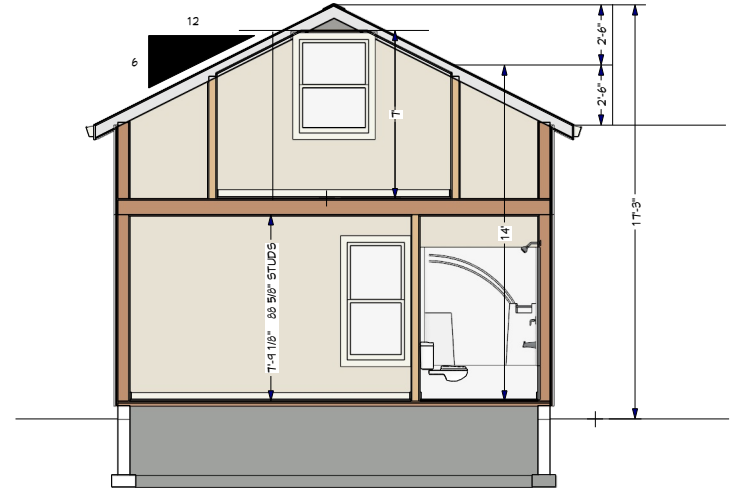
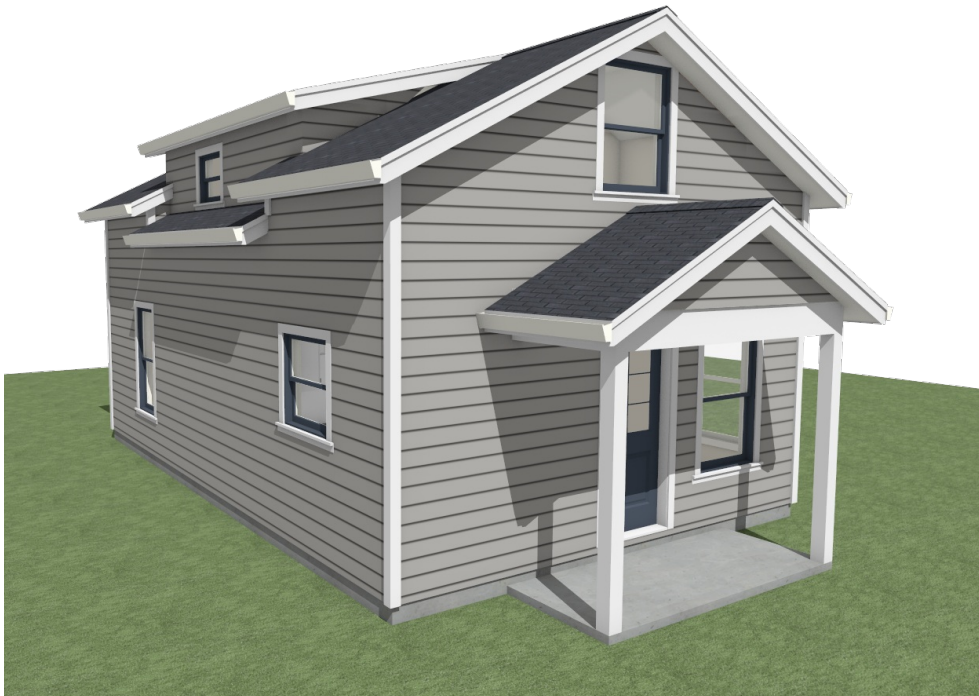
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6/12 ROOF TO CODE

TO MAINTAIN A 14 FT MAXIMUM TO THE MIDPOINT OF THE ROOF, BOTH DORMER AND THE MAIN ROOF RIDGE HEIGHT NEEDS TO BE REDUCED AS THE MAIN ROOF SLOPE DECREASES. THAT SIGNIFICANTLY CHANGES THE INTERIOR CEILING FROM FLAT TO SLOPED IN MOST OF THE DORMER AREA.

JOB#
SQ. FT:
CLIENT:
DESIGNER: SG
DATE: 11/17/2025

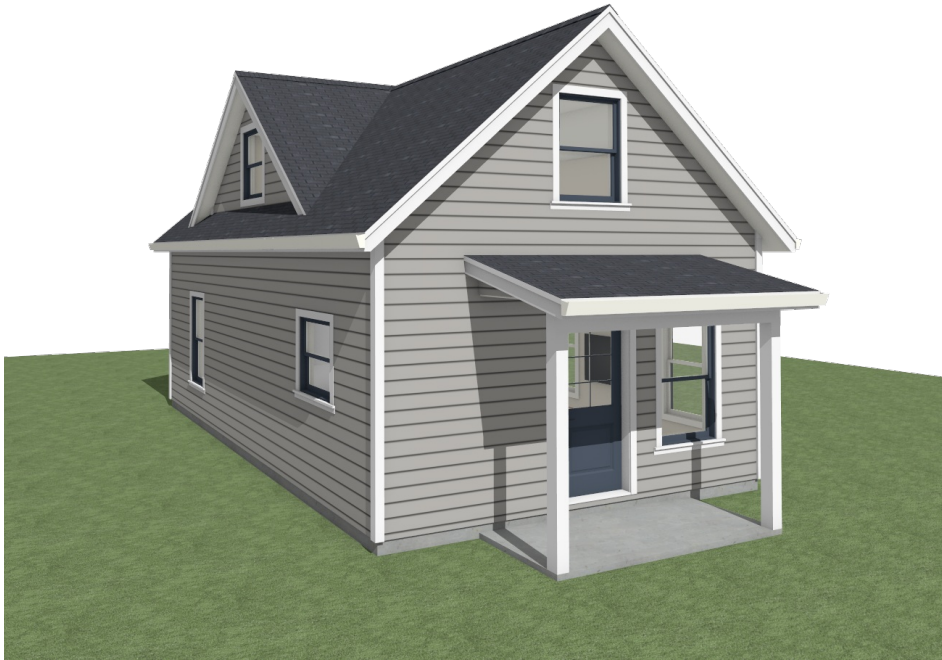
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FRONT PERSPECTIVE



INTERIOR PERSPECTIVE

JOB#
SQ. FT.
CLIENT:
DESIGNER: SG
DATE: 11/11/2025

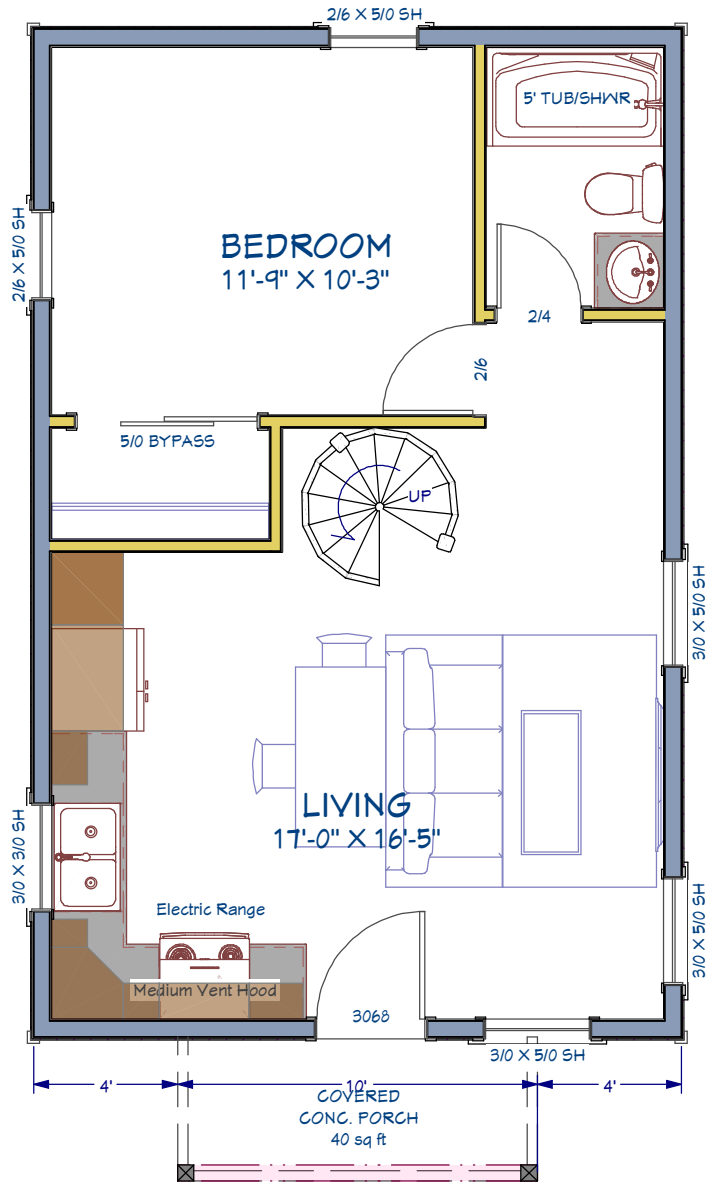
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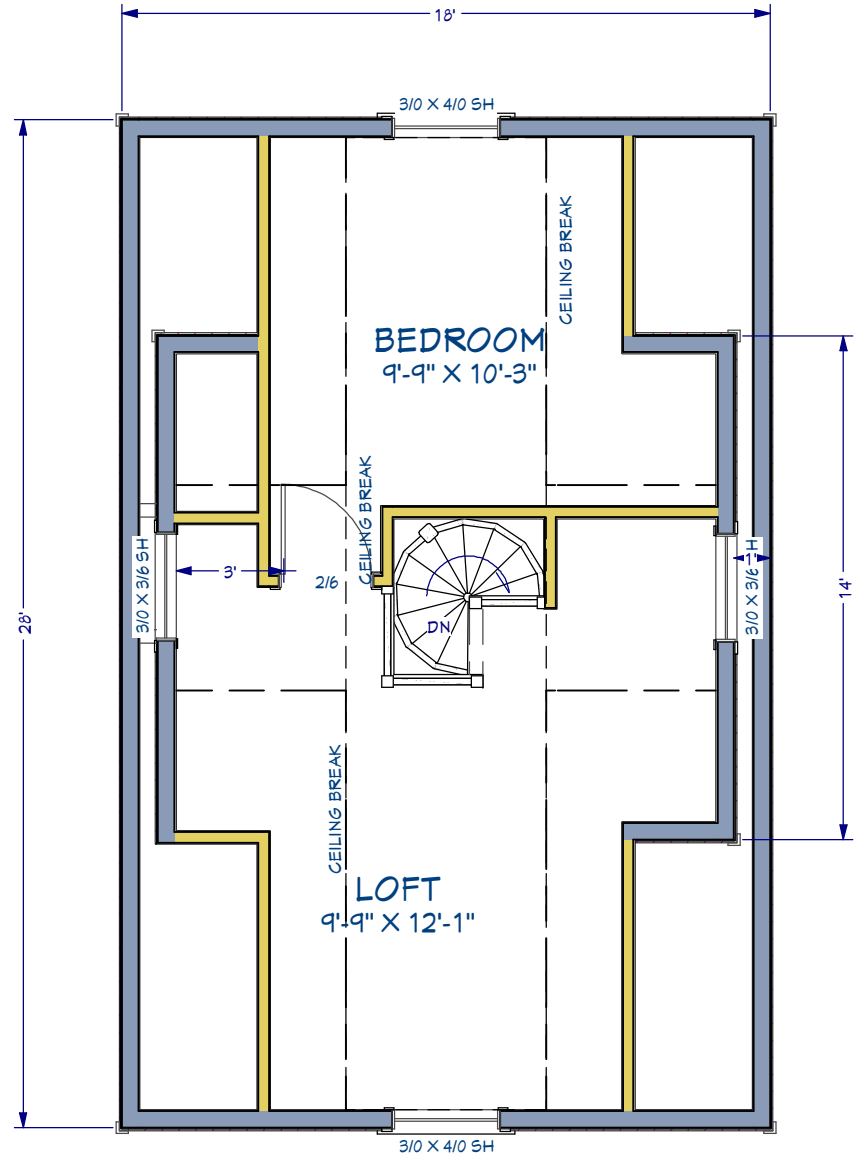
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1ST FLOOR PLAN



2ND FLOOR PLAN

JOB#
SQ. FT.
CLIENT:
DESIGNER: SG
DATE: 11/17/2025

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HRB Policy 13- Discussion Supplement-
November 24, 2025 HRB Meeting
Proposed Transparency for Policy 13

Front Elevation 30%

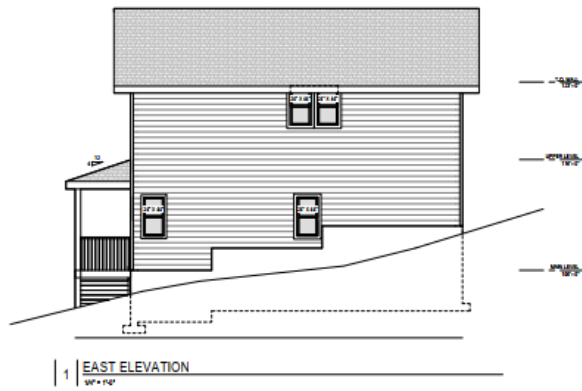
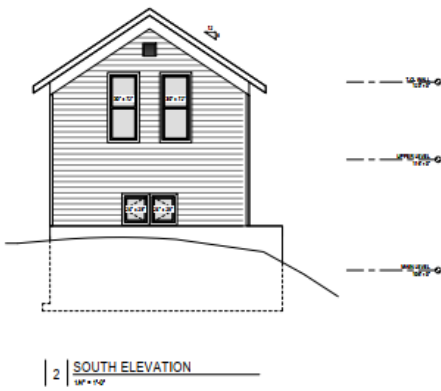
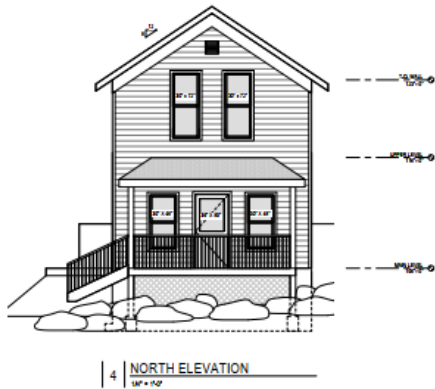
Side Elevation 25%

Transparency Examples of Recent New Construction Reviews.
GLUA-19-00027/HR 19-03: Historic Review Board review of construction of a new single-family residence in the Canemah National Register Historic District

Front elevation transparency = 44%

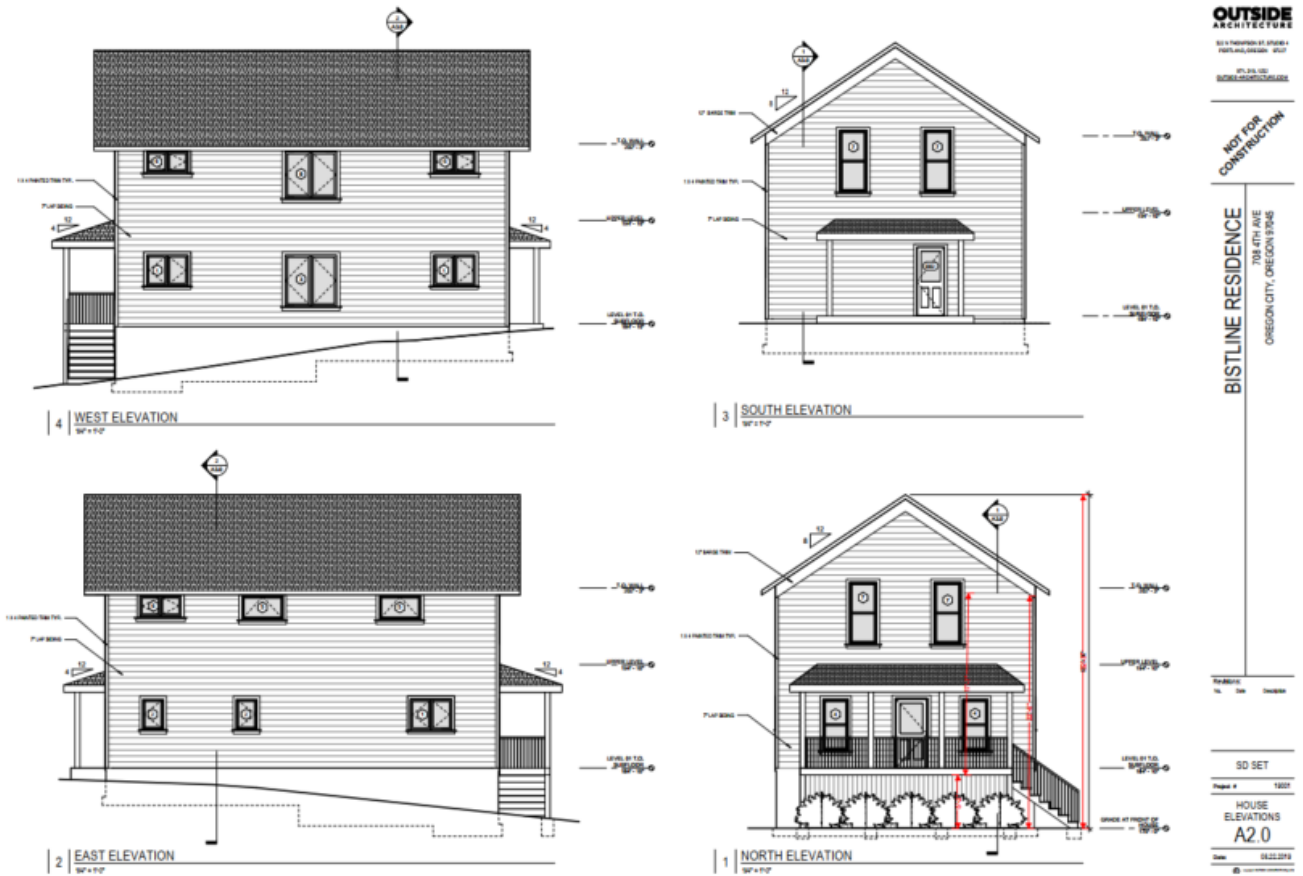
Side (West elevation transparency) = 53%

Side (East elevation transparency) = 13%



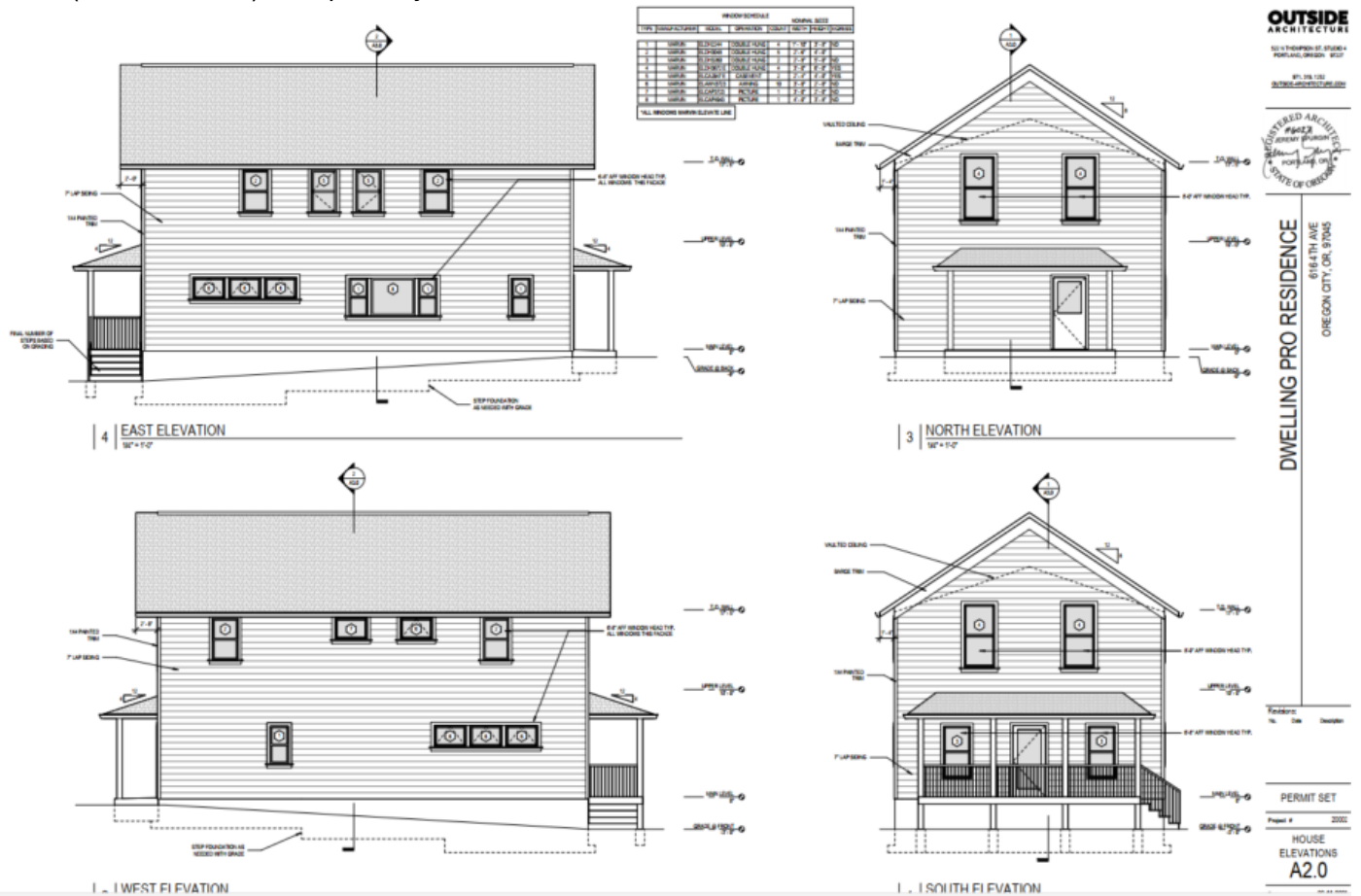
GLUA-19-00027/HR 19-05: Historic Review Board review of construction of a new single-family residence and detached garage/ADU in the Canemah National Register Historic District.

Front elevation transparency = 30%
 Side (West elevation) transparency = 32%
 Side (East elevation) transparency = 21 %



GLUA-20-000043 and HR 20-00009: Single Family Home in the Canemah Historic District

Front elevation transparency = 35%
 Side (West elevation) transparency = 36%
 Side (East elevation) transparency = 27%

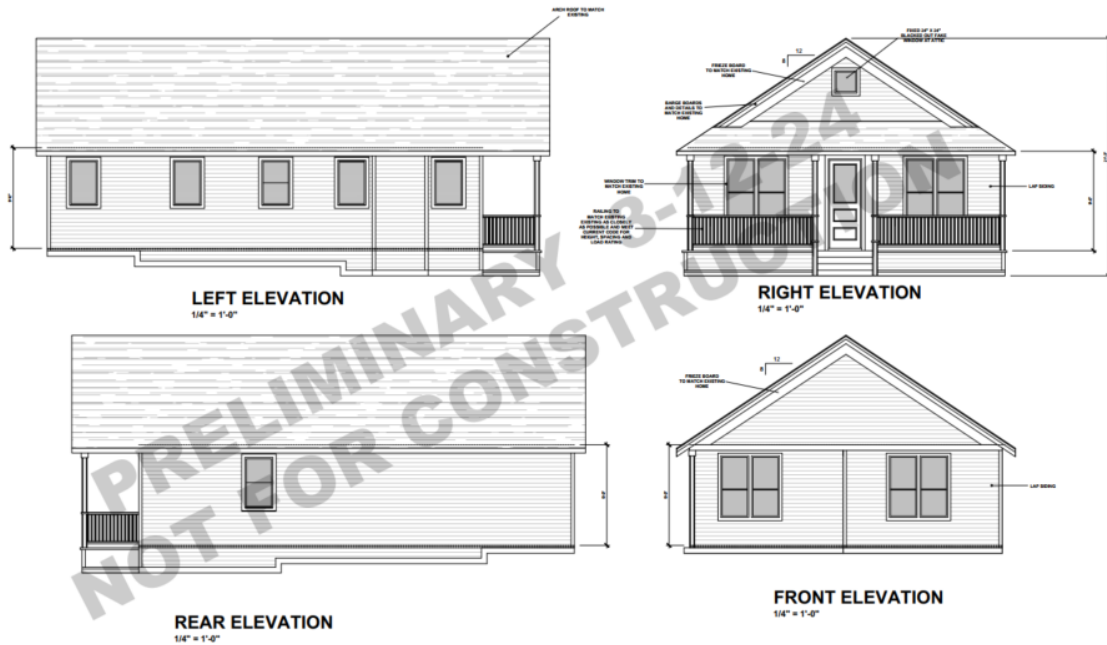


GLUA-24-00007: HR 24-00006 Historic Review for a new dwelling in the McLoughlin Conservation District. Conditions of approval were added relating to the window 1/1 design and material. The below evaluations are based on the submitted plan below.

Front elevation transparency = 27%

Side (South) transparency = 32%

Side (North elevation) transparency = 6%



Chapter 17.40 HISTORIC OVERLAY DISTRICT¹

17.40.010 Purpose.

It is declared as a matter of public policy that the protection, enhancement, perpetuation and use of improvements of special character or special historical or aesthetic interest or value is a public necessity and is required in the interest of the health, prosperity, safety and welfare of the people. The purpose of this chapter is to:

- A. Effect and accomplish the protection, enhancement and perpetuation of such improvements and of districts which represent or reflect elements of the city's cultural, social, economic, political and architectural history;
- B. Safeguard the city's historic, aesthetic and cultural heritage as embodied and reflected in such improvements and districts;
- C. Complement any National Register Historic districts designated in the city;
- D. Stabilize and improve property values in such districts;
- E. Foster civic pride in the beauty and noble accomplishments of the past;
- F. Protect and enhance the city's attractions to tourists and visitors and the support and stimulus to business and industry thereby provided;
- G. Strengthen the economy of the city;
- H. Promote the use of historic districts and landmarks for the education, pleasure, energy conservation, housing and public welfare of the city; and
- I. Carry out the provisions of LCDC Goal 5.

(Ord. No. 08-1014, §§ 1—3(Exhs. 1—3), 7-1-2009; Ord. No. 10-1003, § 1(Exh. 1), 7-7-2010)

17.40.030 Designated.

- A. The historic overlay district shall apply to the following:
 1. Historic districts, upon designation in accordance with this section;
 2. Conservation districts designated in accordance with this section;
 3. Landmarks as designated by this section; and
 4. Historic corridors designated in accordance with this section.

¹Editor's note(s)—Ord. No. 08-1014, adopted July 1, 2009, repealed Chapter 17.40 in its entirety and enacted new provisions to read as herein set out. Prior to amendment, Chapter 17.40 pertained to similar subject matter. See Ordinance Disposition List for derivation.

-
- B. The boundaries of the historic districts, the boundaries of conservation districts, historic corridors, the location of buildings and structures in conservation districts and the location of landmarks shall be designated on a special city zoning map or maps.
 - C. The following are designated within the historic overlay district:
 - 1. The Canemah Historic District; the minimum boundaries of which are those designated by the United States Department of the Interior on the National Register of Historic Places as indicated in the city comprehensive plan.
 - 2. The McLoughlin Conservation District; the surveyed buildings indicated by map in the comprehensive plan shall constitute the designated structures in the McLoughlin Conservation District, along with any structures designated through the Historic Review Board designation process since initial adoption of the comprehensive plan on March 13, 1980.
 - 3. The Oregon Trail-Barlow Road Historic Corridor: properties identified in the 1993 Barlow Road Historic Corridor inventory of the Barlow Road by Clackamas County.
 - 4. Designations undertaken pursuant to Section 17.40.050. The established historic overlay district shall allow for the designation of two types of districts so that areas with a high concentration of historic structures are designated historic districts and areas with a lower concentration are designated conservation districts. Also allowed is the designation of structures of historic or architectural significance not located in an historic or conservation district as landmarks.

(Ord. No. 08-1014, §§ 1—3(Exhs. 1—3), 7-1-2009; Ord. No. 10-1003, § 1(Exh. 1), 7-7-2010)

17.40.040 Citizen involvement.

- A. The planning department shall be authorized to incur expenses in holding public workshops in the historic districts and conservation districts, distribute written information, show slides and answer questions on remodeling and rehabilitation of older buildings, and to educate the public in the need to comply with state and federal laws protecting or encouraging protection of antiquities and other related matters concerning historic preservation.
- B. Citizens making applications for district or landmark designations or for exterior alterations or new construction in an historic or conservation district, and historic corridor or on a landmark site may consult with and receive advice from the planning department staff concerning their applications.

(Ord. No. 08-1014, §§ 1—3(Exhs. 1—3), 7-1-2009; Ord. No. 10-1003, § 1(Exh. 1), 7-7-2010)

17.40.050 Designation procedure—Application—Review.

- A. Institution of Proceedings. The city commission, the planning commission, the historic review board, a recognized neighborhood group or any interested person may initiate the proceedings for designation of an historic or conservation district, landmark, or historic corridor as follows:
 - 1. The city commission or the historic review board may initiate designation proceedings by sending a written proposal or application to the planning staff. Such proposal is not subject to any minimal information requirements other than a description of the boundaries of the area to be designated.
 - 2. Any interested person or recognized neighborhood group may start designation proceedings by sending a written application to the planning staff.

-
- B. Application Information. The planning staff may specify the information required in an application and may from time to time change the content of that information, but at all times the planning staff shall require the following information:
1. The applicant's name and address;
 2. The owner's name and address, if different from the applicant;
 3. A description of the boundaries of the proposed district or a description of the proposed landmark;
 4. A map illustrating the boundaries of the proposed district or the location of the proposed landmark;
 5. A statement explaining the following:
 - a. The reasons why the proposed district or landmark should be designated,
 - b. The reason why the boundaries of the proposed district are adequate and suitable for designation,
 - c. The positive and negative effects, if any, which designation of the proposed district or landmark would have on the residents or other property owners of the area.
- C. The planning staff shall deliver a proposal or an application for the designation to the historic review board within thirty days after the day on which a proposal or application is received. The historic review board shall review the proposal on the application and prepare a written recommendation or decision approving or rejecting the proposed designation.
- D. In preparing the recommendation or decision, the historic review board shall limit its review to:
1. Whether the proposed district or landmark would serve the purpose of the historic overlay district as stated in Section 17.40.010; and
 2. Conformity with the purposes of the city comprehensive plan.
- E. City Commission Review of District.
1. The historic review board shall deliver a copy of its recommendation to the city commission within thirty days.
 2. The city commission shall hold a public hearing pursuant to procedures contained in Chapter 17.68.
 3. After the hearing, the city commission may engage in one of the following actions:
 - a. Refuse to designate the proposed district; or
 - b. Designate the proposed district by a duly enacted ordinance; or
 - c. Remand the matter to the historic review board for additional consideration of a specific matter or matters.
 4. The city commission may limit itself to the proposed district, and as so modified, approve it. Enlargement of the proposed district shall require additional notice and public hearing. The commission may hold such hearing or hearings.
 5. The approval or disapproval of the designation by the city commission shall be in writing and shall state the reasons for approval or disapproval.
 6. Amendment or Rescission. The district designation may be amended or rescinded after the board and city commission have utilized the same procedures required by this title for establishment of the designation. The board shall give priority to designation of potential districts and landmarks indicated in the city comprehensive plan.

~~**17.40.060 Exterior alteration and new construction.**~~

- ~~A. Except as provided pursuant to subsection I of this section, no person shall alter any historic site in such a manner as to affect its exterior appearance, nor shall there be any new construction in an historic district, conservation district, historic corridor, or on a landmark site, unless a certificate of appropriateness has previously been issued by the historic review board. Any building addition that is thirty percent or more in area of the historic building (be it individual or cumulative) shall be considered new construction in a district. Further, no major public improvements shall be made in the district unless approved by the board and given a certificate of appropriateness.~~
- ~~B. Application for such a certificate shall be made to the planning staff and shall be referred to the historic review board. The application shall be in such form and detail as the board prescribes.~~

17.40.53 Historic Design Review Required

All development within the historic district overlay is subject to review pursuant to the following decision-making procedures:

- A. No review is required to proceed with ordinary maintenance or repair of any exterior architectural features, including painting and color selection, which does not involve a change in design, material or the outward appearance of such feature which the building official shall certify is required for the public safety because of its unsafe or dangerous condition.
- B. Canemah National Register District or locally designated resources.
1. Exterior alterations, additions, and new, larger than 200 square foot free-standing structures within a National Register District or a locally designated historic site/resource shall be subject to a Type III review procedure except:
- i. An alteration, addition or new structure that is otherwise regulated through one or more adopted historic review board policies shall occur through a Type I procedure.
- C. McLoughlin Conservation District that are not locally designated.
1. Exterior alterations, additions and new, larger than 200 square foot free-standing structures within the McLoughlin Conservation District that are not otherwise locally designated shall be subject to a Type III review procedure except:
- i. An alteration, addition or new structure that is otherwise regulated through one or more adopted historic review board policies shall occur through a Type I procedure.
- ii. Alterations or additions that elevate or reduce the overall roof line of an existing building by less than four inches or where the roofline of any portion of the addition is less than the pre-existing roof structure (ridge line or parapet edge), as determined two years before the application date;
- iii. Alterations or additions of less than 30% of the original structure's size, as determined two years before the application date, or a maximum addition of less than 700 square feet, whichever is smaller. The size of the original structure and the proposed addition shall be measured by their footprint area as defined by OCMC 17.04.483.
1. New decks that are accessed from the ground floor of an existing building are not counted as part of the 30% additional area unless the deck has a roof supported by posts.

2. New decks or balconies accessed from an upper level larger than 50 square feet, whether covered or uncovered are counted as part of the 30% additional area.

iv. Notwithstanding the exceptions in subsection ii and iii, Type III review shall be required for any alteration of or addition to a new structure within the two-year period following the date of issuance of the certificate of appropriateness for the new structure.

17.40.55 Historic Review Board Policies

1. Some limited types of alterations to historic structures and new construction can be allowed through the administrative Type I review procedure if they are consistent with city commission adopted historic review board policies.
2. The historic review board policies may be adopted or amended by the city commission by resolution following a recommendation by the historic review board along with a public hearing that includes notice to affected property owners.
3. Historic review board policies shall be clear and objective, carrying out the city's comprehensive plan.

17.40.57 Historic Design Review Application - Archeological Monitoring

Recommendation. For

~~all~~In addition to the procedures set forth in OCMC 17.50, for all Type III projects that will involve ground disturbance, the applicant shall provide:

1. A letter or email from the Oregon State Historic Preservation Office Archeological Division indicating the level of recommended archeological monitoring on-site, or demonstrate that the applicant had notified the Oregon State Historic Preservation Office and that the Oregon State Historic Preservation Office had not commented within forty-five days of notification by the applicant; and
2. A letter or email from the applicable tribal cultural resource representative of the Confederated Tribes of the Grand Ronde, Confederated Tribes of the Siletz, Confederated Tribes of the Umatilla, Confederated Tribes of the Warm Springs and the Confederated Tribes of the Yakama Nation indicating the level of recommended archeological monitoring on-site, or demonstrate that the applicant had notified the applicable tribal cultural resource representative and that the applicable tribal cultural resource representative had not commented within forty-five days of notification by the applicant.

If, after forty-five days' notice from the applicant, the Oregon State Historic Preservation Office or the applicable tribal cultural resource representative fails to provide comment, the city will not require the letter or email as part of the completeness review. For the purpose of this section, ground disturbance is defined as the movement of native soils.

17.40.060 Historic Design Review Criteria

~~D. The historic review board, after notice and public hearing held pursuant to Chapter 17.50, shall approve the issuance, approve the issuance with conditions or disapprove issuance of the certificate of appropriateness.~~

~~E. The following exterior alterations to historic sites shall be subject to administrative approval:~~

- ~~1. Work that Conforms to the Adopted Historic Review Board Policies. The historic review board policies may be adopted or amended through adoption of a resolution by the city commission, following a public hearing and recommendation by the historic review board. Such policies shall be clear and objective and shall carry out the city's comprehensive plan, especially those elements relating to historic preservation.~~

F.A. For exterior alterations of historic sites in an historic district or conservation district or individual landmark, the criteria to be used by the board in reaching its decision on the certificate of appropriateness shall be:

1. The purpose of the historic overlay district as set forth in Section 17.40.010;
2. The provisions of the city comprehensive plan;
3. The economic use of the historic site and the reasonableness of the proposed alteration and their relationship to the public interest in the structure's or landmark's preservation or renovation;
4. The value and significance of the historic site;
5. The physical condition of the historic site;
6. The general compatibility of exterior design, arrangement, proportion, detail, scale, color, texture and materials proposed to be used with the historic site;
7. Pertinent aesthetic factors as designated by the board;
8. Economic, social, environmental and energy consequences; and
9. Design guidelines adopted by the historic review board.

G.B. For construction of new structures in an historic or conservation district, or on an historic site, the criteria to be used by the board in reaching its decision on the certificate of appropriateness shall include the following:

1. The purpose of the historic conservation district as set forth in Section 17.40.010;
2. The provisions of the city comprehensive plan;
3. The economic effect of the new proposed structure on the historic value of the district or historic site;
4. The effect of the proposed new structure on the historic value of the district or historic site;
5. The general compatibility of the exterior design, arrangement, proportion, detail, scale, color, texture and materials proposed to be used in the construction of the new building or structure;
6. Economic, social, environmental and energy consequences;
7. Design guidelines adopted by the historic review board.

H.C. For construction of new structures in an historic corridor, the criteria to be used by the board in reaching its decision on the certificate of appropriateness shall include the following:

1. The purpose of the historic overlay district as set forth in Section 17.40.010;
2. The policies of the city comprehensive plan;
3. The impact on visible evidence of the trail;
4. The impact on archaeological evidence when there exists documented knowledge of archeological resources on the property;
5. The visual impact of new construction within the historic corridor; and
6. The general compatibility of the site design and location of the new construction with the historic corridor considering the standards of subsection G of this section.

H.D. The following standards apply to development within historic corridors:

1. Within the Oregon Trail-Barlow Road historic corridor, a minimum of a thirty-foot wide-open visual corridor shall be maintained and shall follow the actual route of the Oregon Trail, if known. If the actual route is unknown, the open visual corridor shall connect within the open visual corridor on adjacent property.

-
2. No new building or sign construction shall be permitted within required open visual corridors. Landscaping, parking, streets, driveways are permitted within required open visual corridors.

~~J. In rendering its decision, the board's decision shall be in writing and shall specify in detail the basis therefore.~~

- ~~K. Nothing in this section shall be construed to prevent the ordinary maintenance or repair of any exterior architectural features which does not involve a change in design, material or the outward appearance of such feature which the building official shall certify is required for the public safety because of its unsafe or dangerous condition.~~

~~(Ord. No. 08-1014, §§ 1—3(Exhs. 1—3), 7-1-2009; Ord. No. 10-1003, § 1(Exh. 1), 7-7-2010; Ord. No. 19-1009, § 1(Exh. A), 10-16-2019)~~

17.40.065 Historic preservation incentives.

- A. Purpose. Historic preservation incentives increase the potential for historically designated properties to be used, protected, renovated, and preserved. Incentives make preservation more attractive to owners of locally designated structures because they provide flexibility and economic opportunities.
- B. Eligibility for Historic Preservation Incentives. All exterior alterations of designated structures and new construction in historic and conservation districts are eligible for historic preservation incentives if the exterior alteration or new construction has received a certificate of appropriateness from the Historic Review Board per OCMC 17.50.110(c).
- C. Incentives Allowed. The dimensional standards of the underlying zone as well as for accessory buildings (OCMC 17.54.100) may be adjusted to allow for compatible development if the expansion or new construction is approved through historic design review.
- D. Process. The applicant must request the incentive at the time of application to the Historic Review Board.

(Ord. No. 08-1014, §§ 1—3(Exhs. 1—3), 7-1-2009; Ord. No. 10-1003, § 1(Exh. 1), 7-7-2010)

17.40.070 Demolition and moving.

- A. If an application is made for a building or moving permit to demolish or move all or part of a structure which is a landmark or which is located in a conservation district or an historic district, the building inspector shall, within seven days, transmit to the historic review board a copy of the transaction.
- B. The historic review board shall hold a public hearing within forty-five days of application pursuant to the procedures in Chapter 17.50.
- C. In determining the appropriateness of the demolition or moving as proposed in an application for a building or moving permit, the board shall consider the following:
 1. All plans, drawings and photographs as may be submitted by the applicant;
 2. Information presented to a public hearing held concerning the proposed work;
 3. The city comprehensive plan;
 4. The purpose of this section as set forth in Section 17.40.010;
 5. The criteria used in the original designation of the landmark or district in which the property under consideration is situated;

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6. The historical and architectural style, the general design, arrangement, materials of the structure in question or its fixtures; the relationship of such features to similar features of the other buildings within the district and the position of the building or structure in relation to public rights-of-way and to other buildings and structures in the area;
 7. The effects of the proposed work upon the protection, enhancement, perpetuation and use of the district, which cause it to possess a special character or special historic or aesthetic interest or value;
 8. Whether denial of the permit will involve substantial hardship to the applicant, and whether issuance of the permit would act to the substantial detriment of the public welfare and would be contrary to the intent and purposes of this section;
 9. The economic, social, environmental and energy consequences.
- D. The failure of the applicant to provide the information required by Subsection C.1.—9. shall be grounds for deeming the application incomplete.
 - E. The board may approve or deny the demolition or moving request after considering the criteria contained in Section 17.40.070C. Action by the board approving or denying the issuance of a permit for demolition or moving may be appealed to the city commission by any aggrieved party, by filing a notice of appeal, in the same manner as provided in Section 17.50 for appeals. If no appeal of a demolition permit is filed, the building official shall issue the permit in compliance with all other codes and ordinances of the city.
 - F. In any case where the city commission has ordered the removal or demolition of any structure determined to be dangerous to life, health or property, nothing contained in this title shall be construed as making it unlawful for any person, without prior approval of the historic review board, pursuant to this title, to comply with such order.

(Ord. No. 08-1014, §§ 1—3(Exhs. 1—3), 7-1-2009; Ord. No. 10-1003, § 1(Exh. 1), 7-7-2010)

Chapter 17.40 HISTORIC OVERLAY DISTRICT¹

17.40.010 Purpose.

It is declared as a matter of public policy that the protection, enhancement, perpetuation and use of improvements of special character or special historical or aesthetic interest or value is a public necessity and is required in the interest of the health, prosperity, safety and welfare of the people. The purpose of this chapter is to:

- A. Effect and accomplish the protection, enhancement and perpetuation of such improvements and of districts which represent or reflect elements of the city's cultural, social, economic, political and architectural history;
- B. Safeguard the city's historic, aesthetic and cultural heritage as embodied and reflected in such improvements and districts;
- C. Complement any National Register Historic districts designated in the city;
- D. Stabilize and improve property values in such districts;
- E. Foster civic pride in the beauty and noble accomplishments of the past;
- F. Protect and enhance the city's attractions to tourists and visitors and the support and stimulus to business and industry thereby provided;
- G. Strengthen the economy of the city;
- H. Promote the use of historic districts and landmarks for the education, pleasure, energy conservation, housing and public welfare of the city; and
- I. Carry out the provisions of LCDC Goal 5.

(Ord. No. 08-1014, §§ 1—3(Exhs. 1—3), 7-1-2009; Ord. No. 10-1003, § 1(Exh. 1), 7-7-2010)

17.40.030 Designated.

- A. The historic overlay district shall apply to the following:
 1. Historic districts, upon designation in accordance with this section;
 2. Conservation districts designated in accordance with this section;
 3. Landmarks as designated by this section; and
 4. Historic corridors designated in accordance with this section.

¹Editor's note(s)—Ord. No. 08-1014, adopted July 1, 2009, repealed Chapter 17.40 in its entirety and enacted new provisions to read as herein set out. Prior to amendment, Chapter 17.40 pertained to similar subject matter. See Ordinance Disposition List for derivation.

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- B. The boundaries of the historic districts, the boundaries of conservation districts, historic corridors, the location of buildings and structures in conservation districts and the location of landmarks shall be designated on a special city zoning map or maps.
 - C. The following are designated within the historic overlay district:
 - 1. The Canemah Historic District; the minimum boundaries of which are those designated by the United States Department of the Interior on the National Register of Historic Places as indicated in the city comprehensive plan.
 - 2. The McLoughlin Conservation District; the surveyed buildings indicated by map in the comprehensive plan shall constitute the designated structures in the McLoughlin Conservation District, along with any structures designated through the Historic Review Board designation process since initial adoption of the comprehensive plan on March 13, 1980.
 - 3. The Oregon Trail-Barlow Road Historic Corridor: properties identified in the 1993 Barlow Road Historic Corridor inventory of the Barlow Road by Clackamas County.
 - 4. Designations undertaken pursuant to Section 17.40.050. The established historic overlay district shall allow for the designation of two types of districts so that areas with a high concentration of historic structures are designated historic districts and areas with a lower concentration are designated conservation districts. Also allowed is the designation of structures of historic or architectural significance not located in an historic or conservation district as landmarks.

(Ord. No. 08-1014, §§ 1—3(Exhs. 1—3), 7-1-2009; Ord. No. 10-1003, § 1(Exh. 1), 7-7-2010)

17.40.040 Citizen involvement.

- A. The planning department shall be authorized to incur expenses in holding public workshops in the historic districts and conservation districts, distribute written information, show slides and answer questions on remodeling and rehabilitation of older buildings, and to educate the public in the need to comply with state and federal laws protecting or encouraging protection of antiquities and other related matters concerning historic preservation.
- B. Citizens making applications for district or landmark designations or for exterior alterations or new construction in an historic or conservation district, and historic corridor or on a landmark site may consult with and receive advice from the planning department staff concerning their applications.

(Ord. No. 08-1014, §§ 1—3(Exhs. 1—3), 7-1-2009; Ord. No. 10-1003, § 1(Exh. 1), 7-7-2010)

17.40.050 Designation procedure—Application—Review.

- A. Institution of Proceedings. The city commission, the planning commission, the historic review board, a recognized neighborhood group or any interested person may initiate the proceedings for designation of an historic or conservation district, landmark, or historic corridor as follows:
 - 1. The city commission or the historic review board may initiate designation proceedings by sending a written proposal or application to the planning staff. Such proposal is not subject to any minimal information requirements other than a description of the boundaries of the area to be designated.
 - 2. Any interested person or recognized neighborhood group may start designation proceedings by sending a written application to the planning staff.

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- B. Application Information. The planning staff may specify the information required in an application and may from time to time change the content of that information, but at all times the planning staff shall require the following information:
1. The applicant's name and address;
 2. The owner's name and address, if different from the applicant;
 3. A description of the boundaries of the proposed district or a description of the proposed landmark;
 4. A map illustrating the boundaries of the proposed district or the location of the proposed landmark;
 5. A statement explaining the following:
 - a. The reasons why the proposed district or landmark should be designated,
 - b. The reason why the boundaries of the proposed district are adequate and suitable for designation,
 - c. The positive and negative effects, if any, which designation of the proposed district or landmark would have on the residents or other property owners of the area.
- C. The planning staff shall deliver a proposal or an application for the designation to the historic review board within thirty days after the day on which a proposal or application is received. The historic review board shall review the proposal on the application and prepare a written recommendation or decision approving or rejecting the proposed designation.
- D. In preparing the recommendation or decision, the historic review board shall limit its review to:
1. Whether the proposed district or landmark would serve the purpose of the historic overlay district as stated in Section 17.40.010; and
 2. Conformity with the purposes of the city comprehensive plan.
- E. City Commission Review of District.
1. The historic review board shall deliver a copy of its recommendation to the city commission within thirty days.
 2. The city commission shall hold a public hearing pursuant to procedures contained in Chapter 17.68.
 3. After the hearing, the city commission may engage in one of the following actions:
 - a. Refuse to designate the proposed district; or
 - b. Designate the proposed district by a duly enacted ordinance; or
 - c. Remand the matter to the historic review board for additional consideration of a specific matter or matters.
 4. The city commission may limit itself to the proposed district, and as so modified, approve it. Enlargement of the proposed district shall require additional notice and public hearing. The commission may hold such hearing or hearings.
 5. The approval or disapproval of the designation by the city commission shall be in writing and shall state the reasons for approval or disapproval.
 6. Amendment or Rescission. The district designation may be amended or rescinded after the board and city commission have utilized the same procedures required by this title for establishment of the designation. The board shall give priority to designation of potential districts and landmarks indicated in the city comprehensive plan.

(Ord. No. 08-1014, §§ 1—3(Exhs. 1—3), 7-1-2009; Ord. No. 10-1003, § 1(Exh. 1), 7-7-2010)

17.40.53 Historic Design Review Required

All development within the historic district overlay is subject to review pursuant to the following decision-making procedures:

- A. No review is required to proceed with ordinary maintenance or repair of any exterior architectural features, including painting and color selection, which does not involve a change in design, material or the outward appearance of such feature which the building official shall certify is required for the public safety because of its unsafe or dangerous condition.
- B. Canemah National Register District or locally designated resources.
 - 1. Exterior alterations, additions, and new, larger than 200 square foot free-standing structures within a National Register District or a locally designated historic site/resource shall be subject to a Type III review procedure except:
 - i. An alteration, addition or new structure that is otherwise regulated through one or more adopted historic review board policies shall occur through a Type I procedure.
- C. McLoughlin Conservation District that are not otherwise locally designated.
 - 1. Exterior alterations, additions and new, larger than 200 square foot free-standing structures within the McLoughlin Conservation District that are not otherwise locally designated shall be subject to a Type III review procedure except:
 - i. An alteration, addition or new structure that is otherwise regulated through one or more adopted historic review board policies shall occur through a Type I procedure.
 - ii. Alterations or additions that elevate or reduce the overall roof line of an existing building by less than four inches or where the roofline of any portion of the addition is less than the pre-existing roof structure (ridge line or parapet edge), as determined two years before the application date;
 - iii. Alterations or additions of less than 30% of the original structure's size, as determined two years before the application date, or a maximum addition of less than 700 square feet, whichever is smaller. The size of the original structure and the proposed addition shall be measured by their footprint area as defined by OCMC 17.04.483.
 - 1. New decks that are accessed from the ground floor of an existing building are not counted as part of the 30% additional area unless the deck has a roof supported by posts.
 - 2. New decks or balconies accessed from an upper level larger than 50 square feet, whether covered or uncovered are counted as part of the 30% additional area.
 - iv. Notwithstanding the exceptions in subsection ii and iii, Type III review shall be required for any alteration of or addition to a new structure within the two year period following the date of issuance of the certificate of appropriateness for the new structure.

17.40.55 Historic Review Board Policies

- 1. Some limited types of alterations to historic structures and new construction can be allowed through the administrative Type I review procedure if they are consistent with city commission adopted historic review board policies.

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2. The historic review board policies may be adopted or amended by the city commission by resolution following a recommendation by the historic review board along with a public hearing that includes notice to affected property owners.
 3. Historic review board policies shall be clear and objective, carrying out the city's comprehensive plan.

17.40.57 Historic Design Review Application - Archeological Monitoring Recommendation.

In addition to the procedures set forth in OCMC 17.50, for all Type III projects that will involve ground disturbance, the applicant shall provide:

1. A letter or email from the Oregon State Historic Preservation Office Archeological Division indicating the level of recommended archeological monitoring on-site, or demonstrate that the applicant had notified the Oregon State Historic Preservation Office and that the Oregon State Historic Preservation Office had not commented within forty-five days of notification by the applicant; and
2. A letter or email from the applicable tribal cultural resource representative of the Confederated Tribes of the Grand Ronde, Confederated Tribes of the Siletz, Confederated Tribes of the Umatilla, Confederated Tribes of the Warm Springs and the Confederated Tribes of the Yakama Nation indicating the level of recommended archeological monitoring on-site, or demonstrate that the applicant had notified the applicable tribal cultural resource representative and that the applicable tribal cultural resource representative had not commented within forty-five days of notification by the applicant.

If, after forty-five days' notice from the applicant, the Oregon State Historic Preservation Office or the applicable tribal cultural resource representative fails to provide comment, the city will not require the letter or email as part of the completeness review. For the purpose of this section, ground disturbance is defined as the movement of native soils.

17.40.060 Historic Design Review Criteria

- A. For exterior alterations of historic sites in an historic district or conservation district or individual landmark, the criteria to be used by the board in reaching its decision on the certificate of appropriateness shall be:
 1. The purpose of the historic overlay district as set forth in Section 17.40.010;
 2. The provisions of the city comprehensive plan;
 3. The economic use of the historic site and the reasonableness of the proposed alteration and their relationship to the public interest in the structure's or landmark's preservation or renovation;
 4. The value and significance of the historic site;
 5. The physical condition of the historic site;
 6. The general compatibility of exterior design, arrangement, proportion, detail, scale, color, texture and materials proposed to be used with the historic site;
 7. Pertinent aesthetic factors as designated by the board;
 8. Economic, social, environmental and energy consequences; and
 9. Design guidelines adopted by the historic review board.
- B. For construction of new structures in an historic or conservation district, or on an historic site, the criteria to be used by the board in reaching its decision on the certificate of appropriateness shall include the following:
 1. The purpose of the historic conservation district as set forth in Section 17.40.010;
 2. The provisions of the city comprehensive plan;

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3. The economic effect of the new proposed structure on the historic value of the district or historic site;
 4. The effect of the proposed new structure on the historic value of the district or historic site;
 5. The general compatibility of the exterior design, arrangement, proportion, detail, scale, color, texture and materials proposed to be used in the construction of the new building or structure;
 6. Economic, social, environmental and energy consequences;
 7. Design guidelines adopted by the historic review board.
- C For construction of new structures in an historic corridor, the criteria to be used by the board in reaching its decision on the certificate of appropriateness shall include the following:
1. The purpose of the historic overlay district as set forth in Section 17.40.010;
 2. The policies of the city comprehensive plan;
 3. The impact on visible evidence of the trail;
 4. The impact on archaeological evidence when there exists documented knowledge of archeological resources on the property;
 5. The visual impact of new construction within the historic corridor; and
 6. The general compatibility of the site design and location of the new construction with the historic corridor considering the standards of subsection G of this section.
- D The following standards apply to development within historic corridors:
1. Within the Oregon Trail-Barlow Road historic corridor, a minimum of a thirty-foot wide-open visual corridor shall be maintained and shall follow the actual route of the Oregon Trail, if known. If the actual route is unknown, the open visual corridor shall connect within the open visual corridor on adjacent property.
 2. No new building or sign construction shall be permitted within required open visual corridors. Landscaping, parking, streets, driveways are permitted within required open visual corridors.

17.40.065 Historic preservation incentives.

- A. Purpose. Historic preservation incentives increase the potential for historically designated properties to be used, protected, renovated, and preserved. Incentives make preservation more attractive to owners of locally designated structures because they provide flexibility and economic opportunities.
 - B. Eligibility for Historic Preservation Incentives. All exterior alterations of designated structures and new construction in historic and conservation districts are eligible for historic preservation incentives if the exterior alteration or new construction has received a certificate of appropriateness from the Historic Review Board per OCMC 17.50.110(c).
 - C. Incentives Allowed. The dimensional standards of the underlying zone as well as for accessory buildings (OCMC 17.54.100) may be adjusted to allow for compatible development if the expansion or new construction is approved through historic design review.
 - D. Process. The applicant must request the incentive at the time of application to the Historic Review Board.
- (Ord. No. 08-1014, §§ 1—3(Exhs. 1—3), 7-1-2009; Ord. No. 10-1003, § 1(Exh. 1), 7-7-2010)

17.40.070 Demolition and moving.

- A. If an application is made for a building or moving permit to demolish or move all or part of a structure which is a landmark or which is located in a conservation district or an historic district, the building inspector shall, within seven days, transmit to the historic review board a copy of the transaction.
- B. The historic review board shall hold a public hearing within forty-five days of application pursuant to the procedures in Chapter 17.50.
- C. In determining the appropriateness of the demolition or moving as proposed in an application for a building or moving permit, the board shall consider the following:
 - 1. All plans, drawings and photographs as may be submitted by the applicant;
 - 2. Information presented to a public hearing held concerning the proposed work;
 - 3. The city comprehensive plan;
 - 4. The purpose of this section as set forth in Section 17.40.010;
 - 5. The criteria used in the original designation of the landmark or district in which the property under consideration is situated;
 - 6. The historical and architectural style, the general design, arrangement, materials of the structure in question or its fixtures; the relationship of such features to similar features of the other buildings within the district and the position of the building or structure in relation to public rights-of-way and to other buildings and structures in the area;
 - 7. The effects of the proposed work upon the protection, enhancement, perpetuation and use of the district, which cause it to possess a special character or special historic or aesthetic interest or value;
 - 8. Whether denial of the permit will involve substantial hardship to the applicant, and whether issuance of the permit would act to the substantial detriment of the public welfare and would be contrary to the intent and purposes of this section;
 - 9. The economic, social, environmental and energy consequences.
- D. The failure of the applicant to provide the information required by Subsection C.1.—9. shall be grounds for deeming the application incomplete.
- E. The board may approve or deny the demolition or moving request after considering the criteria contained in Section 17.40.070C. Action by the board approving or denying the issuance of a permit for demolition or moving may be appealed to the city commission by any aggrieved party, by filing a notice of appeal, in the same manner as provided in Section 17.50 for appeals. If no appeal of a demolition permit is filed, the building official shall issue the permit in compliance with all other codes and ordinances of the city.
- F. In any case where the city commission has ordered the removal or demolition of any structure determined to be dangerous to life, health or property, nothing contained in this title shall be construed as making it unlawful for any person, without prior approval of the historic review board, pursuant to this title, to comply with such order.

(Ord. No. 08-1014, §§ 1—3(Exhs. 1—3), 7-1-2009; Ord. No. 10-1003, § 1(Exh. 1), 7-7-2010)

Chapter 17.40 HISTORIC OVERLAY DISTRICT¹

17.40.010 Purpose.

It is declared as a matter of public policy that the protection, enhancement, perpetuation and use of improvements of special character or special historical or aesthetic interest or value is a public necessity and is required in the interest of the health, prosperity, safety and welfare of the people. The purpose of this chapter is to:

- A. Effect and accomplish the protection, enhancement and perpetuation of such improvements and of districts which represent or reflect elements of the city's cultural, social, economic, political and architectural history;
- B. Safeguard the city's historic, aesthetic and cultural heritage as embodied and reflected in such improvements and districts;
- C. Complement any National Register Historic districts designated in the city;
- D. Stabilize and improve property values in such districts;
- E. Foster civic pride in the beauty and noble accomplishments of the past;
- F. Protect and enhance the city's attractions to tourists and visitors and the support and stimulus to business and industry thereby provided;
- G. Strengthen the economy of the city;
- H. Promote the use of historic districts and landmarks for the education, pleasure, energy conservation, housing and public welfare of the city; and
- I. Carry out the provisions of LCDC Goal 5.

(Ord. No. 08-1014, §§ 1—3(Exhs. 1—3), 7-1-2009; Ord. No. 10-1003, § 1(Exh. 1), 7-7-2010)

17.40.030 Designated.

- A. The historic overlay district shall apply to the following:
 1. Historic districts, upon designation in accordance with this section;
 2. Conservation districts designated in accordance with this section;
 3. Landmarks as designated by this section; and
 4. Historic corridors designated in accordance with this section.

¹Editor's note(s)—Ord. No. 08-1014, adopted July 1, 2009, repealed Chapter 17.40 in its entirety and enacted new provisions to read as herein set out. Prior to amendment, Chapter 17.40 pertained to similar subject matter. See Ordinance Disposition List for derivation.

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- B. The boundaries of the historic districts, the boundaries of conservation districts, historic corridors, the location of buildings and structures in conservation districts and the location of landmarks shall be designated on a special city zoning map or maps.
 - C. The following are designated within the historic overlay district:
 - 1. The Canemah Historic District; the minimum boundaries of which are those designated by the United States Department of the Interior on the National Register of Historic Places as indicated in the city comprehensive plan.
 - 2. The McLoughlin Conservation District; the surveyed buildings indicated by map in the comprehensive plan shall constitute the designated structures in the McLoughlin Conservation District, along with any structures designated through the Historic Review Board designation process since initial adoption of the comprehensive plan on March 13, 1980.
 - 3. The Oregon Trail-Barlow Road Historic Corridor: properties identified in the 1993 Barlow Road Historic Corridor inventory of the Barlow Road by Clackamas County.
 - 4. Designations undertaken pursuant to Section 17.40.050. The established historic overlay district shall allow for the designation of two types of districts so that areas with a high concentration of historic structures are designated historic districts and areas with a lower concentration are designated conservation districts. Also allowed is the designation of structures of historic or architectural significance not located in an historic or conservation district as landmarks.

(Ord. No. 08-1014, §§ 1—3(Exhs. 1—3), 7-1-2009; Ord. No. 10-1003, § 1(Exh. 1), 7-7-2010)

17.40.040 Citizen involvement.

- A. The planning department shall be authorized to incur expenses in holding public workshops in the historic districts and conservation districts, distribute written information, show slides and answer questions on remodeling and rehabilitation of older buildings, and to educate the public in the need to comply with state and federal laws protecting or encouraging protection of antiquities and other related matters concerning historic preservation.
- B. Citizens making applications for district or landmark designations or for exterior alterations or new construction in an historic or conservation district, and historic corridor or on a landmark site may consult with and receive advice from the planning department staff concerning their applications.

(Ord. No. 08-1014, §§ 1—3(Exhs. 1—3), 7-1-2009; Ord. No. 10-1003, § 1(Exh. 1), 7-7-2010)

17.40.050 Designation procedure—Application—Review.

- A. Institution of Proceedings. The city commission, the planning commission, the historic review board, a recognized neighborhood group or any interested person may initiate the proceedings for designation of an historic or conservation district, landmark, or historic corridor as follows:
 - 1. The city commission or the historic review board may initiate designation proceedings by sending a written proposal or application to the planning staff. Such proposal is not subject to any minimal information requirements other than a description of the boundaries of the area to be designated.
 - 2. Any interested person or recognized neighborhood group may start designation proceedings by sending a written application to the planning staff.

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- B. Application Information. The planning staff may specify the information required in an application and may from time to time change the content of that information, but at all times the planning staff shall require the following information:
1. The applicant's name and address;
 2. The owner's name and address, if different from the applicant;
 3. A description of the boundaries of the proposed district or a description of the proposed landmark;
 4. A map illustrating the boundaries of the proposed district or the location of the proposed landmark;
 5. A statement explaining the following:
 - a. The reasons why the proposed district or landmark should be designated,
 - b. The reason why the boundaries of the proposed district are adequate and suitable for designation,
 - c. The positive and negative effects, if any, which designation of the proposed district or landmark would have on the residents or other property owners of the area.
- C. The planning staff shall deliver a proposal or an application for the designation to the historic review board within thirty days after the day on which a proposal or application is received. The historic review board shall review the proposal on the application and prepare a written recommendation or decision approving or rejecting the proposed designation.
- D. In preparing the recommendation or decision, the historic review board shall limit its review to:
1. Whether the proposed district or landmark would serve the purpose of the historic overlay district as stated in Section 17.40.010; and
 2. Conformity with the purposes of the city comprehensive plan.
- E. City Commission Review of District.
1. The historic review board shall deliver a copy of its recommendation to the city commission within thirty days.
 2. The city commission shall hold a public hearing pursuant to procedures contained in Chapter 17.68.
 3. After the hearing, the city commission may engage in one of the following actions:
 - a. Refuse to designate the proposed district; or
 - b. Designate the proposed district by a duly enacted ordinance; or
 - c. Remand the matter to the historic review board for additional consideration of a specific matter or matters.
 4. The city commission may limit itself to the proposed district, and as so modified, approve it. Enlargement of the proposed district shall require additional notice and public hearing. The commission may hold such hearing or hearings.
 5. The approval or disapproval of the designation by the city commission shall be in writing and shall state the reasons for approval or disapproval.
 6. Amendment or Rescission. The district designation may be amended or rescinded after the board and city commission have utilized the same procedures required by this title for establishment of the designation. The board shall give priority to designation of potential districts and landmarks indicated in the city comprehensive plan.

17.40.53 Threshold For Review

The following proposals require review and the issuance of an approval certificate of appropriateness from the Historic Review Board as further defined below.

1. Exterior alterations and additions to a locally designated historic site/resource or a resource located in a National Register District that alter in such a manner as to affect its exterior appearance.
 - a. The following exterior alterations to historic sites shall be subject to administrative approval:

Work that conforms to the adopted Historic Review Board Policies. The historic review board policies may be adopted or amended through adoption of a resolution by the city commission, following a public hearing and recommendation by the historic review board. Such policies shall be clear and objective, carrying out the city's comprehensive plan, especially those elements relating to historic preservation.
 2. Alterations and additions to non-designated sites/resources located in a conservation district that meet the following criteria.
 - a. Alterations that affect the roof of an existing building that change the height of the overall roof more than 4", and any part of an addition is taller than the tallest part of the existing roof structure (ridge line or parapet edge).
 - b. Alterations or additions larger than 30% of the original structure's size, as it was 2 years before the application date, or a maximum addition of 700 square feet, whichever is smaller. The size of the original structure and the proposed addition shall be measured by their footprint area as defined by OCMC 17.04.483. Proposed new decks that are accessed from the ground floor of an existing building are not counted as part of the 30% additional area unless the deck has a roof supported by posts.
 - c. Proposed new decks or balconies at an upper level larger than 50 square feet, whether covered or uncovered. Note that the addition of a roofed deck supported on a post will be counted as part of the 30% allowance threshold.
 3. A new building or structure separated from an existing building that is larger than two hundred square feet on any property located within a historic overlay district or a Landmark located outside of a district.
 - a. Additions that affect the floor area of a building that received historic review board approval/certificate of appropriateness within the last 2 years
 - b. The following new structures shall be subject to administrative approval:

Work that conforms to the adopted Historic Review Board Policies. The historic review board policies may be adopted or amended through adoption of a resolution by the city commission, following a public hearing and recommendation by the historic review board. Such policies shall be clear and objective, carrying out the city's comprehensive plan, especially those elements relating to historic preservation.
 4. Nothing in this section shall be construed to prevent the ordinary maintenance or repair of any exterior architectural features which does not involve a change in design, material or the outward appearance of such feature which the building official shall certify is required for the public safety because of its unsafe or dangerous condition.

17.40.55 Review Process

1. The historic review board, after notice and public hearing held pursuant to Chapter 17.50, shall approve the issuance, approve the issuance with conditions, or disapprove the issuance of the certificate of appropriateness. In rendering its decision, the board shall provide a written statement specifying the basis thereof.
2. Application for such a certificate shall be made to the planning staff and shall be referred to the historic review board as applicable. The application shall be in such form and detail as the board prescribes.

17.40.57 Archeological Monitoring Recommendation.

For all Type III projects that will involve ground disturbance, the applicant shall provide,

1. A letter or email from the Oregon State Historic Preservation Office Archaeological Division indicating the level of recommended archeological monitoring on-site, or demonstrate that the applicant had notified the Oregon State Historic Preservation Office and that the Oregon State Historic Preservation Office had not commented within forty-five days of notification by the applicant; and
2. A letter or email from the applicable tribal cultural resource representative of the Confederated Tribes of the Grand Ronde, Confederated Tribes of the Siletz, Confederated Tribes of the Umatilla, Confederated Tribes of the Warm Springs and the Confederated Tribes of the Yakama Nation indicating the level of recommended archeological monitoring on-site, or demonstrate that the applicant had notified the applicable tribal cultural resource representative and that the applicable tribal cultural resource representative had not commented within forty-five days of notification by the applicant.

If, after forty-five days' notice from the applicant, the Oregon State Historic Preservation Office or the applicable tribal cultural resource representative fails to provide comment, the city will not require the letter or email as part of the completeness review. For the purpose of this section, ground disturbance is defined as the movement of native soils.

17.40.060 Review Criteria Exterior alteration and new construction.

- A. ~~Except as provided pursuant to subsection I of this section, no person shall alter any historic site in such a manner as to affect its exterior appearance, nor shall there be any new construction in an historic district, conservation district, historic corridor, or on a landmark site, unless a certificate of appropriateness has previously been issued by the historic review board. Any building addition that is thirty percent or more in area of the historic building (be it individual or cumulative) shall be considered new construction in a district. Further, no major public improvements shall be made in the district unless approved by the board and given a certificate of appropriateness.~~
- B.
- C. ~~Archeological Monitoring Recommendation. For all projects that will involve ground disturbance, the applicant shall provide,~~
 1. ~~A letter or email from the Oregon State Historic Preservation Office Archaeological Division indicating the level of recommended archeological monitoring on-site, or demonstrate that the applicant had notified the Oregon State Historic Preservation Office and that the Oregon State Historic Preservation Office had not commented within forty-five days of notification by the applicant; and~~
 2. ~~A letter or email from the applicable tribal cultural resource representative of the Confederated Tribes of the Grand Ronde, Confederated Tribes of the Siletz, Confederated Tribes of the Umatilla, Confederated Tribes of~~

~~the Warm Springs and the Confederated Tribes of the Yakama Nation indicating the level of recommended archeological monitoring on-site, or demonstrate that the applicant had notified the applicable tribal cultural resource representative and that the applicable tribal cultural resource representative had not commented within forty five days of notification by the applicant.~~

~~If, after forty five days' notice from the applicant, the Oregon State Historic Preservation Office or the applicable tribal cultural resource representative fails to provide comment, the city will not require the letter or email as part of the completeness review. For the purpose of this section, ground disturbance is defined as the movement of native soils.~~

~~D. The historic review board, after notice and public hearing held pursuant to Chapter 17.50, shall approve the issuance, approve the issuance with conditions or disapprove issuance of the certificate of appropriateness.~~

~~E. The following exterior alterations to historic sites shall be subject to administrative approval:~~

~~1. Work that Conforms to the Adopted Historic Review Board Policies. The historic review board policies may be adopted or amended through adoption of a resolution by the city commission, following a public hearing and recommendation by the historic review board. Such policies shall be clear and objective and shall carry out the city's comprehensive plan, especially those elements relating to historic preservation.~~

FA. For exterior alterations of historic sites in an historic district or conservation district or individual landmark, the criteria to be used by the board in reaching its decision on the certificate of appropriateness shall be:

1. The purpose of the historic overlay district as set forth in Section 17.40.010;
2. The provisions of the city comprehensive plan;
3. The economic use of the historic site and the reasonableness of the proposed alteration and their relationship to the public interest in the structure's or landmark's preservation or renovation;
4. The value and significance of the historic site;
5. The physical condition of the historic site;
6. The general compatibility of exterior design, arrangement, proportion, detail, scale, color, texture and materials proposed to be used with the historic site;
7. Pertinent aesthetic factors as designated by the board;
8. Economic, social, environmental and energy consequences; and
9. Design guidelines adopted by the historic review board.

GB. For construction of new structures in an historic or conservation district, or on an historic site, the criteria to be used by the board in reaching its decision on the certificate of appropriateness shall include the following:

1. The purpose of the historic conservation district as set forth in Section 17.40.010;
2. The provisions of the city comprehensive plan;
3. The economic effect of the new proposed structure on the historic value of the district or historic site;
4. The effect of the proposed new structure on the historic value of the district or historic site;
5. The general compatibility of the exterior design, arrangement, proportion, detail, scale, color, texture and materials proposed to be used in the construction of the new building or structure;
6. Economic, social, environmental and energy consequences;
7. Design guidelines adopted by the historic review board.

~~H.C~~ For construction of new structures in an historic corridor, the criteria to be used by the board in reaching its decision on the certificate of appropriateness shall include the following:

1. The purpose of the historic overlay district as set forth in Section 17.40.010;
2. The policies of the city comprehensive plan;
3. The impact on visible evidence of the trail;
4. The impact on archaeological evidence when there exists documented knowledge of archeological resources on the property;
5. The visual impact of new construction within the historic corridor; and
6. The general compatibility of the site design and location of the new construction with the historic corridor considering the standards of subsection G of this section.

~~I.D~~—The following standards apply to development within historic corridors:

1. Within the Oregon Trail-Barlow Road historic corridor, a minimum of a thirty-foot wide-open visual corridor shall be maintained and shall follow the actual route of the Oregon Trail, if known. If the actual route is unknown, the open visual corridor shall connect within the open visual corridor on adjacent property.
2. No new building or sign construction shall be permitted within required open visual corridors. Landscaping, parking, streets, driveways are permitted within required open visual corridors.

~~J. In rendering its decision, the board's decision shall be in writing and shall specify in detail the basis therefore.~~

~~K. —Nothing in this section shall be construed to prevent the ordinary maintenance or repair of any exterior architectural features which does not involve a change in design, material or the outward appearance of such feature which the building official shall certify is required for the public safety because of its unsafe or dangerous condition.~~

~~(Ord. No. 08-1014, §§ 1—3(Exhs. 1—3), 7-1-2009; Ord. No. 10-1003, § 1(Exh. 1), 7-7-2010; Ord. No. 19-1009, § 1(Exh. A), 10-16-2019)~~

17.40.065 Historic preservation incentives.

- A. Purpose. Historic preservation incentives increase the potential for historically designated properties to be used, protected, renovated, and preserved. Incentives make preservation more attractive to owners of locally designated structures because they provide flexibility and economic opportunities.
- B. Eligibility for Historic Preservation Incentives. All exterior alterations of designated structures and new construction in historic and conservation districts are eligible for historic preservation incentives if the exterior alteration or new construction has received a certificate of appropriateness from the Historic Review Board per OCMC 17.50.110(c).
- C. Incentives Allowed. The dimensional standards of the underlying zone as well as for accessory buildings (OCMC 17.54.100) may be adjusted to allow for compatible development if the expansion or new construction is approved through historic design review.
- D. Process. The applicant must request the incentive at the time of application to the Historic Review Board.
(Ord. No. 08-1014, §§ 1—3(Exhs. 1—3), 7-1-2009; Ord. No. 10-1003, § 1(Exh. 1), 7-7-2010)

17.40.070 Demolition and moving.

- A. If an application is made for a building or moving permit to demolish or move all or part of a structure which is a landmark or which is located in a conservation district or an historic district, the building inspector shall, within seven days, transmit to the historic review board a copy of the transaction.
- B. The historic review board shall hold a public hearing within forty-five days of application pursuant to the procedures in Chapter 17.50.
- C. In determining the appropriateness of the demolition or moving as proposed in an application for a building or moving permit, the board shall consider the following:
 - 1. All plans, drawings and photographs as may be submitted by the applicant;
 - 2. Information presented to a public hearing held concerning the proposed work;
 - 3. The city comprehensive plan;
 - 4. The purpose of this section as set forth in Section 17.40.010;
 - 5. The criteria used in the original designation of the landmark or district in which the property under consideration is situated;
 - 6. The historical and architectural style, the general design, arrangement, materials of the structure in question or its fixtures; the relationship of such features to similar features of the other buildings within the district and the position of the building or structure in relation to public rights-of-way and to other buildings and structures in the area;
 - 7. The effects of the proposed work upon the protection, enhancement, perpetuation and use of the district, which cause it to possess a special character or special historic or aesthetic interest or value;
 - 8. Whether denial of the permit will involve substantial hardship to the applicant, and whether issuance of the permit would act to the substantial detriment of the public welfare and would be contrary to the intent and purposes of this section;
 - 9. The economic, social, environmental and energy consequences.
- D. The failure of the applicant to provide the information required by Subsection C.1.—9. shall be grounds for deeming the application incomplete.
- E. The board may approve or deny the demolition or moving request after considering the criteria contained in Section 17.40.070C. Action by the board approving or denying the issuance of a permit for demolition or moving may be appealed to the city commission by any aggrieved party, by filing a notice of appeal, in the same manner as provided in Section 17.50 for appeals. If no appeal of a demolition permit is filed, the building official shall issue the permit in compliance with all other codes and ordinances of the city.
- F. In any case where the city commission has ordered the removal or demolition of any structure determined to be dangerous to life, health or property, nothing contained in this title shall be construed as making it unlawful for any person, without prior approval of the historic review board, pursuant to this title, to comply with such order.

(Ord. No. 08-1014, §§ 1—3(Exhs. 1—3), 7-1-2009; Ord. No. 10-1003, § 1(Exh. 1), 7-7-2010)

17.04.815 - New construction.

"New construction" means structure for which the "start of construction" commenced on or after the effective date of the ordinance codified in this title.

~~For the purposes of Chapter 17.40, "new construction" means a new building or structure separate from an existing building that is larger than two hundred square feet on any property located within a historic overlay district. Any building addition that is thirty percent or more in area (be it individual or cumulative) of the original structure shall also be considered "new construction."~~

COMPATIBLE CHANGE- NEW CONSTRUCTION REVIEW IN THE MCCLOUGHLIN CONSERVATION DISTRICTS

This spring, the Historic Review Board (HRB) discussed potentially amending city regulations covering alterations, additions, and new construction in the McLoughlin Conservation District (MCD). The District, a subset of the larger McLoughlin Neighborhood, was first designated in the 1980s when the code language was adopted. The code stipulates that any additions exceeding a specified square footage, as well as any new freestanding construction larger than a small garage, must receive approval through a public hearing by the Historic Review Board. The regulations intend to allow change but not lose any historic buildings. The City is evaluating the code language and whether it strikes the right balance for the neighborhood.

This project was initiated in 2020 to address the perceived lack of specificity in the definition of NEW CONSTRUCTION, which triggers the Historic Review Board District's review of projects in McLoughlin Conservation District. However, the project was put on hold in 2022 due to a staff changeover. In 2024, the Historic Review Board restarted the project as part of their 2023-2025 work plan.

HISTORIC REVIEW BOARD'S RECOMMENDATION TO THE CITY COMMISSION

The HRB approved the following policy recommendation at the June 24, 2025, meeting and will present its recommended approach to the City Commission in the Summer of 2025, requesting approval to move forward with the Type IV Legislative adoption process. This process requires public hearings with the Planning Commission and City Commission, the final decision-makers in adopting ordinances and revising the municipal code.

OVERVIEW

The goal of this memo is to provide a clear policy direction that captures the work done by the HRB, the public comments that were provided to the HRB, and staff and the consultant recommendations since the project started in November 2024. The second purpose of this memo is to provide a clear rationale, or “why” to the overall project as well as for each individual proposal. The intent of these explanations is to help the HRB articulate a reason for the various policy changes, particularly when presenting this project to the City Commission and the community.

PROJECT BACKGROUND, OVERVIEW, AND WHY THE HRB IS PROPOSING POLICY CHANGES

The HRB currently reviews alterations or additions to non-designated properties in Conservation Districts only if the proposed project meets the definition of new construction.

Current (OCMC 17.04.816) definition of new construction:

“...a new building or structure separate from an existing building that is larger than two hundred square feet on any property located within a historic overlay district. Any building addition that is thirty percent

or more in area (be it individual or cumulative) of the original structure shall also be considered “new construction.”

The HRB decided to examine what types of projects they should be reviewing on non-designated properties in the McLoughlin Conservation District for three reasons.

- *In 2020, the City Commission had seen a few projects get constructed in the district that dramatically changed a historic (but non-designated) house, and had concerns that the alterations detracted from the historic properties nearby. The City Commission asked the HRB if they might re-examine the regulations, and the HRB agreed;*
- *The HRB had heard from staff that the existing regulations were unclear on a number of points, including how to measure the allowed area of new construction and whether to include decks both covered and uncovered; and*
- *The HRB wanted to encourage more of certain types of projects, especially projects that added additional thoughtfully designed small dwelling units, by exempting them from HRB review.*

Although the HRB started work on the Compatible Change project in the spring of 2021, the project was put on hold and the makeup of the HRB changed significantly. In the fall of 2024, the HRB re-started the project with a historic consultant on board. The project has gone through the following steps:

- The HRB examined regulations that apply in Historic or, where possible, Conservation Districts in various other jurisdictions such as Astoria, Salem, Tacoma, Bend, Albany, and Corvallis;
- The HRB explored ways to evaluate the impact of additions and new construction, including looking at footprint, height, location on the property, visibility of the work, and other factors;
- The HRB discussed and reviewed the City’s own Comprehensive Plan (especially Goal 2, Policy 2.3, Strategy 2.3.C), the types of reviews available to property owners, and the overall historic and housing goals of the State and the city;
- The HRB discussed the characteristics of McLoughlin Conservation District and what types of construction might be compatible, while allowing for change to occur;
- A postcard with a link to a survey was mailed out to residents of the district, and the survey was available to the public (not just to residents of the district). Further, a public meeting was held with the McLoughlin Neighborhood Association (MNA) on March 6, 2025;
- With all of the above information, the HRB worked out a draft policy direction. The draft policy was reviewed by front line city planners to evaluate how the policy might work ‘over the counter,’ and some alternative suggestions were made and presented to the HRB; and
- The HRB has reached a ‘final draft’ included below. Specific language is not being presented as “red lines” for City Commission adoption, but instead as an articulated proposal for the Commissioners to consider and potentially “wordsmith” prior to adoption.

COMMUNITY FEEDBACK SYNOPSIS

Survey: The online survey received 49 responses, about 80% of whom were McLoughlin residents. Survey questions were developed by City staff and the consultant to gauge public opinion about development and regulation in McLoughlin. Respondents (22) indicated that they felt the current level of historic review was

about right, while (5) felt that regulation was **not stringent enough**, (13) felt that there was too much or **too rigid regulation**, and (12) did not have an opinion. A question about an exemption from HRB review for freestanding detached dwellings received (25) in support and (19) not in support. Comments regarding this question were mostly in favor of allowing more such structures in the neighborhood, with some advocating for mixed-use, and “bigger,” but others noting that location is important (“backyard”) and that the new structure should complement the existing building. Overall, the survey seemed to capture support for **relatively small changes to review triggers for new construction**.

Public Meeting: An open house and meeting with the McLoughlin Neighborhood Association (MNA) about the code project was held on March 6, 2025, at the public library. The responses to “sticker” exercises and the voiced comments tended to be a little **more supportive of HRB review** and of more stringent thresholds for requiring review as compared to the survey, but there was surprisingly **even stronger support for the idea of exempting small detached dwellings** from HRB review in McLoughlin than expressed in the survey. Attendees did voice strong support for some “over the counter” standards that should be met for such structures.

DRAFT POLICY PROPOSAL

The specific policy shifts that the HRB is putting forth for consideration are in the table on the left-hand column. On the right are reasons why the HRB is proposing the policy.

An addition or alteration to a non-designated property in the McLoughlin Conservation District may be exempt from review by the Historic Review Board if it meets the following criteria:

<i>Draft policy</i>	<i>Comments/rationale</i>
<p>1. No building permits to construct additions, alterations that affect floor area, or new freestanding construction have been issued for the subject property within the last 2 years;</p>	<p><i>The current code language uses the phrase “original structure,” but that is difficult for staff or owners (especially a new owner) to figure out. A baseline point of 2 years in the past for an existing building ensures that owners can’t keep piling new additions on previous additions without the HRB’s review. Using building permits will capture most work, and it is easily trackable for staff and owners.</i></p>
<p>2. For additions or alterations to an existing structure, a. Alterations that affect the roof of an existing primary building may not change the height of the overall roof more than 4”, and no part of the addition may be taller than the tallest part of the existing roof structure (ridge line or parapet edge).</p>	<p><i>Many of the non-designated structures in McLoughlin are potentially historic, and changing the roof is a very major change. Raising the existing roof should therefore not be allowed (without HRB review). An addition, using this allowance, should not be taller than the existing roof or ridgeline. A 2-story addition, though, is fine as long as the existing building is 2-story. A plus-minus 4 inches allows an owner to replace all or part of a roof if necessary.</i></p>

<p>b. Alterations or additions may be no larger than 30% of the size of the original structure as it was 2 years before application date, or 700 SF in footprint.</p>	<p><i>The HRB felt that the existing 30% allowance works fairly well, as long as there is an added height limit (above). Adding in a cap will prevent large buildings in the district (commercial buildings, etc) from adding a very large addition. 700 SF represents 30% of a house of about 2330 SF, or about 35 x 20.</i></p>
<p>i. The size of the original structure and the size of the proposed addition shall be measured by their footprint area as defined by OCMC 17.04.483.¹</p>	<p><i>The existing code offers a good method for measuring a building’s existing and proposed addition areas, providing clarity for staff and homeowners. Using “footprint” as defined does include outdoor roofed areas that are supported by posts. This definition works well because outdoor roofed areas have a greater visual impact than non-roofed outdoor areas. Also, owners would not be tempted to create an addition with minimal eaves just to gain more addition area, because horizontally cantilevered eave areas are NOT counted.</i></p>
<p>c. Proposed new decks or balconies at an upper level may be no larger than 50 SF, whether covered or uncovered. Note that an addition of a roofed deck (if the roof is supported on posts) will be counted as part of the 30% allowance.</p>	<p><i>Not counting new decks or balconies as part of the 30% allowance does not mean that they have to be allowed outright, at any size. The HRB wanted to allow for new upstairs balconies, but still limit them to a reasonable size. 50 SF, or 5 x 10, seems adequate.</i></p>
<p>d. Proposed new decks that are accessed from the ground floor of an existing building are allowed (permits are required if over 30” from grade), and are not counted as part of the 30% additional area allowed without HRB review (unless the deck has a roof supported by posts).</p>	<p><i>Ground floor decks, even if over 30” from grade (the height at which they need a building permit), are proposed to be simply allowed. They will be subject to setback requirements. The HRB had some concern about front yard decks, but believes that in most circumstances, home owners who want a front yard hard-surfaced area would likely want a patio or low deck, which would not require a permit.</i></p>
<p>3. For new freestanding construction, a. New small freestanding dwelling units with footprint not to exceed 500 SF and a height not to exceed 15’ is allowed as a Type I staff review and must meet the</p>	<p><i>The HRB (and the residents of McLoughlin) support an easier path to small dwelling units in the neighborhood. The HRB recognizes that a review in front of the HRB can be a disincentive, so creating a new policy document to spell out materials and other details will help to bring compatible construction and</i></p>

¹ “Footprint” as defined in OCMC 17.04.483 - Footprint means “the horizontal area as seen in plan, measured from outside of all exterior walls and supporting columns. It includes dwellings, garages, carports, and accessory structures, but not trellises, patios, and areas of porch, deck, and balcony less than 30 inches from finished grade, or cantilevered covers, porches or projections which do not have a post touching the ground or ramps and stairways required for access.”

<p>restrictions in (future) HRB Policy document 13.</p>	<p><i>new housing. 500 SF in footprint is still quite a small unit, but does allow for a separate bedroom and bathroom, which is workable for more people as a living space. Anything smaller is generally a “studio” with bed, kitchenette, and living space all in one room. See below for height comment.</i></p>
<p>b. New freestanding accessory buildings (non-habitable) may have a footprint not to exceed 310 SF and a height not to exceed 15’.</p>	<p><i>The HRB recognizes that the current 200 SF size allowed without HRB review (or a permit) is quite small even for a single-car garage. Most people would like some storage space in addition to parking a car. A very large car might be about 6’ by 18’, so including space for circulation and a small amount of storage, a single-car garage might be 310 SF. The 15’ height (as measured to the center of roof pitch) would allow for a small loft storage area as well.</i></p>

A few additional potential questions from the City Commission might include:

1. Using the “footprint” definition means that only one story of an addition will count as part of the 30%. Did the HRB mean for a home owner to get an upper story addition area “for free” without counting it as part of the 30%?

Due to the roof alteration height limitation, the addition should be generally compatible with the existing structure, even if it is two stories in height.

2. Should an addition to an outbuilding or garage be treated differently than an addition to a primary building?

No different; these secondary structures can use the same rules as primary buildings.

NEXT STEPS

The HRB will request the City Commission’s support to implement these changes, and it is important to note that the changes are strongly supported not only by the HRB but also by staff and the majority of McLoughlin Conservation District survey respondents and meeting attendees. If the City Commission provides direction to move forward with the Legislative process, a proposed redlined code and a new HRB Policy on small dwelling units will be created. Future HRB meetings will review this work before the start of the legislative hearing process.

A future worksession session will be scheduled with the City Commission once the redline code package and newly created HRB policy on small dwellings are ready for adoption prior to Legislative hearings.