



CITY OF OREGON CITY HISTORIC REVIEW BOARD AGENDA

Virtual Meeting
Tuesday, August 22, 2023 at 7:00 PM

This meeting will be held online via Zoom; please contact ocplanning@orc.org for the meeting link.

CALL TO ORDER

APPROVAL OF MINUTES

1. Please review minutes prior to meeting.

PUBLIC COMMENT

Citizens are allowed up to 3 minutes to present information relevant to the City but not listed as an item on the agenda. To assist in tracking your time, refer to the timer at the dais. Prior to speaking, citizens shall complete a comment form and deliver it to the Staff Member. When the Chair calls your name, proceed to the speaker table and state your name and city of residence into the microphone. The Historic Review Board Officers do not generally engage in dialog with those making comments but may refer the issue to the City Manager.

PUBLIC HEARING

2. GLUA-23-00023/HR-23-00007 Installation of the Cayuse 5 Tribute Project on the McLoughlin Promenade, a designated historic structure. The City of Oregon City, in partnership with the Confederate Tribes of the Umatilla Indian Reservation (CTUIR), seek to honor the five Cayuse men who were unjustly taken into custody, charged, and hanged in Oregon City territory in 1850. The Tribute will be located in the existing public park adjacent to the McLoughlin Promenade.
3. The Applicant is requesting to use a metal cable railing on a rear deck replacement, which cannot be approved on a staff level per . Anne Park House- 1315 JQ Adams Street.

OTHER BUSINESS

4. 2023-2025 Biennium Work Plan- Initial Discussion

COMMUNICATIONS

ADJOURNMENT

PUBLIC COMMENT GUIDELINES

Complete a Comment Card prior to the meeting and submit it to the City Recorder. When the Mayor/Chair calls your name, proceed to the speaker table, and state your name and city of residence into the microphone. Each speaker is given three (3) minutes to speak. To assist in tracking your speaking time, refer to the timer on the table.

As a general practice, the City Commission does not engage in discussion with those making comments.

Electronic presentations are permitted but shall be delivered to the City Recorder 48 hours in advance of the meeting.

ADA NOTICE

The location is ADA accessible. Hearing devices may be requested from the City Recorder prior to the meeting. Individuals requiring other assistance must make their request known 48 hours preceding the meeting by contacting the City Recorder's Office at 503-657-0891.

Agenda Posted at City Hall, Pioneer Community Center, Library, City Website.

Video Streaming & Broadcasts: The meeting is streamed live on the Oregon City's website at www.orcity.org and available on demand following the meeting. The meeting can be viewed on Willamette Falls Television channel 28 for Oregon City area residents as a rebroadcast. Please contact WFMC at 503-650-0275 for a programming schedule.



CITY OF OREGON CITY

Staff Report

625 Center Street
Oregon City, OR 97045
503-657-0891

To: Historic Review Board
From: Kay Neumann, Administrative Assistant

Agenda Date: 08/22/2023

SUBJECT:

Historic Review Board Minutes Approval

STAFF RECOMMENDATION:

Staff recommends HRB approve the meeting minutes listed below and attached for your review

BACKGROUND:

Please find multiple meeting minutes attached for review to be approved at the next meeting. These are meeting minutes that have no record of being approved. Staff understands that previous Historic Review Board Members may have been on the Board at the time, but we are asking that you review and agree to allow them to stand as written so that they can be published for the public to view as needed. A backlog of minutes that have not been approved exists because of insufficient staff time and turnover issues. In the past, an outside contractor was used to create the minutes for City Commission Meetings only and as staff time became more and more limited the contractor took over this responsibility for other committees supported by Community Development, including Historic Review Board.

The City Recorder's office conducted an audit of all minutes for the City's public meetings and found there were a large number of minutes that were not drafted, were drafted but not approved, or were posted on-line and not approved. The City Recorder used the audit to create a tracking log of the disposition of each meeting. Based on this information staff will include minutes from previous meetings on each agenda until all drafted minutes are approved. The intention in the future is to bring minutes back for approval closer to the original meeting date.

Minutes in this packet include:

1. April 22, 2014
2. June 24, 2014
3. July 22, 2014

4. August 26, 2014
5. September 23, 2014
6. October 28, 2014
7. November 17, 2014
8. December 15, 2014

NOTE: These can all be approved as a single motion and do not need to be approved individually. There will be additional sessions with multiple meeting minutes. The City is in the process of devising a plan to fill in the many meetings where minutes have not yet been transcribed.



City of Oregon City

625 Center Street
Oregon City, OR 97045
503-657-0891

Item #1.

Meeting Minutes - Draft

Historic Review Board

Tuesday, April 22, 2014

6:00 PM

Commission Chambers

1. Call to Order

Vice Chair Siewert called the meeting to order at 6:17 PM.

Present: 3 - Cynthia Towle Jonathan Stone and Robert Siewert

Absent: 1 - Jon McLoughlin

Staffers: 1 - Christina Robertson-Gardiner

2. Discussion Items

Preservation Month Activities

Christina Robertson-Gardiner, Planner, announced the upcoming Preservation Month Photo Contest starting May 1 and going to June 15. Awards would be presented in July at a City Commission meeting. She had only received one nomination for the Ruth Powers Preservation Award. If there were more nominations, she asked that they be turned in soon so the Board could vote. Awards would be presented at the May 7 City Commission meeting. They City had received approval for a Certified Local Government grant which would be used for three products, Ermatinger House restoration, mailing to 500 property owners of locally designated properties, and brochure on the Elevator, Carnegie Library, and Promenade in celebration of their imminent national register listing. She gave an update on the Ermatinger House restoration project. The house would be lifted in late July to September to address the structural issues of the house. She explained how the house would be restored as much as possible to what it was in 1844. She would bring back a full public review to the HRB in the summer.

Vice Chair Siewert adjourned for dinner at 6:32 PM.

3. Break for Dinner- Meeting Will Resume at 7:00 PM

4. Public Hearing

HR 14-04 Modification to Mike's Drive-in (HR 13-04)

Vice Chair Siewert reconvened the meeting at 7:00 PM.

Mr. Siewert opened the public hearing and read the public hearing statement. He asked if any member had any ex parte contact, bias, or conflict of interest to declare. There was none. All members had driven by the site.

Ms. Robertson-Gardiner presented the staff report. The HRB reviewed and approved the construction for Mike's Drive In last fall and all of the conditions on that application were still valid. This was a modification to two parts of the application. The changes were shifting the restaurant and offices to the south onto the adjoining property the applicant recently purchased and enlarging and wrapping the covered arcade area around the corner onto Madison Street and the parking in the back. She read the McLoughlin Neighborhood Association comments about the changes which they thought were appropriate. She thought it was a continuation of the existing materials and did not see any additional conditions to require. She recommended approval as proposed.

Todd Freeman, applicant, clarified the building was shifting ten feet to the south. It would create a nicer corner area for people to sit outside. They tried to buy the property earlier, but the owner was not willing to sell it until recently. He thought this new design would fit the corner a lot better.

Greg Creighton, architect, pointed out that no materials had been changed. The building had been shifted ten feet to the south and a foot and a half to the north to enlarge the depth of the corner. They were able to increase landscaping and there would be more parking spaces with a better flow. He asked Ms. Robertson-Gardiner to restate the conditions of approval from the original application.

Ms. Robertson-Gardiner read the three conditions.

Mr. Creighton said hardie plank was not available in a four-inch lap, but it was in a five inch lap. The drawings now showed Cedar on the office building to comply with the four -inch.

Ms. Robertson-Gardiner clarified that they would buy the five inch and the reveal would be four inches.

Mr. Creighton asked for a five inch reveal instead of a four-inch reveal. Mr. Freeman was under the impression that they could do a six inch on the restaurant, and a four inch on the two sides that were exposed on the office.

Ms. Robertson-Gardiner explained they had recommended the office and restaurant look different even though it was the same building, but upon further review there was a question whether the two different sidings with the batten was too complicated and expensive. The idea was to break up the massing, but there were other ways to do that.

Ms. Towle thought the back should mirror the front.

Mr. Siewert clarified the question was the back reveal and whether to continue the four inch all the way across and making a four-inch reveal with a different material.

Mr. Creighton retracted his request for a five-inch reveal.

Denyse McGriff, representing the McLoughlin Neighborhood Association, said her understanding was though it was one building, there were two different uses and one would be six inch and the other four inch and different colors. She did not have a problem with how it was proposed. There was no objection to shifting the building and the Association was in support of the project moving forward.

Mr. Freeman was fine with the four- and six-inch reveals. He thought to get the four inch it had to be Cedar siding which was expensive. If there are other materials he could use, he was fine with the four and six as proposed.

Mr. Siewert closed the public hearing.

Mr. Siewert proposed approving the modifications as proposed and the leaving the four and six on the back reveal, and if the applicant had a problem with the four, he could come back to the HRB.

A motion was made by Mr. Stone, seconded by Ms. Towle, to approve HR 14-04 as proposed not including the verbal addition of the back reveal. The motion carried by the following vote:

Aye: 3 - Cynthia Towle, Jonathan Stone and Robert Siewert

5. Communications

There were no communications.

6. Adjournment

Vice Chair Siewert adjourned the meeting at 7:40 PM.



City of Oregon City

Meeting Minutes - Draft

Historic Review Board

625 Center Street
Oregon City, OR 97045
503-657-0891

Commented [CK1]:

Tuesday, June 24, 2014

6:00 PM

Commission Chambers

1. Call to Order

Chair McLoughlin called the meeting to order at 6:03 PM.

Present: 4 - Jon McLoughlin, Derek Metson, Jonathan Stone and Cynthia Towle

Absent: 1 - Robert Siewert

Staffers: 1 - Christina Robertson-Gardiner

2. Presentation

Linn Avenue, Leland Road & Meyers Road Corridor Plan

Christina Robertson-Gardiner, Planner, introduced John Burrell, Public Works, who gave an overview of the project.

Mr. Burrell said the project came out of the City's Transportation System Plan to address pedestrian and bicycle needs and improve safety through the Linn/Leland/Meyers Road corridor. Because the project touched the border of the McLoughlin District, he had come that night to find out if there was anything staff needed to take into account as they were finalizing the report. He explained Segment 1 of the project which was from 5th and Jackson to Park Drive. Comments he had received from citizens were a need to improve safety by reducing speeding and putting in sidewalks. He reviewed Alternative A, which was a shared use path on one side for pedestrians and bicyclists and Alternative B which would have sidewalks on both sides of the road.

There was discussion regarding the constraints on that segment of road and the costs for the improvements.

Ms. Robertson-Gardiner said the City needed an adopted corridor plan for development to help pay for some of the projects as well as the ability to apply for grants.

Mr. Burrell discussed the proposed five leg roundabout off of Central Point and potential routes for pedestrians and bicyclists on Linn Avenue.

Ms. Robertson-Gardiner said there were existing sidewalks on Linn Avenue, but not consistently, and the feedback she had given Mr. Burrell was that they were not integral inside the historic Rivercrest plat.

The HRB did not think the proposed improvements would affect the historic nature of Rivercrest as they would be outside of the area.

3. Break for Dinner- Meeting Will Resume at 7:00PM

Chair McLoughlin recessed the meeting at 6:31 PM for dinner and reconvened the meeting at 7:00 PM.

4. Public Hearing

HR 14-05 205 3rd Avenue

Approval to use an alternate material to replace the original aluminum windows with vinyl on a 1970s 4plex in the Canemah National Register District

Chair McLoughlin opened the public hearing and read the public hearing statement. He asked if any Board member had conflicts of interest or ex parte contacts to declare. There was none. Mr. Metson had visited the site.

Ms. Robertson-Gardiner presented the staff report. Along with the application, she was looking for direction on further instances within Canemah for non-contributing, non-historic structures when in-kind replacement materials were not readily available. She wanted to know if staff should approve those instances, or if the HRB wanted to look them over case by case. This application was for a 1970s four-plex located in the Canemah National Register District. All structures in Canemah had to come for a review for exterior alterations. The applicant recently purchased the property and wanted to replace the windows. The opportunities for an in-kind replacement were very low as they were 1970s metal windows. The questions for the HRB were as follows: Was this architecture to the level that the Board thought the applicant should be held to the standard of finding windows that matched the originals? When this structure became 50 years old, did it have architectural integrity that it would one day be a landmark? She did not think it had the architectural integrity to be included as a contributing structure because the period of significance in Canemah was 1850 to 1932. She supported replacement of the windows with vinyl windows.

Gary Clark, resident of Oregon City, was the applicant. He had gone around the neighborhood and there were a lot of other homes that had vinyl windows. He saw no other homes with aluminum windows. He had looked into purchasing aluminum windows but could not find a suitable replacement. The windows he would select would conform visually with the existing homes. There was no architectural significance with the windows and vinyl windows were the typical replacement for these types of windows.

There was discussion regarding what the vinyl windows would look like. Mr. Clark would repaint the building and replace a few doors as well.

Ken Basinger, resident of Oregon City, was representing the Canemah Neighborhood Association. The Association supported staff's recommendation based on the definition of in-kind replacement. The position that vinyl windows held in today's market was the position that was formerly held by aluminum windows in the 1960s and 1970s, which made vinyl windows an in-kind replacement as much as possible. The Association did not want to make this a universal endorsement for this kind of replacement. It should be considered on a case-by-case basis. This one was unique as it was visually isolated from all of Canemah and would not conflict with the historic homes.

Denyse McGriff, resident of Oregon City, thought yearly notification to people in the historic districts needed to be done so people would know what was expected in the district. She offered an alternative as she was not in favor of vinyl windows. She suggested putting in a different type of metal window to make the building more compatible. If the HRB approved the vinyl windows, she hoped they would not be white ones as it made them stand out. She agreed they did not want to establish a precedent for this and it should be a case-by-case basis.

Mr. Clark gave a rebuttal. He said there was not an in-kind replacement. As far as the windows and trim being white, most of the other windows in the district were white and he did not think they would be out of standard. The application met all of the requirements.

Chair McLoughlin closed the public hearing.

Mr. Metson said there were thermally improved aluminum windows that could be used. He did not think the building would be contributing in the future. He thought these types of applications should be looked at on a case-by-case basis. He agreed with Mr. Clark about the color. These windows were specific sizes and replacements were not readily available.

Ms. Towle said it was not the HRB's role to make an architecturally insignificant property into an architecturally significant property by asking the owner to put in certain kinds of trim or windows. There were many non-conforming properties in Canemah and she did not think they should put the burden on the owner to go over and above what was necessary.

Mr. Stone thought the introduction of trim changed the style of the building. If there was a chance the building would ever become contributing, by introducing trim and vinyl windows it might rob it of that opportunity. He did not think the building was going to be contributing.

Chair McLoughlin did not think this building was historic on any level. He agreed the windows were difficult to match and trying to enhance it and make it something it was not would only hinder the look and detract from the district. Bringing new windows in with the trim would enhance the property. It should be a case-by-case situation.

Mr. Stone said if the building was built today, they would use vinyl windows and the trim would help dress the building up. It was logical for the in-kind to go from aluminum to vinyl, although the trim did not make sense with the in-kind.

Chair McLoughlin re-opened the public hearing.

Mr. Clark said if the aluminum windows were available, the replacements would still need flanges on the outside to attach the windows to the structure which would be covered up by trim. It would be the same scenario regardless.

Ms. McGriff wanted to know how many windows were being replaced and what was the extent of the applicant's research for finding replacements.

Mr. Baysinger said regarding the trim, typically upgraded 1970s windows had wood trim on the front. It would be consistent with the architecture of this building to do that. It would take it from the original entry level design to half a notch up to the front side

design.

Mr. Clark said 19 windows would be replaced. He had checked Home Depot, Lowes, Canby Builders Supply, and online for replacements.

Chair McLoughlin closed the public hearing.

Chair McLoughlin said one of the findings would be for the windows to have a minimum of 1 x 4-inch trim. Mr. Metson said the reason for approval of the vinyl windows was because it was a non-historic, non-contributing building. Chair McLoughlin thought the direction for staff was these types of applications should be brought to the HRB on a case-by-case basis.

A motion was made by Mr. Metson, seconded by Ms. Towle, to approve HR 14-05 with the findings as discussed. The motion carried by the following vote:

Aye: 4 - Jon McLoughlin, Derek Metson, Cynthia Towle and Jonathan Stone

5. Communications

Ms. Robertson-Gardiner said there was someone who just purchased a property who would be coming to the HRB next month for design advice and wanted to introduce himself.

Mr. James was coming in for an addition to a non-contributing structure. He would be asking for help on the design to improve and enhance the property.

Ms. Robertson-Gardiner said it was a mid-century modern building and there were a lot of views looking up from downtown.

There was discussion regarding the possible constraints on the property.

6. Adjournment

Chair McLoughlin adjourned the meeting at 7:53 PM.



City of Oregon City

Meeting Minutes - Draft

Historic Review Board

625 Center Street
Oregon City, OR 97045
503-657-0891

Tuesday, July 22, 2014

Commission Chambers

6:00 PM

1. Call to Order

Chair McLoughlin called the meeting to order at 6:10 PM.

Present: 4 - Jon McLoughlin, Jonathan Stone, Cynthia Towle, Robert Siewert

Absent: 1 - Derek Metson

Staffers: 3 - Christina Robertson-Gardiner, Scott Archer, Maureen Cole

2. Presentation

PC 14-079 Ermatinger House Construction Update

Christina Robertson-Gardiner, Planner, said the goals for the presentation were to get HRB concurrence that the three exterior alterations were a staff-level approval and to give a construction update. The three alterations were the ADA ramp, stairs to the basement, and foundation.

Scott Archer, Community Services Director, said the restoration project had begun and he gave a background on the process including funding, contract for the project, and timeline.

Ms. Robertson-Gardiner discussed the three outside modifications. The ADA ramp would be put on the side porch which was a 1920s addition to the house. There was not a full foundation currently and a full basement would be excavated. It would not be habitable space but used for storage and the HVAC system. There would also be new concrete stairs to the basement. The foundation would be exactly the level that they assumed it would have been before it was moved from its original location. She asked for concurrence that these items would be staff-level approval or if it required an HRB land use application. She thought they were reasonable and preferred proposals.

There was consensus for the three alterations to stay as staff-level approval.

3. Design Advice

PC 14-80 Carnegie Library Process Update and Preliminary Design Advice

Maureen Cole, Library Director, said they were at the preliminary stages of design for the Library expansion project, and she was looking for HRB direction. She introduced Sid Scott, architect for the project, and Charlie Bauman, Project Manager.

Mr. Scott discussed the previous three renderings that had been done by another architectural firm. Some considerations were whether to have a two-story or one-story

addition, preserving the open space and canopy of the park, elements of the existing building that should be incorporated into the addition, need for symmetry or not, and how to make it subordinate to the Carnegie building.

Board Member Towle said in Oregon City they wanted to compliment, not replicate, the historic building. She did not want to see a totally separate building, but to add something to the back of the Carnegie. She also wanted to leave as much park to still use it as a park. She liked the two-story and windows to let in light.

Chair McLoughlin thought it would be difficult to get neighborhood association approval.

Board Member Stone did not want it to compete with or replicate the existing structure.

Board Member Siewert thought it should fit with the tone and tenor of the existing building.

Chair McLoughlin adjourned the work session at 7:00 PM.

4. Break for Dinner

5. Public Comment

Chair McLoughlin called the meeting to order at 7:10 PM.

Ms. Robertson-Gardiner said the policy was for people who received preservation grants before, that they had to wait to submit another application until January. She wanted to know if the HRB wanted to continue that policy or due to the lack of applications the HRB would be supportive of suspending the rule. The applicant would like to come back next month with an application.

Jay Pierce, resident of Oregon City, was the applicant for the Babcock House at 1214 Washington Street. The initial grant was awarded in January 2013 for replacing the water board and drip rails. When they removed the old lead paint, there were repairs that needed to be done. He would like to apply early because they were in the middle of the project.

Chair McLoughlin thought they should suspend the rule. Board Member Towle agreed. She would rather see the money used for someone putting forth a lot of work.

Board Member Siewert said the policy was in place to encourage new applicants. He was concerned it would set a precedence.

Ms. Robertson-Gardiner said the decision was whether or not to waive the policy for this year and revisit it next year. The money could not be carried over and it would go back into the General Fund if not used.

Denyse McGriff, resident of Oregon City, thought because no one else applied last year and with the work that was being done at the Babcock House, it was a reasonable request. She supported waiving the policy for this year.

A motion was made by Board Member Siewert, seconded by Board Member Towle, to waive for a one-year period the timeline requirement of the grant applications. The motion carried by the following vote:

Aye: 4 - Board Members McLoughlin, Towle, Stone, and Siewert

6. Public Hearing

PC 14-081 HR 14-06 304 Caufield Street Removal of an existing one-car garage and construction of a new detached garage and second floor living space on a designated landmark.

Chair McLoughlin opened the public hearing and read the hearing statement. He asked if any board member had a conflict of interest or ex-parte contact to declare. There was none. Chair McLoughlin, Board Member Towle, and Board Member Siewert had visited the site.

Ms. Robertson-Gardiner presented the staff report. She added Exhibits A and B into the record. This was a landmark located outside of the two historic districts. The property owner wanted to take an existing one-car garage and shed and replace it with a two-car garage with a new living space above for a family member. This was new construction being added to a historic structure which met the balance and compatibility that staff was looking for. She showed picture of the layout and renderings of the proposed garage. The property was close to a geologic hazard area and the applicant would be working with engineering staff to meet code. She then reviewed the recommended conditions of approval.

Judy Schaeffer, resident of Oregon City, was the applicant. Marcy Markesh was the architect. Ms. Schaeffer said the living space would be for her mother. She loved her house and property and did not want to move, however, her house had narrow and steep stairs with the bedrooms upstairs and she did not want her mother to go up and down the stairs. There was no place on the lower level to put a bedroom. Ms. Markesh said the intent was to include several details from the house including the window and door trim and corner boards. The front of the garage would stay behind the front of the house. A geotechnical report was conducted and showed that additional drainage under the garage was needed.

Chair McLoughlin thought there should be knee braces to match the house.

Ms. Schaeffer built the shed out of scraps and salvaged materials including the windows. She built it seven years ago and it did not have historic value. It was used to store firewood and a garden table, and she planned to remove it.

There was no other public testimony.

Chair McLoughlin closed the public hearing.

Ms. Robertson-Gardiner said an additional finding would be that the outbuilding was not historic. Changes to the conditions were as follows: the lighting and doors were acceptable as described in Exhibits A and B which would be added to Condition 4, remove Condition 5, and add Condition 6, the applicant shall install three knee braces on the front of the new structure that were proportional and compatible to the historic house.

A motion was made by Board Member Towle, seconded by Board Member Siewert, to approve HR 14-06 with the findings and conditions as stated by staff. The motion carried by the following vote:

Aye: 4 - Board Members McLoughlin, Towle, Stone, and Siewert

7. Communications

8. Future Agenda Items

Ms. Robertson-Gardiner reviewed the future agenda items.

9. Adjournment

Chair McLoughlin adjourned the meeting at 8:15 PM.



City of Oregon City

625 Center Street
Oregon City, OR 97045
503-657-0891

Item #1.

Meeting Minutes - Draft

Historic Review Board

Tuesday, August 26, 2014

6:00 PM

Commission Chambers

1. Call to Order

Chair McLoughlin called the meeting to order at 6:00 PM.

Present: 3 - Jon McLoughlin, Robert Siewert, Derek Metson, Cynthia Towle and Jonathan Stone

Staffers: 1 - Christina Robertson-Gardiner

2. Discussion Items:

PC 14- 096 PG 14-01 1214 Washington Street

*Applicant Jay Pierce was not present, but the board agreed to proceed. **Motion made by Mr. Metson, seconded by Ms. Towle to approve PG 14-01. The motion carried by the following vote: Aye: 5-*** Jon McLoughlin, Cynthia Towle, Jonathan Stone, Robert Siewert and Derek Metson.

After deliberation, the HRB approved this Preservation Grant request 4-0.

Willamette Falls Legacy Project: Master Plan: CP 14-02, Zone Change and Text Amendment: ZC 14-03, Comprehensive Plan Map Amendment and amendments to ancillary documents of the Comprehensive Plan: PZ 14-01.

As a city policy body, staff was requesting Historic Review Board advice and direction on this application in preparation for the September Planning Commission hearings. Ms. Robertson-Gardiner presented the upcoming land use project and the role the HRB can play in the approval process. The HRB thanked staff for the explanation of the project.

3. Break for Dinner- The Meeting Will Resume at 7:00 PM

4. Public Hearing

HR 14-08- 920 7th Street.

Chair McLoughlin opened the public hearing.

The applicant is proposing a two-story commercial/residential building. The architects present walked through design changes.

Denyse McGriff representing the McLoughlin Neighborhood Association (MNA), supported the changes from the three-story to the two-story. There was discussion on texture coatings.

After deliberation the Historic Review Board voted 4-0 (abstain Metson) to conditionally approve the applicant's request to construct a new residential building in the McLoughlin Conservation District and providing additional findings relating to architectural details of the building.

Finding: The Historic Review Board supported the reduction in the height of the ground floor to 10 feet.

This reduction was appropriate in the 7th Street Corridor/McLoughlin Conservation District and reduced the massing of the proposed new construction.

Conditions:

1. Per HR 12-02, C-Channel railings are not allowed. Exposed fasteners shall be minimized to the extent practicable.

Motion made by Robert Siewert and seconded by Cynthia Towle to approve HR 14-08 with the conditions mentioned. The motion carried by the following vote: Aye:

4- Jon McLoughlin, Cynthia Towle, Jonathan Stone, Robert Siewert (Mr. Metson abstain).

HR 14-07- 815 Washington Street

After deliberation the Historic Review Board voted 4-0 (Mr. Siewert abstain) to conditionally approve the applicant's request to construct a new residential building in the McLoughlin Conservation District and providing additional findings relating to architectural details of the building. Applicant Denyse McGriff provided background information.

Rich Wilhelme, co-chair of the MNA, provided support for the garage replacement.

Historic Review Board approved the application with the following conditions:

1. Incised lumber or pressure treated wood shall not be used on any visible surfaces.

2. All exterior doors and lighting shall be approved by staff before installation unless already approved by the Historic Review Board.

3. The Historic Preservation Incentive is approved. The applicant may construct the new garage with the proposed .83-foot sideways setback.

Motion made by Cynthia Towle and seconded by Robert Siewert to approve HR 14-07 with the conditions mentioned. The motion carried by the following vote. Aye:

4- Jon McLoughlin, Cynthia Towle, Jonathan Stone, Robert Siewert (Mr. Metson abstain).

5. Communications

6. Future Agenda Items

7. Adjournment

Chair McLoughlin adjourned the meeting.



City of Oregon City

625 Center Street
Oregon City, OR 97045
503-657-0891

Item #1.

Meeting Minutes - Draft

Historic Review Board

Tuesday, September 23, 2014

6:00 PM

Commission Chambers

Revised

1. Call to Order

Chair McLoughlin called the meeting to order at 6:00 PM.

Present: 4 - Jon McLoughlin, Jonathan Stone, Derek Metson and Cynthia Towle

Absent: 1 - Robert Siewert

Staffers: 2 - Christina Robertson-Gardiner and Maureen Cole

2. Presentation

Carnegie Library Update

Maureen Cole, Library Director, said this was an update on the Carnegie Library addition. Staff had been holding many meetings to go through the site concept process. There had been five options that had been vetted with many stakeholders and the City Commission narrowed it down to two options. Staff was going to do more study on those options and come back to the Commission in October to choose one option for schematic design. The architects would present the two options to the HRB and answer any questions.

Joan Jasper, architect, and Ozzie Frederick, historic expert, discussed the preliminary designs for the two-story option and the one story wrap option. They also discussed the design challenges for an addition bigger than the historic building and how they tried not to make it the focus of the site. There was also discussion on possible seismic upgrades for the original library.

The HRB made comments and recommendations on the options and discussed future expansion. The HRB thought both designs were appropriate and met the requirements, however it would come down to materials that were used and how the new building was connected to the Carnegie. The addition should not overpower the Carnegie.

Chair McLoughlin adjourned the work session at 6:46 PM.

Break for Dinner- Meeting Will Resume at 7:00PM

3. Design Advice

PC 14-115

Design Advice Canemah Infill

Chair McLoughlin called the meeting to order at 7:00 PM.

Christina Robertson-Gardiner, Planner, said the design advice was for future applicants to come in at the beginning of the design phase and provide initial information. The HRB could provide feedback, and they were non-binding comments. The video of the meeting would be submitted into the record as well as all of the materials in the packet.

Gregg Creighton, architect, and Ron Bistline, owner of 716 4th Avenue, said this was a highly constrained lot of record that was behind the owner's relatives. They understood the geologic hazard issues and Natural Resource Overlay District issues. They were leaning toward a vernacular style and an easement would go across the property for access onto 4th Street. They explained the design of the two-story home with garage underneath. They discussed the two options for the 4th Street elevation.

There was discussion regarding the columns, shed roof, how the design fit with neighboring properties, wrap around porch, massing, front gable, garage, and vernacular vs. bungalow style.

Discussion on fence code revisions

Ms. Robertson-Gardiner introduced an agenda item for the next HRB meeting. It was a need for a historic review policy about corner side yard fences. There was a historic house that recently put up a six-foot wooden fence. The HRB's job was to ensure the architectural integrity of the house was retained and fences could be modified and removed. She explained the current fence code and how enforcement could be an issue if the setbacks were more than the current fence code.

There was discussion regarding whether to add language similar to what was already in the code or look at more options in a work session. The HRB consensus was to look at the options in a work session.

4. Adjournment

Chair McLoughlin adjourned the meeting at 8:07 PM.



City of Oregon City

625 Center Street
Oregon City, OR 97045
503-657-0891

Item #1.

Meeting Minutes - Draft

Historic Review Board

Tuesday, October 28, 2014

6:00 PM

Commission Chambers

1. Call to Order

Chair McLoughlin called the meeting to order at 6:03 PM.

Present: 2 - Jon McLoughlin, Jonathan Stone and Cynthia Towle

Absent: 2 - Robert Siewert and Derek Metson

Staffers: 1 - Christina Robertson-Gardiner

2. Discussion Items

Public Comment

Paul Edgar, resident of Oregon City, discussed the Restore Oregon document and principles for in-fill in national register historic districts like Canemah. He would like a document to hand out to applicants that outlined these principles for in-fill in Canemah and compare these principles from Restore Oregon to what they were doing in the City.

Chair McLoughlin said this could be an item to include in the HRB goals discussion.

Historic Review Board Fence Policy

Christina Robertson-Gardiner, Planner, presented information on the Historic Review Board Fence Policy. She explained everything in front of the foundation was considered the front yard and a three and a half foot fence was allowed. Once the plane of the foundation was crossed, everything to the side and rear could be a six foot fence. She gave examples of people not understanding the definition of what was corner side. The corner side yard was not defined as it was next to the frontage of the house. She thought it should be more specific and allow for an opportunity for unique situations to come to the HRB.

There was discussion regarding possible changes to the policy to address the issue.

There was consensus to state the policy was the standard. If applicants wanted to deviate from the standard, they can bring it before the HRB. Ms. Robertson-Gardiner suggested grandfathering in existing fences.

This would be brought back to the HRB in January.

3. Communication

Historic Review Board Work Plan

Ms. Robertson-Gardiner said in January they would be looking at the HRB's 2015

goals. She gave an update on what items had been completed on the 2014 goals list. She was working on releasing a bid request for graphic design of the homeowner's education packet and historic pamphlets for the Library, Elevator, and Promenade. The Elevator, Library, and Promenade were to be listed on the national register in June. She would be meeting with the GIS specialist to create a user-friendly GIS mapping platform to click on a building and the historical survey form would pop up. The Planning Commission recommended approval of the Willamette Falls Master Plan and the City Commission approved the first reading of the Master Plan Ordinance and would be voting on the second reading on November 5. She discussed the next steps for the project and the River Walk design.

4. Preservation Grant

Preservation Grant PG 14-02

Ms. Robertson-Gardiner said the applicant had received a grant in 2009 for a sliding glass door on the north elevation. This was a different application to remove a door that currently led nowhere that had been used for egress access when it was a convalescent home. The applicant was planning to replace the door with a wood window and siding. They were already working with a contractor and did not get two bids. No work done prior to that night would be eligible for the grant. The request was for a \$1,000 grant.

Kathleen McKenzie, applicant, said there was a window on the opposite side of the wall, and she wanted to make the windows match. The molding would match with the rest of the house.

A motion was made by Ms. Towle, seconded by Mr. Stone, to approve PG 14-02. The motion carried by the following vote:

Aye: 3 - Jon McLoughlin, Cynthia Towle and Jonathan Stone

5. Public Hearing

Request for Continuance HR 14-09 -Modification to reduce the height of a previously approved request for New Construction in the McLoughlin Conservation District (HR 14-03)

Chair McLoughlin opened the public hearing.

There was no public comment.

A motion was made by Mr. McLoughlin, seconded by Ms. Towle, to continue HR 14-09 to November 17, 2014. The motion carried by the following vote:

Aye: 3 - Jon McLoughlin, Cynthia Towle and Jonathan Stone

6. Adjournment

Chair McLoughlin adjourned the meeting at 6:55 PM.



City of Oregon City

625 Center Street
Oregon City, OR 97045
503-657-0891

Item #1.

Meeting Minutes - Draft

Historic Review Board

Monday, November 17, 2014

6:00 PM

Commission Chambers

Special November Meeting Date

1. Call to Order

Chair McLoughlin called the meeting to order at 6:00 pm.

Present: 2 - Jon McLoughlin Jonathan Stone, Derek Metson and Cynthia Towle

Absent: 1 - Robert Siewert

Staffers: 2 - Christina Robertson-Gardiner and Maureen Cole

2. Comments From Mayor Neeley

Mayor Neeley thanked the HRB for their important service to the City and acknowledged the challenges the HRB faced.

3. Design Advice

PC 14-135 Carnegie Library Design Advice Update

Maureen Cole, Library Director, said on October 15 the City Commission selected the two-story addition as their preferred option for the library expansion. The architects were working on the layout for the two story. She was looking for direction regarding the entry. There would be a central service point and she suggested putting the primary entrance between the new and the old buildings. This would allow for ADA access and it would not disrupt the original Carnegie entry. The option of an entry on 6th was not as favorable because the existing slide, swing, and spray park were right where the entrance would be. The existing front door of the Carnegie would remain as another entrance to the building.

Mr. Metson said the proposed primary entrance did not feel like a prominent entrance. He thought the entrance should be on 6th Street.

Chair McLoughlin thought the new entrance needed to pull people into the new space and away from the front. They did not want the old Carnegie entrance to be the main in and out.

There was discussion regarding keeping the addition symmetrical to the Carnegie and keeping the integrity of the Carnegie. There would be a community meeting on December 2 to look at the preliminary layouts.

Mayor Neeley said one idea was to have the back wall of the Carnegie be the inner wall

of the vestibule.

Bob Mahoney, resident of Oregon City, said they wanted to protect the integrity of the Carnegie, but the new addition did not need to be subordinate to the Carnegie. He wanted the new addition to invite people to come in. The entryway should shout out it was the entrance. He thought elderly people did not want to climb stairs and encouraged the City to make it gentler for the senior citizens.

Ms. Robertson-Gardiner read an email into the record from the McLoughlin Neighborhood Association. The Association was in favor of the two-story addition with the entrance on 6th Street.

The HRB would meet on December 15 to further review the Library addition.

PC 14-136

Design Advice- 13th Street

Ms. Robertson-Gardiner said this property was on 13th Street just off of Washington. The property was zoned R-3.5 and was over 7,000 square feet. Potentially it could be a duplex, however because of the steep slopes it was questionable if there was enough property to be a duplex. If the duplex could not be done, the applicant wanted to do a single-family house with an accessory dwelling unit. She showed pictures of what the house might look like. A potential problem might be massing.

Todd Iselin, representing the applicant, discussed how they were using a second gable on the front, reducing the height, and using a lower pitched roof to help with the massing. It was a standard vernacular style and the garage was set back 8 feet.

There was discussion regarding reducing the massing and keeping with the vernacular style.

Ms. Robertson-Gardiner read the letter submitted by the McLoughlin Neighborhood Association. The Association liked the design, but the proposed attached garage did not meet design guidelines and the Association recommended the setbacks be approved to allow further flexibility for where the house would be located to bring the house forward.

The HRB suggested having two hip roofs or a hip and shed roof. The applicant might come back with both options and have the HRB choose. The HRB would also like to see examples of a double gable and thought the house should be brought forward.

4. Public Hearing

PC 14-134

HR 14-09 (512 Seventh St) Modification to HR 14-03 to reduce the proposed new construction from a two story building to a one story building.

Chair McLoughlin opened the public hearing and read the hearing statement. He asked if any Board member had a conflict of interest or ex parte contact to declare. There was none. All Board members had driven by the site.

Ms. Robertson-Gardiner said the applicant came before the HRB last spring for a two-story new in-fill project. They had come back with a reduced one story and different design. It would be a brick facade with a cast stone to resemble basalt and aluminum

store front system. She described the front elevation. She recommended continuing to allow no windows at the side elevation because it was at the property line. She then explained the layout. The applicant purchased the parking lot next door and would be using it for their building. The building would be used for a medical office. She did not have any additional conditions of approval and supported the request to not meet the Planning Division's requirement for 30% transparency on the side elevation.

Mr. Iselin, representing the applicant, said it would be a brick veneer on three sides. Due to the SDCs that would be assessed, reducing the costs, and the fact the applicant did not want to be a landlord, this would be a one-story building. There was a garage for the applicant to park.

There was no other public testimony.

Chair McLoughlin closed the public hearing.

A motion was made by Mr. Metson, seconded by Ms. Towle, to approve HR 14-09. The motion carried by the following vote:

Aye: 4 - Jon McLoughlin, Derek Metson, Cynthia Towle and Jonathan Stone

5. Communications

There were no communications.

6. Adjournment

Chair McLoughlin adjourned the meeting at 7:20 PM.



City of Oregon City

625 Center Street
Oregon City, OR 97045
503-657-0891

Item #1.

Meeting Minutes - Draft

Historic Review Board

Monday, December 15, 2014

6:00 PM

Commission Chambers

Special December Meeting Date

1. Call to Order

Chair McLoughlin called the meeting to order at 6:04 PM.

Present: 2 - Jon McLoughlin Jonathan Stone, Derek Metson and Cynthia Towle

Absent: 1 - Robert Siewert

Staffers: 2 - Christina Robertson-Gardiner and Maureen Cole

2. Interviews for Open Positions

The HRB conducted interviews. The meeting was paused and there was no indication of who the candidates were.

3. Design Advice

PC 14- 141 Carnegie Library Design Advice

Christina Robertson-Gardiner, Planner, said this was the third design advice for the Carnegie Library addition.

Maureen Cole, Library Director, said architects had been working on the two-story option for the Library addition. They were bringing the HRB up to speed on the design and wanted to get feedback. The next time this came to the HRB it would be through the review process.

Architects gave a presentation of the two options. The overarching idea was to make a library entry plaza utilizing the existing spray park and maintaining the playground but moving it east. The McLoughlin Neighborhood Association had questions and staff would be returning to the association meeting on January 8. The Parks and Recreation Advisory Committee approved both options on the condition that they meet or exceed the play capacity as it currently existed on the site. They then explained the design of the two options, the atrium and the overlook.

The HRB discussed which option they preferred.

Mr. Metson liked Option 2 better provided the upper termination of the brick had some articulation. It had a better feeling of the interior space. Either option needed screening of the HVAC units.

Chair McLoughlin thought both were good, but leaned towards Option 2 as it was a

more modern design but with a traditional connection.

Ms. Towle liked Option 1 as it was a more traditional look yet different enough from the original Carnegie building that people would know it was an addition.

Mr. Stone liked Option 1 as well and being able to see the entire Carnegie from the back side of the building.

There was consensus that both options were viable.

PC 14- 142

Center Street Office Infill- Design Advice

Ms. Robertson-Gardiner said the applicant came before the HRB in 2008 for a new one and a half story vernacular office building to replace a house that had a gas explosion. It was located across from the St. John the Apostle Church. The application was approved, but it never went through site plan design review. The applicant wanted to move forward with the same building design package.

Todd Iselin, representing the applicant, stated the applicant would like to move forward with the same exterior and site design as done previously. He asked if the HRB would like to see anything done differently. The windows would be broken up with more spacing in between and the stone on the columns would be removed.

The HRB suggested the columns should be brick or wood, like traditional columns that would match the neighborhood. They asked that he bring back the street elevations, to space out the windows, and to take out the railings.

PC 14- 140

Canemah Infill New Single-Family Residence- Design Advice

Ms. Robertson-Gardiner said this was the second design advice for this property at 716 4th Avenue. It was in the Canemah National Historic District and in two additional overlay districts. It was a highly constrained lot of record in the Water Resource Overlay District and a Type 2 staff review for that and was also in the Geologic Hazard Overlay. The owner would like to sink the house as much as possible into the ground, however there were costs and large boulders. She recommended approving this at a higher elevation in the hopes they could go lower.

Greg Creighton, architect representing the applicant Ron Bistline, explained this was a double lot and they planned to build a new residence on it. The design had been modified per the HRB's recommendations. Vehicle and pedestrian access was difficult due to the narrow building area, stream, and 5th Avenue. There were a few homes with garages underneath in Canemah. Steep sites often required this type of solution. He showed pictures of nearby houses which they intended to compliment. The home would appear as a one and a half or two story. The garage doors would be on the north elevation and not visible from Blanchard. The porch posts would be 110 feet back from 4th Avenue. He described Options A, B, and C.

There was discussion regarding the roof line and elevations, windows, porch, garage doors, columns, depths of the planes, and roof pitch. The HRB suggested the windows be divided, adding detail on the porch columns and handrail, adding detail on the garage doors, and eliminating the bay window. They also requested to show how the house interacted with the existing homes on 4th and Blanchard.

Ms. Robertson-Gardiner recommended the HRB visit the site before review of the

application.

4. Adjournment

Chair McLoughlin adjourned the meeting at 8:00 PM.



CITY OF OREGON CITY

625 Center
Street
Oregon City, OR
97045
503-657-0891

Staff Report

To: Historic Review Boards **Agenda Date:** 08/22/2023

From: Christina Robertson Gardiner, Senior Planner

SUBJECT:

GLUA-23-00023/HR-23-00007 Installation of the Cayuse 5 Tribute Project on the McLoughlin Promenade, a designated historic structure. The City of Oregon City, in partnership with the Confederate Tribes of the Umatilla Indian Reservation (CTUIR), seek to honor the five Cayuse men who were unjustly taken into custody, charged, and hanged in Oregon City territory in 1850. The Tribute will be located in the existing public park adjacent to the McLoughlin Promenade.

STAFF RECOMMENDATION:

Hear a short project overview and update, take public comments, and continue the file to the September 26, 2023 HRB meeting.

EXECUTIVE SUMMARY:

City Commission in 2021 set a goal to recognize and show respect to the Cayuse 5 on City land, fulfilling historical promises made in 1993 to memorialize the loss of the Cayuse 5. Allowing the agreed-upon material usage and tribute elements as outlined below for phase 1.

1. Interpretive sign describing the historical background of the event; description to be provided by the CTUIR
2. Basalt memorial, bronze plaque mounted on basalt rock engraved with a poem/prayer to be provided by the CTUIR

The project will prioritize the use of local, natural materials, as well as respect for existing natural landscape features. The elements listed above will be accessible from the promenade according to ADA standards. CTUIR looks forward to working with Oregon City to ensure that the installation meets the City's design guidelines and enhances the existing public space.

Design Concepts:

The design concepts discussed with the tribes have varied over the past several months, but it's the work between Tera Farrow Ferman (CTUIR - Cultural Resource Protection Program Manager) and David Harrelson (CTGR Tribal Historic Preservation Officer) that have allowed the design to be more confirmed. The tribute design included with the initial application packet, along with interpretive language to be used for the Tribute, has been presented by Terra to David and approved to move forward.

Arborist report:

As certainty progressed on the design concept being acceptable to both Tribes, Oregon City staff started looking at constructability concerns, ADA access, material availability, and site maintenance preferences. This work included a closer look at impacts on the nearest trees.

At the end of June 2023, the staff-initiated discussions with Peter Van Oss, Senior Associate and ISA Certified Arborist with Teragan & Associates, Inc., about the evaluation of two large maple trees and the impacts to be considered with our concept design. On July 25th, the City received Peter's one-page report, which indicates the planned improvements could have a significant impact on the longevity of the trees. This was not the outcome we were expecting to receive. Work is still underway to confirm Peter's opinion and seek out ways to support the field observation with other investigations to confirm such a wide and far root zone assumption, but for now, this opinion is concerning for the current design.

City staff remains committed to delivering the project on behalf of the City Commission, our citizenry, and our Tribal Partners. Given the need for flexibility, the request from the Historic Review Board is to discuss and provide input, but continue this decision to the next meeting, providing staff with the opportunity to investigate further and redesign as necessary to meet our project objectives. Oregon City and Tribal governments seek to honor the Cayuse 5 in this special location while minimizing the impacts to the area.

BACKGROUND:

In 1851, Dr. John McLoughlin dedicated a 7.8-acre linear park to the citizens of Oregon City along the bluff known as the McLoughlin Promenade, listed on the [National Register](#) and locally designated. Under the direction of U.S. President Franklin D. Roosevelt, a concrete pathway lined by stone walls as well as portions of an adjoining grand staircase were constructed as a Works Progress Administration (WPA) project to provide employment during the height of the Great Depression in 1938. Today, the McLoughlin Promenade is one of the most functional historic landmarks in the city, providing majestic views of downtown Oregon City and the Willamette River for the community, exercise enthusiasts, tourists, and downtown visitors. The Promenade, as a historical feature of the City, is used to commemorate the history of Oregon City. Along the historical path, the City seeks to fulfill City Commission goals established in 1993 and reiterated in 2021 by memorializing the Cayuse 5 history in harmony with the CTUIR.

Historical Background - 'Five Cayuse Men'

In 1847, a measles epidemic cut the populace of Cayuse by half. In one Cayuse village, there was no one left to bury the dead. That same year, more than 4,000 overland immigrants bound for the Willamette Valley continued intrusions into the Blue Mountain homeland of the Cayuse.

Built to enable the "salvation" of the Cayuse people, the nearby Whitman's mission on the Walla Walla River had become instead an aid station to immigrants, whether diseased or not. A Native man overheard the missionaries planning to take Cayuse lands. He told the other Cayuse that they would all be poisoned before spring unless the Whitmans were removed.

Nine more Cayuse died from the measles in the 24 hours leading up to November 29th. Later that day, a small group of Cayuse men killed missionaries Marcus and Narcissa Whitman and 11 other men. They acted hoping to eradicate the disease among their people; to cease the unsanctioned immigration; and to end further deaths resulting from Marcus Whitman's 'healing' which was ineffective on Natives.

At that time, the Protestant mission was in a remote part of the Oregon frontier and not a U.S. Territory. A volunteer Oregon militia was formed to seek revenge. After over two years of indiscriminate slaying of Native people, five Cayuse men volunteered to testify about the killings at the mission. Instead, they were taken into custody by the U.S. Cavalry and hauled to Oregon City, the newly established Territorial capital.

Chained and imprisoned, the five were charged with the murder of Marcus Whitman. All pleaded innocent. Despite lack of jurisdiction, evidence, eyewitness accounts and laudable efforts by their defense attorney, they were found guilty.

The judge denied motions for a new trial and the right to appeal and sentenced all five to be hanged. All five were hanged and buried in an unmarked grave. The location of their grave is unknown. Their descendants continue to search for them.

OPTIONS

1. The applicant requests the Historic Review Board continue the hearing to a date certain of September 26, 2023 to be heard at the regular HRB meeting.
2. Continue without a date certain and re-notice the public hearing when the applicant is ready to proceed.

**TYPE II –SITE PLAN AND DESIGN REVIEW
Applicant's Submittal**

APPLICANT: City of Oregon City
625 Center St.
Oregon City, OR 97045

OWNER: City of Oregon City
625 Center St.
Oregon City, OR 97045

REQUEST: Installation of the Cayuse 5 Tribute Project on the McLoughlin Promenade

LOCATION: 300 3RD ST
OREGON CITY, OR 97045
2-2E-31 -01300

I. BACKGROUND:

Existing Conditions

The McLoughlin Promenade is a 7.8-acre linear park on the bluff above downtown, within the McLoughlin Conservation District. The Promenade is a designated a Charter Park and was locally Designated as a historic structure (rock work) in 2000. Work on the promenade tax lot is subject to OCMC 17.40- Historic Overlay District.

The McLoughlin Promenade rockwork was constructed c. 1937 as a Works Progress Administration project. This federal emergency agency for relief of American unemployment was created by order of President Franklin D. Roosevelt, May 6, 1935, under authority of the Emergency Relief Appropriation Act which was created in 1935.

The Promenade features a concrete walkway with a variety of low stone and metal walls. Immediately south and north, and continuing for about 100 feet in each direction from the elevator landing, the wall is a 44 inch high metal fence comprised of inch-square rods in a vertical pattern and accented with rough cut stone piers. The remaining long portion of the wall extending 1,300 feet south consists of sections made up of a 15 inch concrete base with a long, square reinforced concrete bar set horizontally at the two foot level; the concrete bar is angled to resemble a wooden split rail fence.

The Promenade concrete path follows the bluff overlooking, to the west the Willamette River, Willamette Falls, and the industrial complex in and on the Willamette River. Natural landscaping and rock outcropping enhance the rock wall. On the east side, the walkway abuts the yards of several historic houses situated on the prominent bluff. Approximately three hundred feet south of the elevator landing the wall forms a semi-circular area with a metal plaque placed there by the local Kiwanis Club in 1972 listing contributors to a fund for the restoration of the Promenade. At that time twelve lights on metal standards and a flagpole were added to the Promenade.

1. Project Description

Cayuse 5 Tribute Project

The City of Oregon City in partnership with the Confederate Tribes of the Umatilla Indian Reservation, seek to honor the five Cayuse men who were unjustly taken into custody, charged, and hanged in Oregon City territory in 1850. The Tribute will be located in the existing public park adjacent to the McLoughlin Promenade, a site suggested by the City of Oregon City and agreed upon by the Confederated Tribes of the Umatilla Indian Reservation (CTUIR). This site's proximity to the places where the five Cayuse men were detained, 'tried', and hanged is of great importance to the Tribe. In consultation with CTUIR, the City will deploy the project in phases.

The City Commission in 2021 set a goal to recognize and show respect to the Cayuse five on City land, fulfilling historical promises made in 1993 to memorialize the loss of the Cayuse five. Allowing the agreed upon material usage as shown in Exhibit A and tribute elements as outlined below for phase 1:

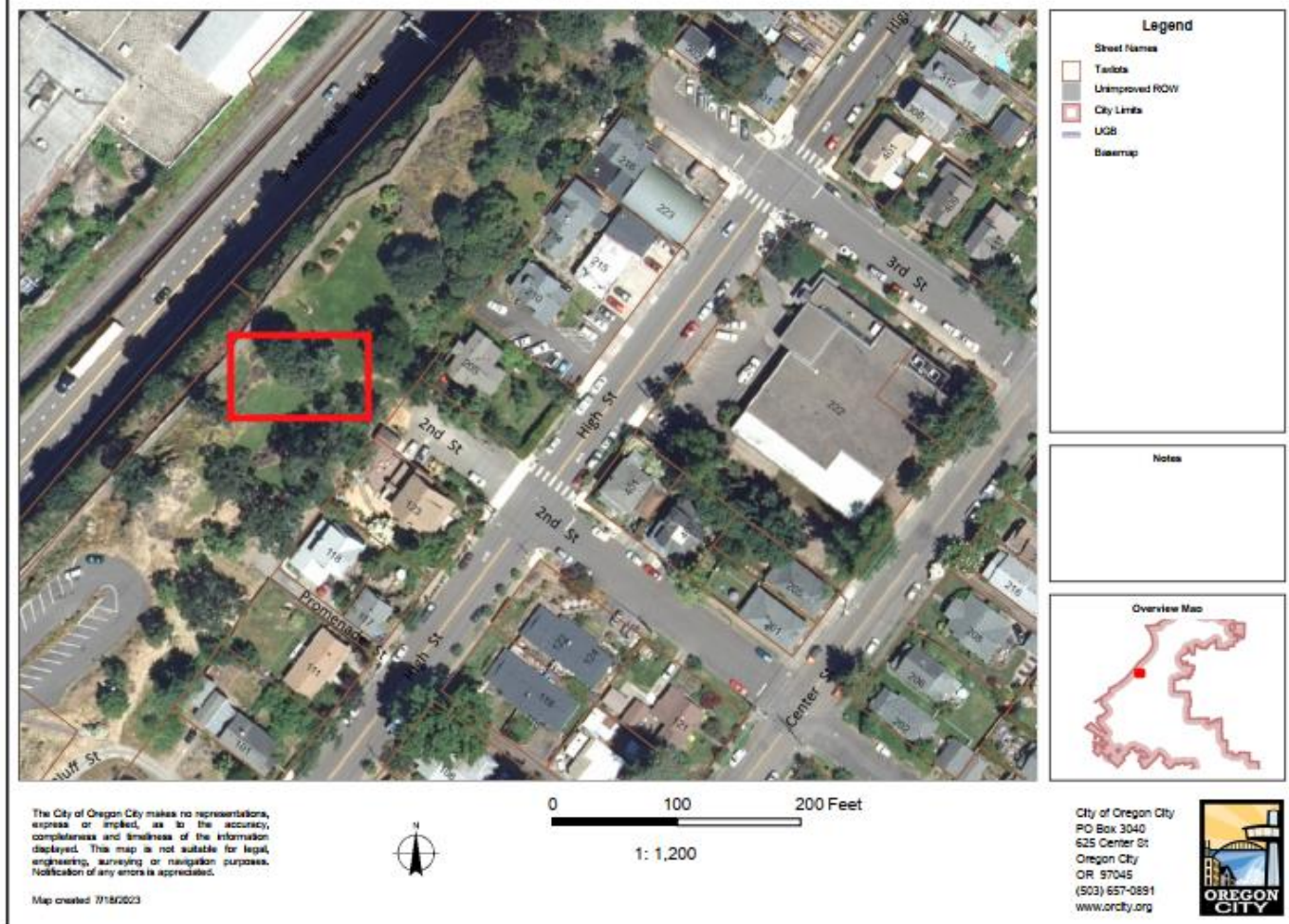
- 1- Interpretive sign describing the historical background of the event; description to be provided by the CTUIR
- 2- Basalt memorial, bronze plaque mounted on basalt rock engraved with a poem/prayer to be provided by the CTUIR

The project will prioritize use of local, natural materials, as well as respect for existing natural landscape features. The elements listed above will be accessible from the promenade according to ADA standards. CTUIR looks forward to working with Oregon City to ensure that the installation meets the City's design guidelines and enhances the existing public space.

Used from time immemorial as a vantage point and natural link to the falls, in 1851, Dr. John McLoughlin dedicated a 7.8 acre linear park to the citizens of Oregon City along the bluff known as the McLoughlin Promenade.

Today, the McLoughlin Promenade is one of the most functional historic landmarks in the city, providing majestic views of downtown Oregon City and the Willamette River for the community, exercise enthusiasts, tourists, and downtown visitors. The Promenade, as a historical feature of the City, is used to commemorate the history Oregon City. Along the historical path the City seeks to fulfill City Commission goals established in 1993 and reiterated in 2021 by memorializing the Cayuse 5 history in harmony with the CTUIR.

CI 21-011 Cayuse 5 Memorial- Site location



Historical Background - 'Five Cayuse Men'

In 1847, a measles epidemic cut the populace of Cayuse by half. In one Cayuse village, there was no one left to bury the dead. That same year, more than 4,000 overland immigrants bound for the Willamette Valley continued intrusions into the Blue Mountain homeland of the Cayuse.

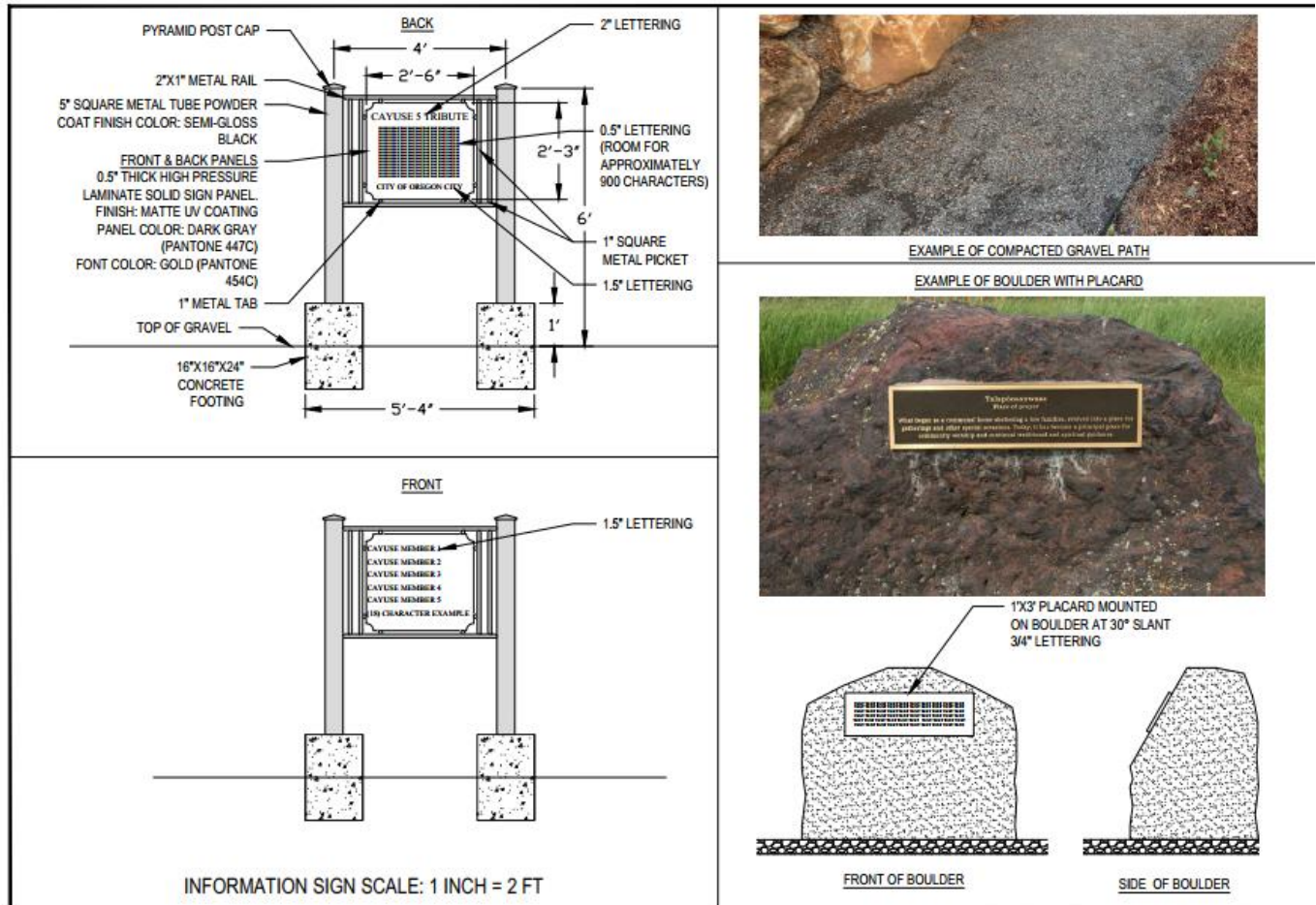
Built to enable the "salvation" of the Cayuse people, the nearby Whitman's mission on the Walla Walla River had become instead an aid station to immigrants, whether diseased or not. A Native man overheard the missionaries planning to take Cayuse lands. He told the other Cayuse that they would all be poisoned before spring unless the Whitmans were removed.

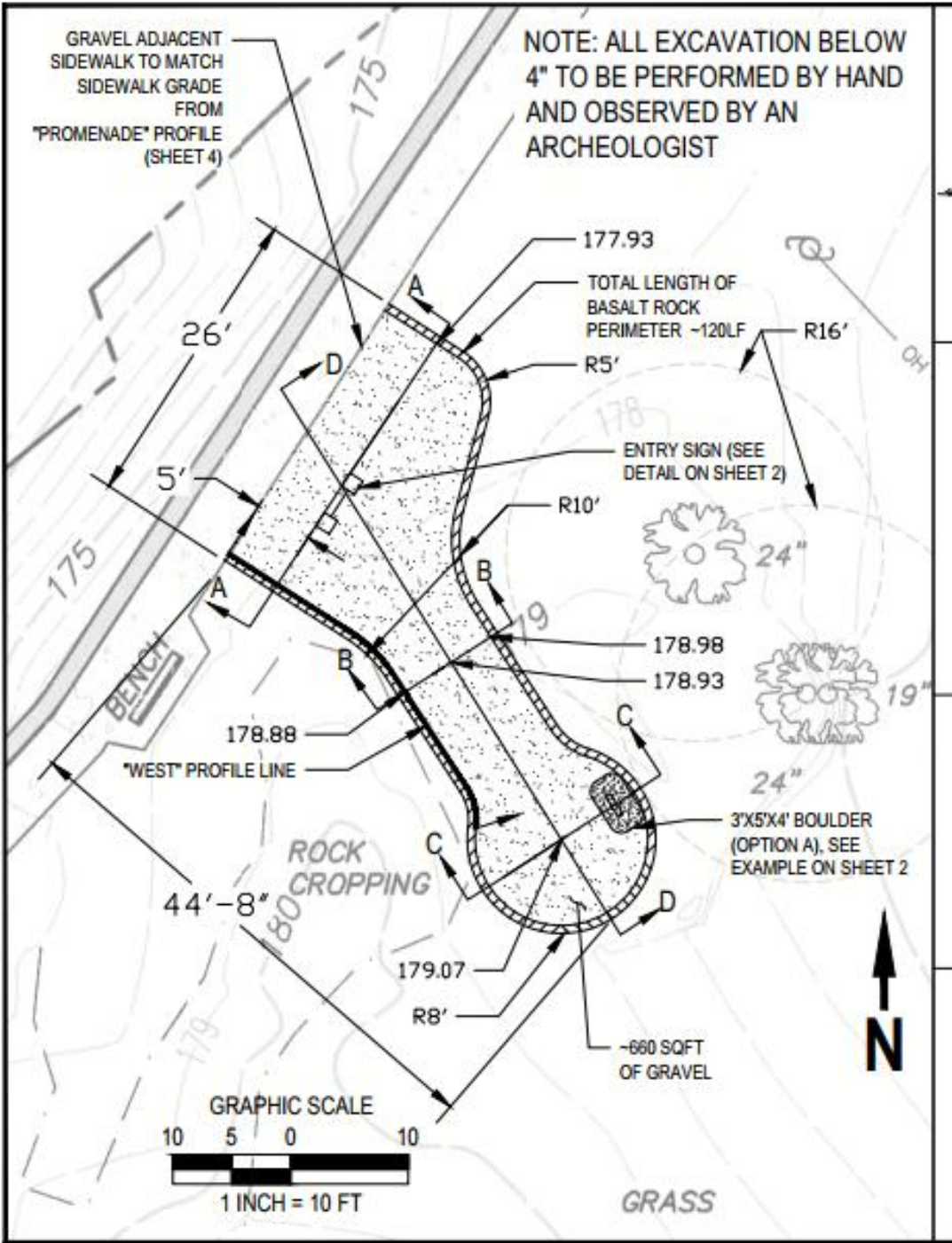
Nine more Cayuse died from the measles in the 24 hours leading up to November 29th. Later that day, a small group of Cayuse men killed missionaries Marcus and Narcissa Whitman and 11 other men. They acted hoping to eradicate the disease among their people; to cease the unsanctioned immigration; and to end further deaths resulting from Marcus Whitman's 'healing' which was ineffective on Natives.

At that time, the Protestant mission was in a remote part of the Oregon frontier and not a U.S. Territory. A volunteer Oregon militia was formed to seek revenge. After over two years of indiscriminate slaying of Native people, five Cayuse men volunteered to testify about the killings at the mission. Instead, they were taken into custody by the U.S. Cavalry and hauled to Oregon City, the newly established Territorial capital.

Chained and imprisoned, the five were charged with the murder of Marcus Whitman. All pleaded innocent. Despite lack of jurisdiction, evidence, eyewitness accounts and laudable efforts by their defense attorney, they were found guilty.

The judge denied motions for a new trial and the right to appeal and sentenced all five to be hanged. All five were hanged and buried in an unmarked grave. The location of their grave is unknown. Their descendants continue to search for them.





Municipal Code Standards and Requirements: The following sections of the Oregon City Municipal Code are applicable to this land use approval:
Chapter 17.40 - Historic Overlay District
Chapter 17.50 Administration And Procedures

The City Code Book is available on-line at www.orcity.org.

Permits and Approvals: The applicant is responsible for obtaining approval and permits from each applicable governmental agency and department at Oregon City including but not limited to the Engineering and Building Divisions.

CRITERIA:
OREGON CITY MUNICIPAL CODE

17.40.030 Designated.

- A. *The historic overlay district shall apply to the following:*
 - 1. *Historic districts, upon designation in accordance with this section;*
 - 2. *Conservation districts designated in accordance with this section;*
 - 3. *Landmarks as designated by this section; and*
 - 4. *Historic corridors designated in accordance with this section.*
- B. *The boundaries of the historic districts, the boundaries of conservation districts, historic corridors, the location of buildings and structures in conservation districts and the location of landmarks shall be designated on a special city zoning map or maps.*
- C. *The following are designated within the historic overlay district:*
 - 1. *The Canemah Historic District; the minimum boundaries of which are those designated by the United States Department of the Interior on the National Register of Historic Places as indicated in the city comprehensive plan.*
 - 2. *The McLoughlin Conservation District; the surveyed buildings indicated by map in the comprehensive plan shall constitute the designated structures in the McLoughlin Conservation District, along with any structures designated through the Historic Review Board designation process since initial adoption of the comprehensive plan on March 13, 1980.*
 - 3. *The Oregon Trail-Barlow Road Historic Corridor; properties identified in the 1993 Barlow Road Historic Corridor inventory of the Barlow Road by Clackamas County.*
 - 4. *Designations undertaken pursuant to Section 17.40.050. The established historic overlay district shall allow for the designation of two types of districts so that areas with a high concentration of historic structures are designated historic districts and areas with a lower concentration are designated conservation districts. Also allowed is the designation of structures of historic or architectural significance not located in an historic or conservation district as landmarks.*

Finding: Applicable. The subject site is within the boundary of the McLoughlin Conservation District.

17.40.060 Exterior alteration and new construction.

- A. *Except as provided pursuant to subsection I of this section, no person shall alter any historic site in such a manner as to affect its exterior appearance, nor shall there be any new construction in an historic district, conservation district, historic corridor, or on a landmark site, unless a certificate of appropriateness has previously been issued by the historic review board. Any building addition that is thirty percent or more in area of the historic building (be it individual or cumulative) shall be considered new construction in a district. Further, no major public improvements shall be made in the district unless approved by the board and given a certificate of appropriateness.*

Finding: Complies as Proposed. The application is for an improvement on the Promenade, a locally designed property. The applicant has submitted this application for review and determination by the Historic Review Board.

17.040.060.B. *Application for such a certificate shall be made to the planning staff and shall be referred to the historic review board. The application shall be in such form and detail as the board prescribes.*

Finding: Complies as Proposed. The applicant has submitted this application for review and determination by the Historic Review Board.

17.040.060.C. Archeological Monitoring Recommendation. For all projects that will involve ground disturbance, the applicant shall provide,

1. A letter or email from the Oregon State Historic Preservation Office Archaeological Division indicating the level of recommended archeological monitoring on-site, or demonstrate that the applicant had notified the Oregon State Historic Preservation Office and that the Oregon State Historic Preservation Office had not commented within forty-five days of notification by the applicant; and
2. A letter or email from the applicable tribal cultural resource representative of the Confederated Tribes of the Grand Ronde, Confederated Tribes of the Siletz, Confederated Tribes of the Umatilla, Confederated Tribes of the Warm Springs and the Confederated Tribes of the Yakama Nation indicating the level of recommended archeological monitoring on-site, or demonstrate that the applicant had notified the applicable tribal cultural resource representative and that the applicable tribal cultural resource representative had not commented within forty-five days of notification by the applicant.

If, after forty-five days notice from the applicant, the Oregon State Historic Preservation Office or the applicable tribal cultural resource representative fails to provide comment, the city will not require the letter or email as part of the completeness review. For the purpose of this section, ground disturbance is defined as the movement of native soils.

Applicant's Response: No major disturbance of native soils is anticipated. However, the applicant will provide notice to SHPO and to the tribes listed in 17.40.060.C. if disturbance of native soils will be pursued.

17.040.060.D.

1. The historic review board, after notice and public hearing held pursuant to Chapter 17.50, shall approve the issuance, approve the issuance with conditions or disapprove issuance of the certificate of appropriateness.
2. The following exterior alterations to historic sites may be subject to administrative approval:
 - a. Work that conforms to the adopted Historic Review Board Policies.

Applicant's Response: The application is being reviewed as identified in the Oregon City Municipal Code.

17.040.060.E. For exterior alterations of historic sites in an historic district or conservation district or individual landmark, the criteria to be used by the board in reaching its decision on the certificate of appropriateness shall be:

Applicant's Response: application is for an improvement on the Promenade, a locally designed property.

17.040.060.G. For construction of new structures in an historic or conservation district, or on an historic site, the criteria to be used by the board in reaching its decision on the certificate of appropriateness shall include the following:

17.040.060.G.1: The purpose of the historic conservation district as set forth in Section 17.40.010.

- A. Effect and accomplish the protection, enhancement and perpetuation of such improvements and of districts which represent or reflect elements of the city's cultural, social, economic, political and architectural history;
- B. Safeguard the city's historic, aesthetic and cultural heritage as embodied and reflected in such improvements and districts;
- C. Complement any National Register Historic districts designated in the city;
- D. Stabilize and improve property values in such districts;
- E. Foster civic pride in the beauty and noble accomplishments of the past;
- F. Protect and enhance the city's attractions to tourists and visitors and the support and stimulus to business and industry thereby provided;
- G. Strengthen the economy of the city;
- H. Promote the use of historic districts and landmarks for the education, pleasure, energy conservation, housing and public welfare of the city; and
- I. Carry out the provisions of LCDC Goal 5.

Applicant's Response:: See detailed findings and conditions in the design guidelines section in this staff report (17.040.060.G.7).

17.040.060.G.2. *The provisions of the city comprehensive plan*

POLICY 2.2 Recognize and celebrate the history of tribal presence in Oregon City and seek opportunities to educate community members and elevate understanding

POLICY 2.4 Identify and protect important artistic and cultural resources and historic amenities through programs, designation, interpretive signage, and other means to increase awareness and generate appreciation.

STRATEGY 2.4.A Support the preservation of Oregon City's historic resources through public information, advocacy and leadership within the community, and the use of regulatory tools and incentive programs.

Applicant's Response: The project seeks to recognize and celebrate the historical tribal presence in Oregon City. Oregon City and the Confederate Tribes of the Umatilla Indian Reservation have worked together to find a location in the City to honor the memory of the Cayuse five. In selecting the location of the Promenade, a public relationship is established to support the preservation of Oregon City's historic resources.

Established in 1851, the Promenade was dedicated by Dr. John McLoughlin as a 7.8 acre park to the Citizens of Oregon City. Today the Promenade, provides majestic views of downtown Oregon City and the Willamette River for the community, exercise enthusiasts, and tourist.

17.040.060.F.3 *The economic effect of the new proposed structure on the historic value of the district/historic site*

Applicant's Response:: The City Commission in 2021 set a goal to recognize and show respect to the Cayuse five on City land, fulfilling historical promises made in 1993 to memorialize the loss of the Cayuse five. See detailed findings and conditions in the design guidelines section in this staff report (17.040.060.G.7).

17.040.060.F.4 *The effect of the new proposed structure on the historic value of the district/historic site*

Applicant's Response: See detailed findings and conditions in the design guidelines section in this staff report (17.040.060.G.7).

17.040.060.G.5 *The general compatibility of the exterior design, arrangement, proportion, detail, scale, color, texture and materials proposed to be used in the construction of the new building or structure;*

Applicant's Response: Please refer to findings in 17.040.060.G.7 below.

17.40.060.G.6 *Economic, social, environmental and energy consequences*

Applicant's Response: The City Commission in 2021 set a goal to recognize and show respect to the Cayuse five on City land, fulfilling historical promises made in 1993 to memorialize the loss of the Cayuse five No environmental or energy consequences are anticipated.

17.040.060.G.7 *Design guidelines adopted by the historic review board.*

While the Cayuse 5 memorial is an alteration to the designated property, utilizing the design guidelines for alterations for a small landscaped memorial does not seem to be a natural fit- therefore staff recommended the applicant review the proposal based on the adopted design guidelines for major public improvements, including the following:

Design Guidelines for Alterations and Additions

<https://www.orcity.org/planning/design-guidelines-alterations-additions>

Secretary of Interiors Standards for Rehabilitation

Please describe how the memorial will not adversely affect the promenade rockwork and the contributing visual landscape of the area.

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

Applicant response: The McLoughlin Promenade is currently used as a park and the addition of the Cayuse 5 memorial will not change the historical use of the property as a park. The path will add in kind pedestrian paths that highlight the events of Oregon City history. The Promenade currently has many signs that portray the City's history.

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

Applicant response: The proposed design uses materials aligning with the historic character of the property and minimizes any alterations of features or ground space. Historical materials (IE basalt border) are proposed to ensure the same aesthetics found today along the promenade border wall and signage.

3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

Applicant response: The Cayuse memorial project takes this into consideration by proposing basalt borders, granite pathways, and replicating in place sign materials. The intention of the memorial is to establish a commemoration of Oregon City History.

4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.

Applicant response: The Cayuse 5 memorial is an observance of the historical past of Oregon City. It is the City Commission's intention to complete its 2021 stated goal of recognizing the City's historical past by observing the historical events of the Cayuse and Oregon City.

5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

Applicant response: The border proposed for the memorial will be of the same basalt rock finish as the existing Promenade rail border. The basalt material will be hand-tooled and all excavation will be minimized to the extent needed to abide by Americans with Disability Act(ADA) standards.

6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

Applicant response: The project will not be replacing any historic features. Existing land to be used for the pedestrian path will be minimally excavated to ensure ADA-compliant paths.

7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible.

Applicant response: The project will hand excavate the necessary excavation to install compliant ADA paths. The max area disturbance will be 12 cubic yards. The max disturbance depth will be 8”.

8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

Applicant response: The project will have an archeologist consultant on sight during all construction activity. All archeological resources shall be protected and preserved in place.

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Applicant response: The project uses in-kind materials found currently on the Promenade. The new work does not alter, destroy or change historical material or spatial relationships that characterize the property.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Applicant response: The projects material types align with the historical past of the property and will minimize ground disturbance. The path will not remove historical attributes. In the event the path must be removed it will be constructed without impacts to the current Promenade form.

Public Improvement Principles

These projects are important for the historic district since public space accounts for a large proportion of the district’s area and has a significant impact on the setting, context, delivery of services, and movement through the district. The Public Improvement principles indicate how current engineering and construction can be made appropriate by utilizing materials, finishes, and design that supports the historic nature of the district.

The Guidelines appreciate that certain engineering, public safety, and other institutional work may have, by nature, certain technological or regulatory requirements and that these may conflict with these design guidelines. Work may also interface, modify, or remove existing historic construction. In these situations City staff and the HRB shall work with the agencies to develop the best design and preservation solution for the district, or appropriate mitigation measures. It should be noted that extensive regrading or removal of vegetation shall also be considered for HRB review.”

STYLE

Principle:

- Construction to complement the nature of the historic district, but flexibility is necessary to allow a system wide approach, parts standardization and use of available materials.
- New utility work to be minimized in appearance.

- Support pedestrian use and scale.

Not Allowed:

- Visible 'high tech' installations
- Insertion of stylistic elements and systems that do not complement the district
- The Guideline appreciate that there is necessary public safety and engineering work that may be difficult to alter; Installations should follow the guidelines as possible, often simple measures can reduce an adverse impact; Review with City design staff and HRB

Applicant's Response: The proposal consists of a small pedestrian-oriented freestanding sign and rock monument with a poem plaque.

DESIGN

Principle:

- For visible features, use design that was typical or similar to that of the historic period; where unable, screen or cover the installation in an historically appropriate manner.
- Construction to not significantly alter the district's built pattern.
- Locate equipment away from primary views to maximum extent practicable.
- Utilize landscape or fabricated screening to minimize disruptive appearance.
- Minimize street signage as allowable by codes.

Not Allowed:

- Construction out of scale with the district
- Street, sidewalk, stairs, walls that significantly alter the historic pattern and dimension of the district.
- Modern details and construction in visible locations unless screened or appearance mitigated.
- Excessive regrading or removal of vegetation that adversely affects the historic context of the district and surrounding area without mitigation

Applicant's Response: These guidelines call for minimization of street signage and avoiding the use of modern details. The sign is not large or obtrusive, nor does it clash with styles within the district. Rather, its design complements district.

The proposed placement of the sign rock path and memorial rock will not significantly alter the district's built pattern. Is it proposed to be located near the existing concrete walkway, No portion of the sign post or any new pad required for installation shall disturb the existing walkway or stone wall.

MATERIALS

Principle:

- Materials and Products For Visible Features: Use those that were typical of the historic period or those that offer a similar appearance. Use of stone, concrete, wood and metal in finishes and textures similar to that of the historic period is most appropriate.

Not Allowed:

- Obvious synthetic materials, non historic finishes or colors.
- Historic materials used in ways not found in the district
- Bright stainless, galvanized, aluminum, exposed aggregate concrete, other non historic finishes

Applicant's Response: The project will prioritize use of local, natural materials, as well as respect for existing natural landscape features.



MEMORANDUM

TO: Historic Review Board

CC: Christina Robertson-Gardner Senior Planner, Tony Konkol City Manager

FROM: John Lewis, Public Works Director

DATE: August 4, 2023

SUBJECT: Cayuse 5 Tribute Project – HRB Packet Supplement

On behalf of the project team, we respectfully request the following be included as supplemental application information:

Coordination and Collaboration with the Tribes:

At the September 15, 2021, City Commission meeting the City Commission re-directed staff to pause on the plan to move forward with professional services to design and deliver the Cayuse 5 Tribute project. The re-direction was to work more collaboratively with the Confederated Tribes of the Grand Ronde (CTGR) and the Confederated Tribes of the Umatilla Indian Reservation (CTUIR). The City Commission's desire was for staff to first reach concurrence on a tribute design that would both honor the history of the Cayuse 5 and respect the CTGR perspective. Acknowledging the Willamette Falls area is blessed with many important and tragic stories of the Native American people who lived in the area.

In that effort the record should reflect that Staff and Tribal meetings have been ongoing, with scheduled meetings every two weeks. These meetings have been between the City Manager and staff at CTGR and then separate meetings between the City Manager and the CTUIR staff. These meetings have included other staff too and have helped to inform the concerns and desired outcomes of each of the tribes and better inform a Cayuse 5 tribute concept. The concepts would then later be discussed between the tribes at the staff level and then eventually Tribal Council level. Just last week three representatives from Oregon City's City Commission and project staff attended a meet and greet with the CTUIR where the importance of the Cayuse 5 memory was shared.

The result is agreement on the location of the tribute site, agreement on site plan concepts, likely materials, agreement on construction goals, and agreement on soil disturbance monitoring by the City and CTGR.

Design Concepts:

The design concepts discussed with the tribes have varied over the past several months, but it's the work between Tera Farrow Ferman (CTUIR - Cultural Resource Protection Program Manager) and David Harrelson (CTGR Tribal Historic Preservation Officer) that have allowed the design to be more confirmed. The tribute design included with the initial application packet along with interpretive language to be used for the Tribute has been presented by Terra to David and approved to move forward.

Arborist report:

As certainty progressed on the design concept being acceptable to both Tribes, Oregon City staff started looking at constructability concerns, ADA access, material availability, and site maintenance preferences. This work included a closer look at impacts on the nearest trees.

At the end of June 2023, the staff-initiated discussions with Peter Van Oss Senior Associate and ISA Certified Arborist with Teragan & Associates, Inc. about evaluation of two large maple trees and the impacts to be considered with our concept design. On July 25th the City received Peter's one page report which indicates the planned improvements could have a significant impact on the longevity of the trees. This was not the outcome we were expecting to receive. Work is still underway to confirm Peter's opinion and seek out ways to support the field observation with other investigations to confirm such a wide and far root zone assumption, but for now this opinion is concerning for the current design.

Conclusion:

City staff remains committed to delivering the project on behalf of the City Commission, our citizenry, and our Tribal Partners. Given the need for flexibility, the request from the Historic Review Board is to discuss and provide input; but continue this decision to the next meeting, providing staff with the opportunity to investigate further and redesign as necessary to meet our project objectives. Oregon City and Tribal governments seek to honor the Cause 5 in this special location, while minimizing the impacts to the area.



CITY OF OREGON CITY

Staff Report

625 Center Street
Oregon City, OR 97045
503-657-0891

To: Historic Review Board
From: Christina Robertson-Gardiner, Senior Planner

Agenda Date: 8/22/2023

SUBJECT:

The Applicant is requesting to use a metal cable railing on a rear deck replacement, which cannot be approved on a staff level per [HRB Policy #11](#). Anne Park House- 1315 JQ Adams Street.

STAFF RECOMMENDATION:

As this is a request for an exception to the adopted HRB policies- staff is looking to the Historic Review Board for direction

EXECUTIVE SUMMARY:

The Applicant is requesting to use a metal cable railing on a rear deck replacement, which cannot be approved on a staff level per [HRB Policy #11](#). Projects that meet the Historic Review Board (HRB) policies do not have to request approval from HRB but may obtain administrative staff approval. Where an alteration does not meet the policies, a Type III review by the HRB will be necessary. The applicant has chosen to present their request at a noticed hearing before the Historic Review Board. The Board may choose to approve, approve with conditions, or deny this request based on the criteria found in OCMC 17.40 Historic Overlay District.

The purpose of the HRB policy on railings was to encourage compatible additions that do not detract from the architecture of the primary structure in massing, details, or appearance. Choosing the wrong material, color, and railing design can create a structure that is not subservient to the historic details of the historic resource, has competing massing, or adversely affects the significance of the house by too closely integrating the deck into the resource and combine the potentially separate massings into one visual mass

- If the Board finds that these metal railings will adversely impact the historic integrity of the home or district by allowing railings whose material, design, and thickness are not compatible with the historic design of the 1907 Vernacular house, then they should deny the application and direct the applicant proposes a deck that can meet HRB Policy #11, which can be approved by staff through the building permits process.

- If the Board finds that the metal railing, as proposed or with additional conditions, does not adversely impact the historic integrity of the home or district as it is located in the rear of the building, is blocked from neighbors and the street by a topography and tree canopy, and creates less of a mass than railings that would have been allowed by HRB policy #11, the Board should utilize approve with conditions.

BACKGROUND:

See Staff Report and Recommendation document in the agenda item attachments.

OPTIONS:

1. Approve the proposal with recommended conditions
2. Approve the proposal with revised conditions
3. Deny the proposal,
4. Continue the hearing to September 26, 2023 and provide direction to the applicant on additional information needed. Record stays open.



Historic Review
Staff Report on a Designated Historic Site in the McLoughlin Conservation District
August 14, 2023

FILE NO.: GLUA-23-00025/ HR-23-00008 Historic Review

HEARING DATE: August 22, 2023
7:00 p.m. – Virtual Meeting over Zoom

APPLICANT: Jorge Soto
Right Guys Framing
PO Box 30131
Portland, OR 97294

OWNER: Kimberly and Jon Sparks
1315 JQ Adams Street
Oregon City, OR 97045

LOCATION: 1315 JQ Adams Street
Oregon City, OR 97045
2-2E-32BB-03000

REQUEST: The Applicant is requesting to use a metal cable railing on a rear deck replacement, which cannot be approved on a staff level per [HRB Policy #11](#). Anne Park House- 1315 JQ Adams Street.

REVIEWER: Christina Robertson-Gardiner, Senior Planner, AICP

RECOMMENDATION: As this is a request for an exception to the adopted HRB policies- staff is looking to the Historic Review Board for direction.

CRITERIA: Administration and Procedures are set forth in Chapter 17.50, Historic Overlay District in Chapter 17.40, of the Oregon City Municipal Code. The City Code Book is available on-line at www.orcity.org.

Please be advised that any issue that is intended to provide a basis for appeal must be raised before the close of the hearing, in person or by letter, with sufficient specificity to afford the Historic Review Board and the parties an opportunity to respond to the issue. Failure to raise an issue with sufficient specificity will preclude any appeal on that issue. The decision of the Historic Review Board may be appealed to the City Commission by parties with standing within fourteen (14) calendar days of the notice of decision. Any appeal will be based on the record. The procedures that govern the hearing will be posted at the hearing and are found in OCMC Chapter 17.50 and ORS 197.763. A city-recognized neighborhood association requesting an appeal fee waiver pursuant to OCMC 17.50.290(C) must officially approve the request through a vote of its general membership or board at a duly announced meeting prior to the filing of an appeal.

Summary and Recommended Conditions of Approval

The Applicant is requesting to use a metal cable railing on a rear deck replacement, which cannot be approved on a staff level per [HRB Policy #11](#). Projects that meet the Historic Review Board (HRB) policies do not have to request approval from HRB but may obtain administrative staff approval. Where an alteration does not meet the policies, a Type III review by the HRB will be necessary.

The applicant has chosen to present their request at a noticed hearing before the Historic Review Board. The Board may choose to approve, approve with conditions, or deny this request based on the criteria found in OCMC 17.40 Historic Overlay District.

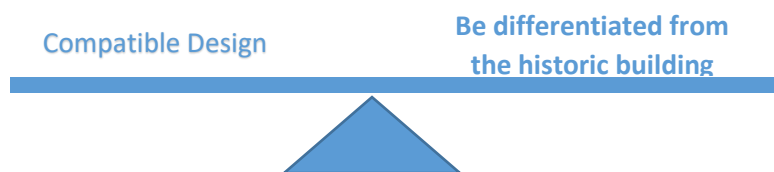
The purpose of the HRB policy on railings was to encourage compatible additions that do not detract from the architecture of the primary structure in massing, details, or appearance. Choosing the wrong material, color, and railing design can create a structure that is not subservient to the historic details of the historic resource, has competing massing, or adversely affects the significance of the house by too closely integrating the deck into the resource and combine the potentially separate massings into one visual mass.

We can also refer to [Preservation Brief 14- additions](#) for guidance on adding decks to historic resources. Although decks are not considered habitable additions, they introduce a new element and should be planned accordingly.

An addition should be designed to be compatible with the historic character of the building and, thus, meet the Standards for Rehabilitation. Standards 9 and 10 apply specifically to new additions:

(9) "New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment."

(10) "New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired."



The Historic Review Board should utilize the above information to determine if:

1. The simple cable railings differentiate the deck from the house and are designed to visually recede into the background; the lack of view from pedestrians and other historic resources also reduces the impact the deck has on the significance of the district.
2. The simple cable railings are too incompatible with the 1907 house and create too much of a contemporary element on a relatively large, raised deck, regardless of what can be seen from the street.

Care should be made in the deliberation to address the HRB policies and, if allowed, why the specific proposal was allowed to provide direction for future applicants.

- If the Board finds that these metal railings will adversely impact the historic integrity of the home or district by allowing railings whose material, design, and thickness are not compatible with the historic design of the 1907 Vernacular house, then they should deny the application and direct the applicant proposes a deck that can meet HRB Policy #11, which can be approved by staff through the building permits process.
- If the Board finds that the metal railing, as proposed or with additional conditions, does not adversely impact the historic integrity of the home or district as it is located in the rear of the building, is blocked from neighbors and the street by a topography and tree canopy, and creates less of a mass than railings that would have been allowed by HRB policy #11, the Board should utilize the following conditions in their motion:

Prior to the issuance of Building Permits, the applicant shall submit plans that ensure the following requirement of HRB policy #11 is met.

1. Porch and deck railings shall use vertical balusters and top and bottom rails. Baluster attachment shall be between the rails, not attached on the side of the rail.
2. Wood decks and porches shall be painted to match a color of the designated structure. Paint-stain is also acceptable if it matches a color of the designated structure.
3. No pressure-treated wood shall be visible. All visible pressure-treated wood shall be skirted or wrapped.
4. Composite material (e.g. Trex, Timbertech, Azek) is allowed only for new or existing decks or porches less than 50 years old that are attached to the rear of a structure, to the interior side of a structure, and for detached deck structures in the interior side or rear yard. The composite material color shall match a color of the designated structure.
5. Aluminum rails on porches and decks are not permitted.
6. Deck or porch materials made from 100% vinyl are not permitted.

I. BACKGROUND:

Site and Context

The subject property is the Arthur and Annie Park House, a 1907 Vernacular-style home on a corner lot in the McLoughlin Conservation District. The home is in good condition.



Vicinity Map and photograph

The Historic Inventory form for the home reads:

1315 JQ Adams Street - Annie Park House



This 1-1/2 story vernacular house has a complex plan and sits on a post and beam combined with poured concrete foundation. The gable roof is covered with composition shingles and is pierced by a chimney. The walls are covered with non-original lap siding. Windows are primarily 1/1 wood double-hung with storm windows. The hipped roof entry porch has a poured concrete floor and wrought iron posts and railing. Hipped roof additions have been added to the north, south and west facades. A deck has also been added to the west façade. A garage sits to the northeast of the house.

Statement of Significance: In 1906, Annie Park purchased this property and is credited with the construction of the residence. Two years later, she sold to Andrew Robertson, who would be one of many subsequent short-term owners. In 1929, Rufus A. Stinett, a mill man, and his wife Estelle, a census worker, acquired the house. They owned the property until 1945, when it was deeded to Roy E. and Marie Sawyer. The couple worked for School District No. 62, he at Oregon City Junior High School and she at Park Place School. Following the Sawyers transfer in 1953, the property again changed hands every few years. These women were some of its owners: Dorothy Vauthier, Doris Helzer, and Eileen Thompson.

HR 23-08: Metal Cable Deck Railings At 1315 John Adams Street.

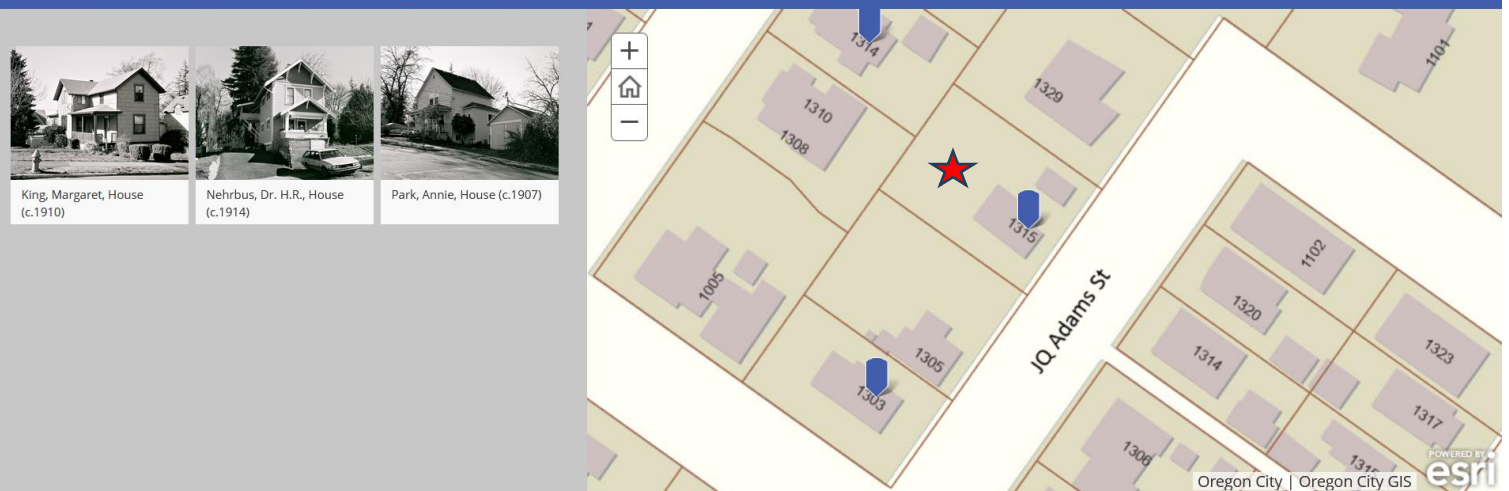
Historic Resources: McLoughlin Neighborhood Conservation District

Please enjoy a spatial guide of designated historic homes through the history of Oregon City. Click on a tab to see photos and read information about houses that were built during that decade and pan around the map to explore more!

More Historic Information [f](#) [t](#) [e](#)

 **OREGON CITY**

Home 1840's 1860's 1870's 1880's 1890's 1900's 1910's 1920's 1930's 1950's



Neighboring designated resources include 1314 Monroe (Nehrbus, Dr. H.R., House (c.1914) and 1303 JQ Adams (King, Margaret, House (c.1910) . The area slopes down from 1303 JQ Adams in both directions. Staff is unsure of the view from 1314 Monroe to the subject site, though the applicant's supplementary photos show a large tree canopy separating both residences.



View form JQ Adams



View from JQ Adams



From house at door elevation which is same as lower elevation of replacement deck. Back property line is behind large laurels about 8-10 feet



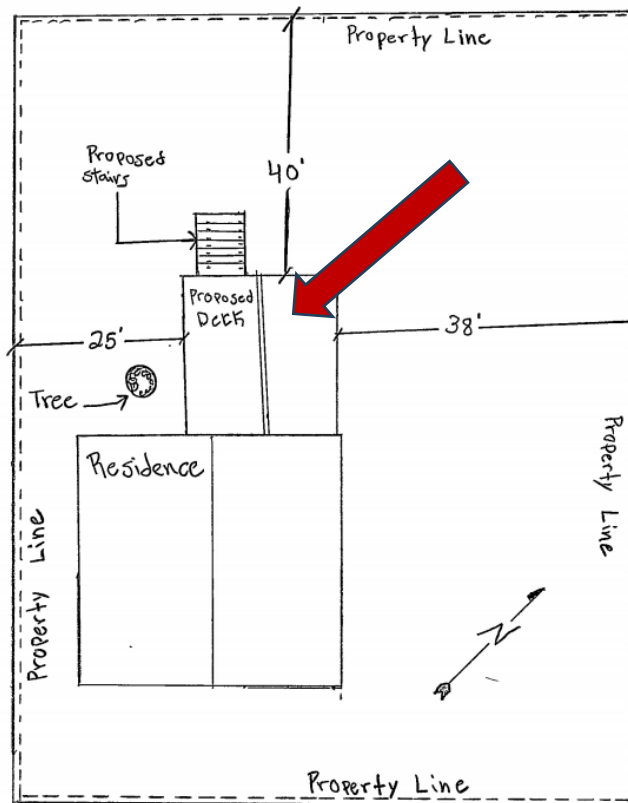
Back and side property line 8-10 feet behind large trees.

Project Description: The Applicant is requesting to use a Timbertech Impression Vertical cable railing on a rear deck replacement, which cannot be approved on a staff level per [HRB Policy #11](#). Projects that meet the Historic Review Board (HRB) policies do not have to request approval from HRB but may obtain administrative staff approval. Where an alteration does not meet the policies, a Type III review by the HRB will be necessary.

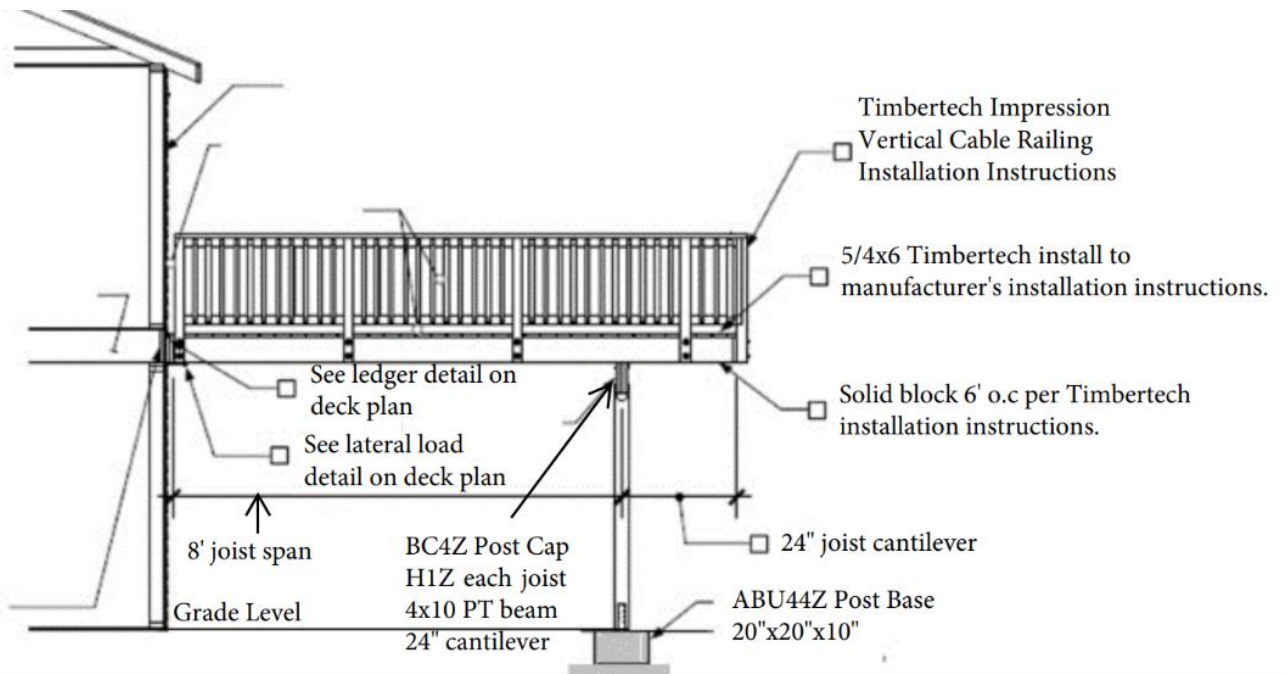
The applicant has chosen to present their request at a noticed hearing before the Historic Review Board. The Board may choose to approve, approve with conditions, or deny this request based on the criteria found in OCMC 17.40 Historic Overlay District.

Care should be made in the deliberation to address the HRB policies and, if allowed, why the specific proposal was allowed to provide direction for future applicants.

DECK SITE PLAN



JQ Adams





Mockup of railing materials

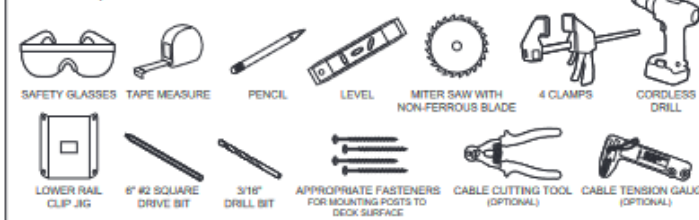
HR 23-08: Metal Cable Deck Railings At 1315 John Adams Street.

INSTALLATION INSTRUCTIONS

VERTICAL CABLE RAILING

36" AND 42" SYSTEM WITH 3" ALUMINUM POSTS

ITEMS REQUIRED FOR INSTALLATION



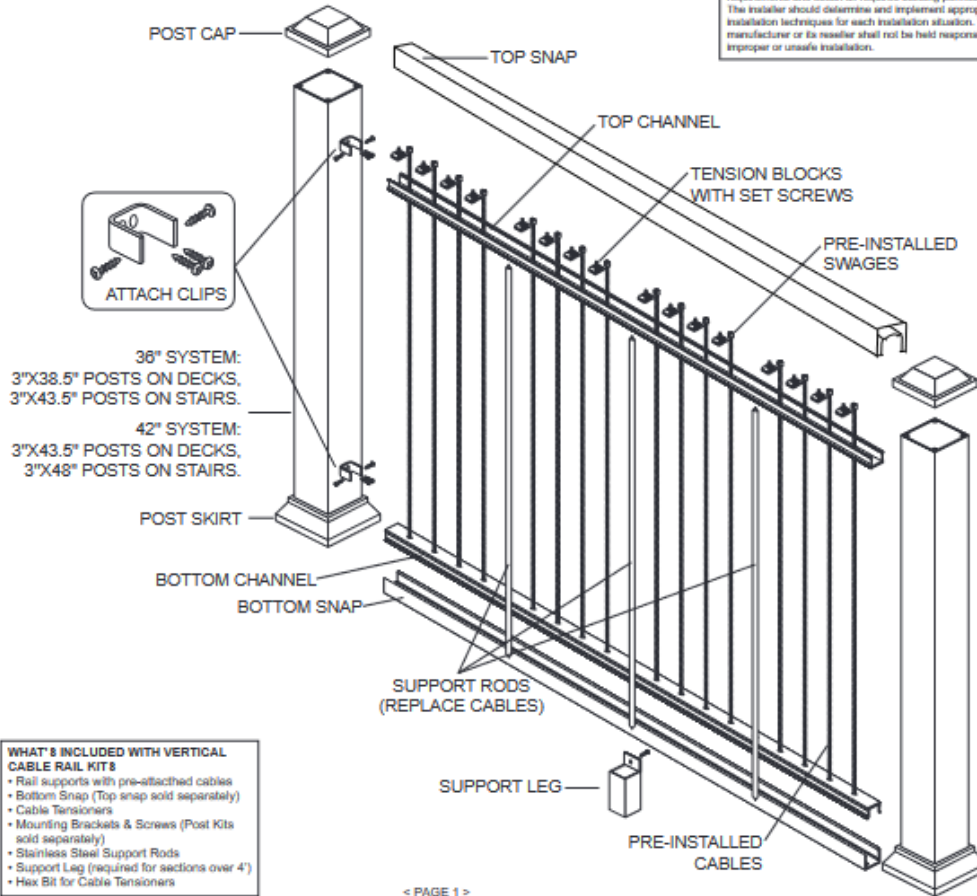
THESE INSTRUCTIONS COVER INSTALLATION OF A VERTICAL CABLE RAILING SYSTEM. PLEASE VISIT MANUFACTURER'S WEBSITE FOR OTHER RAILING SYSTEMS.

IMPORTANT NOTES:

- System designed for use with residential applications only.
- Do not install base plate covers until railing assembly is completed.
- Actual 6" cable panel size = 66.43"
- 3" posts are required to reach 6' lengths.

CAUTION: IF INSTALLING LIGHTING, WIRING MUST BE INSTALLED PRIOR TO SECURING POSTS TO DECK SURFACE AND INSTALLING TOP RAIL SNAPS.

It is the responsibility of the installer to meet all local code requirements and obtain all required building permits. The installer should determine and implement appropriate installation techniques for each installation situation. The manufacturer or its reseller shall not be held responsible for improper or unsafe installation.



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Historic Review Board Policies

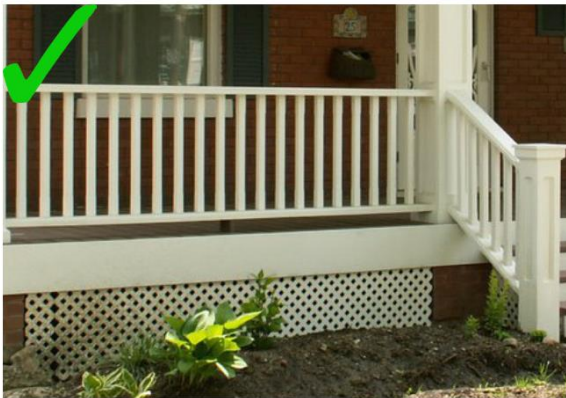
The City has adopted protections for locally designated properties to ensure these historic buildings maintain their integrity. The Historic Review Board (HRB) adopted policies for minor alterations to historic structures that can be done without formal Board review. The policies are meant to provide clear direction to historic property owners on exterior changes, including but not limited to roofing, siding, windows and doors. HRB Policies were first adopted in 1986 and updated in 2019. Locally designated properties are subject to HRB Policies. This includes designated structures in McLoughlin Conservation District, all structures in Canemah National Register District, and landmarks outside of districts. To see if a property is designated, visit www.orcity.org/maps/historic-resources.

HR 23-08: Metal Cable Deck Railings At 1315 John Adams Street.

HRB POLICY #11: PORCHES AND DECKS

Replacement or alteration of porches and decks older than 50 years shall meet HRB Policy #8 (Exterior Alterations to buildings and can be found at www.orcity.org/planning/hrb-policies). The construction of new front porches shall be reviewed by the HRB. Alterations of existing front porches, or construction of new rear porches or decks are permitted without Board review in accordance with the following:

- Porch and deck railings shall use vertical balusters and top and bottom rails. Baluster attachment shall be between the rails, not attached on the side of the rail.
- Wood decks and porches shall be painted to match a color of the designated structure. Paint-stain is also acceptable if it matches a color of the designated structure.
- No pressure treated wood shall be visible.
- Composite material (e.g. Trex, Timbertech, Azek) is allowed only for new or existing decks or porches less than 50 years old that are attached to the rear of a structure, to the interior side of a structure, and for detached deck structures in the interior side or rear yard. Composite material color shall match a color of the designated structure.
- Aluminum rails on porches and decks are not permitted.
- Deck or porch materials made from 100% vinyl are not permitted.



Balusters attached between the rails (permitted)



Balusters attached on the side of the rails (not permitted)

Zoning:

The property is zoned R-6 Dwelling District and Low-Density Residential in the Comprehensive Plan.

Notice and Public Comment:

Public notices were mailed to property owners within 300 feet of the subject site, posted on the subject site, and published in a newspaper of general circulation. No public comments have been submitted for this application.

CODE RESPONSES:*17.40.060 - Exterior alteration and new construction.*

- A. *Except as provided pursuant to subsection I of this section, no person shall alter any historic site in such a manner as to affect its exterior appearance, nor shall there be any new construction in an historic district, conservation district, historic corridor, or on a landmark site, unless a certificate of appropriateness has previously been issued by the historic review board. Any building addition that is thirty percent or more in area of the historic building (be it individual or cumulative) shall be considered new construction in a district. Further, no major public improvements shall be made in the district unless approved by the board and given a certificate of appropriateness.*

Finding: Applicable: The proposal for exterior alteration in a historic district is being reviewed by the Historic Review Board.

- B. *Application for such a certificate shall be made to the planning staff and shall be referred to the historic review board. The application shall be in such form and detail as the board prescribes.*

Finding: Complies as Proposed: The applicant submitted the required materials.

- C. *Archeological Monitoring Recommendation. For all projects that will involve ground disturbance, the applicant shall provide,*
1. *A letter or email from the Oregon State Historic Preservation Office Archaeological Division indicating the level of recommended archeological monitoring on-site, or demonstrate that the applicant had notified the Oregon State Historic Preservation Office and that the Oregon State Historic Preservation Office had not commented within forty-five days of notification by the applicant; and*
 2. *A letter or email from the applicable tribal cultural resource representative of the Confederated Tribes of the Grand Ronde, Confederated Tribes of the Siletz, Confederated Tribes of the Umatilla, Confederated Tribes of the Warm Springs and the Confederated Tribes of the Yakama Nation indicating the level of recommended archeological monitoring on-site, or demonstrate that the applicant had notified the applicable tribal cultural resource representative and that the applicable tribal cultural resource representative had not commented within forty-five days of notification by the applicant.*

If, after forty-five days notice from the applicant, the Oregon State Historic Preservation Office or the applicable tribal cultural resource representative fails to provide comment, the city will not require the letter or email as part of the completeness review. For the purpose of this section, ground disturbance is defined as the movement of native soils.

Finding: Not Applicable. The project does not include disturbance of native soils, as this is a deck replacement.

- D. [1.] *The historic review board, after notice and public hearing held pursuant to Chapter 17.50, shall approve the issuance, approve the issuance with conditions or disapprove issuance of the certificate of appropriateness.*

Applicable: The proposal is being reviewed by the Historic Review Board.

2. *The following exterior alterations to historic sites may be subject to administrative approval:*
 - a. *Work that conforms to the adopted Historic Review Board Policies.*

Not Applicable: The proposal is not subject to administrative approval.

- E. *For exterior alterations of historic sites in an historic district or conservation district or individual landmark, the criteria to be used by the board in reaching its decision on the certificate of appropriateness shall be:*

1. *The purpose of the historic conservation district as set forth in Section 17.40.010;*

Finding: Complies with Conditions.

The purpose of the district is to:

- A. Effect and accomplish the protection, enhancement and perpetuation of such improvements and of districts which represent or reflect elements of the city's cultural, social, economic, political and architectural history;
- B. Safeguard the city's historic, aesthetic and cultural heritage as embodied and reflected in such improvements and districts;
- C. Complement any National Register Historic districts designated in the city;
- D. Stabilize and improve property values in such districts;
- E. Foster civic pride in the beauty and noble accomplishments of the past;
- F. Protect and enhance the city's attractions to tourists and visitors and the support and stimulus to business and industry thereby provided;
- G. Strengthen the economy of the city;
- H. Promote the use of historic districts and landmarks for the education, pleasure, energy conservation, housing and public welfare of the city; and
- I. Carry out the provisions of LCDC Goal 5.

Finding: HRB direction needed The City of Portsmouth, New Hampshire provides a good background on the use of modern decks and their relationship to the historic resource that can help guide the HRB with this request. *"In the late-20th century, decks became a more prevalent constructed form of outdoor space, beginning with decks located above the ground, and later, roof decks on top of buildings. Decks are typically wood-frame construction, using stock lumber and components that are generally stained or sealed rather than painted. One of the critical differences between a deck and a porch is that a porch is integrated into the overall design of a building, while a deck, although attached, is stylistically different. Because of the stylistic difference, they are not appropriate at focal buildings, and must be carefully considered at all other locations, relative to their visibility from the public right-of-way¹.*

The applicant has proposed a deck that is located on the rear of the structure but is raised and integrated into the raised main floor. This is a replacement for a wood deck that appears to be 20'x20' close in size to the previous deck based on the aerial photos.

The site is heavily shaded and screened by trees on the side and rear property lines. There is very little to no opportunity to view the deck from the street though there is insufficient information to ascertain if the proposed deck and railing can be seen from 11314 Monroe Street -Dr. H.R Nehrbus House, the nearest historic resource, though the applicant supplementary photos show a heavy tree canopy in the rear of the property.

The applicant has indicated that their goal in choosing black metal cable railings was to reduce the appearance and massing of the deck by choosing slim railings.

The purpose of the HRB policy on railings was to encourage compatible additions that do not detract from the architecture of the primary structure in massing, details, or appearance. Choosing the wrong material, color, and railing design can create a structure that is not subservient to the historic details of the historic resource, has competing massing, or adversely affects the significance of the house by too closely integrating the deck into the resource and combine the potentially separate massings into one visual mass.

¹ [City of Portsmouth New Hampshire Deck Policy](#)

We can also refer to [Preservation Brief 32- additions](#) for guidance on adding decks to historic resources. Although decks are not considered habitable additions, they introduce a new element and should be planned accordingly.

An addition should be designed to be compatible with the historic character of the building and, thus, meet the Standards for Rehabilitation. Standards 9 and 10 apply specifically to new additions:

(9) "New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment."

(10) "New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired."

The Historic Review Board, should utilize the above information to determine if:

1. The simple cable railings differentiate the deck from the house and are designed to visually recede into the background; the lack of view from pedestrians and other historic resources also reduces the impact the deck has on the significance of the district.
2. The simple cable railings are too incompatible with the 1907 house and create too much of a contemporary element on a relatively large second-story deck, regardless of what can be seen from the street.

2. *The provisions of the city comprehensive plan;*

Finding: HRB direction needed

There is one goal and strategy in the Comprehensive Plan that pertain to this proposal:

GOAL 2

Acknowledge, protect, enhance, and commemorate Oregon City's historic, artistic, and cultural resource STRATEGY 2.3.C Encourage property owners to preserve historic structures in a state as close to their original construction as possible while allowing the structure to be used in an economically viable manner

The Comprehensive Plan Goals and Policies call for preserving uses and resources. The Historic Review Board has identified new decks as an allowed option for owners per HRB policy #11. If the Board finds the railing design will not adversely affect the resources, the proposal complies with the comprehensive. Conversely if. The Board finds that the resource is adversely affected, and the proposal would not comply with the Comprehensive Plan.

3. *The economic use of the historic site and the reasonableness of the proposed alteration and their relationship to the public interest in the structure's or landmark's preservation or renovation;*

Finding: Complies with Condition: The site is used as a residence and the use is not proposed to change. The public interest in the structure's preservation is preserving the Vernacular architecture and historic character of the house, which is made up of its historic materials and design. See findings in criteria #6 and #9 of this section.

HR 23-08: Metal Cable Deck Railings At 1315 John Adams Street.

4. The value and significance of the historic site;

Finding: Complies with Condition: The value and significance of the historic site is the architecture and age of the structure, an 1907 Vernacular in the McLoughlin District. See findings in criteria #6 and #9 of this section.

5. *The physical condition of the historic site*

Finding: Complies as Proposed. The structure is in fair to good condition. The proposal deck may prolong and support the continued use of the property.

6. The general compatibility of exterior design, arrangement, proportion, detail, scale, color, texture and materials proposed to be used with the historic site;

Finding: Needs Board Direction see findings in 17.40.060E1

7. Pertinent aesthetic factors as designated by the board;

Finding: Complies as Proposed. Staff does not suggest consideration of any aesthetic factors other than those already reflected in the code.

8. *Economic, social, environmental and energy consequences;*

Finding: Complies as Proposed. The home value may be increased, The consequences of the proposal are positive to the economy, environment, and energy conservation. Social impacts are inconsequential.

9. *Design guidelines adopted by the historic review board.*

Finding: HRB Direction Needed The following design guidelines from the City's Design Guidelines for Alterations, which include the Secretary of Interior Standards, are applicable to this proposal:

Secretary of Interior Standard #2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

Finding: No distinctive materials will be removed

Secretary of Interior Standard #9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Finding: Compatibility with massing is not applicable; the proposal will not alter the massing of the structure any more than what would be allowed through HRB policy #11 decks. Compatibility of the proposal with historic materials, features, size, scale and proportion is as follows:

*Compatibility with Historic Materials, Compatibility with Historical Features,
Compatibility with Size/Scale/Proportion:*

Finding: HRB Direction Needed

HR 23-08: Metal Cable Deck Railings At 1315 John Adams Street.

The Historic Review Board, should utilize the information found within the staff report to determine if:

1. The simple cable railings differentiate the deck from the house and are designed to visually recede into the background; the lack of view from pedestrians and other historic resources also reduces the impact the deck has on the significance of the district.
2. The simple cable railings are too incompatible with the 1907 house and create too much of a contemporary element on a relatively large, raised deck, regardless of what can be seen from the street.

Therefore-

- If the Board finds that these metal railings will adversely impact the historic integrity of the home or district by allowing railings whose material, design, and thickness are not compatible with the historic design of the 1907 Vernacular house, then they should deny the application and direct the applicant proposes a deck that can meet HRB Policy #11, which can be approved by staff through the building permits process.
- If the Board finds that the metal railing, as proposed or with additional conditions, does not adversely impact the historic integrity of the home or district as it is located in the rear of the building, is blocked from neighbors and the street by a topography and tree canopy, and creates less of a mass than railings that would have been allowed by HRB policy #11, the Board should utilize the following conditions in their motion:

Secretary of Interior Standard #10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Finding: Complies The deck can be removed at any time without affecting the historic significance materials of the house.

Oregon City Guideline: Traditional landscape elements evident in the District (grass, trees, shrubs, picket fences, etc.) should be preserved, and are encouraged in site redevelopment. Inappropriate landscape treatments such as berms and extensive non- vegetative ground cover (e.g. mulch and bark dust) are discouraged.

Finding: The applicant has not proposed to remove any significant landscaping or trees on the site or in the district.

17.40.065 - Historic Preservation Incentives.

A. Purpose. Historic preservation incentives increase the potential for historically designated properties to be used, protected, renovated, and preserved. Incentives make preservation more attractive to owners of locally designated structures because they provide flexibility and economic opportunities.

B. Eligibility for Historic Preservation Incentives. All exterior alterations of designated structures and new construction in historic and conservation districts are eligible for historic preservation incentives if the exterior alteration or new construction has received a certificate of appropriateness from the Historic Review Board per OCMC 17.50.110(c).

C. Incentives Allowed. The dimensional standards of the underlying zone as well as for accessory buildings (OCMC 17.54.100) may be adjusted to allow for compatible development if the expansion or new construction is approved through historic design review.

D. Process. The applicant must request the incentive at the time of application to the Historic Review Board.

Finding: Not Applicable: No incentives are proposed.

II. PUBLIC NOTICE

A public notice was sent to neighbors within 300 feet of the subject property, posted online, emailed to various entities, and posted onsite.

III. CONCLUSIONS AND RECOMMENDATIONS

As this is a request for an exception to the adopted HRB policies- staff is looking to the Historic Review Board for direction.

Exhibits

1. Applicant Submittal
 - a. Supplementary Photos
2. Historic Survey Form
3. HRB Policies- Decks and Porches #11
4. Preservation Brief 14 - Additions



LAND USE APPLICATION FORM

Type I (OCMC 17.50.030.A)

- ☐ Compatibility Review
- ☐ Lot Line Adjustment
- ☐ Non-Conforming Use Review
- ☐ Natural Resource (NROD) Verification
- ☐ Site Plan and Design Review
- ☐ Extension of Approval

Type II (OCMC 17.50.030.B)

- ☐ Detailed Development Review
- ☐ Geotechnical Hazards
- ☐ Minor Partition (<4 lots)
- ☐ Minor Site Plan & Design Review
- ☐ Non-Conforming Use Review
- ☐ Site Plan and Design Review
- ☐ Subdivision (4+ lots)
- ☐ Minor Variance
- ☐ Natural Resource (NROD) Review

Type III / IV (OCMC 17.50.030.C)

- ☐ Annexation
- ☐ Code Interpretation / Similar Use
- ☐ Concept Development Plan
- ☐ Conditional Use
- ☐ Comprehensive Plan Amendment (Text/Map)
- ☐ Detailed Development Plan
- ☐ Historic Review
- ☐ Municipal Code Amendment
- ☐ Variance
- ☐ Zone Change

File Number(s): _____

Proposed Land Use or Activity: Replace existing multi-level deck with Timbertech decking boards and Timbertech impression cable railing.

Project Name: Deck Replacement Number of Lots Proposed (If Applicable): N/A

Physical Address of Site: 1315 JQ Adams St. Oregon City, OR 97045

Clackamas County Map and Tax Lot Number(s): Map # 22E32BB, Tax Lot # 3000

Applicant(s):

Applicant(s) Signature: Jorge Soto

Applicant(s) Name Printed: Jorge Soto (Right Guys Framing) Date: 7/20/2023

Mailing Address: PO BOX 30131 Portland, OR 97294

Phone: 503-840-2796 Fax: _____ Email: jorge@rightguysframing.com

Property Owner(s):

Property Owner(s) Signature: 
Kimberly Sparks Jon Sparks (Jul 24, 2023 07:13 PDT)

Property Owner(s) Name Printed: Kimberly Sparks & Jon Sparks Date: 7/20/2023

Mailing Address: 1315 JQ Adams St. Oregon City, OR 97045

Phone: 503-890-9310 Fax: _____ Email: herbydame@gmail.com

Representative(s):

Representative(s) Signature: _____

Representative (s) Name Printed: _____ Date: _____

Mailing Address: _____

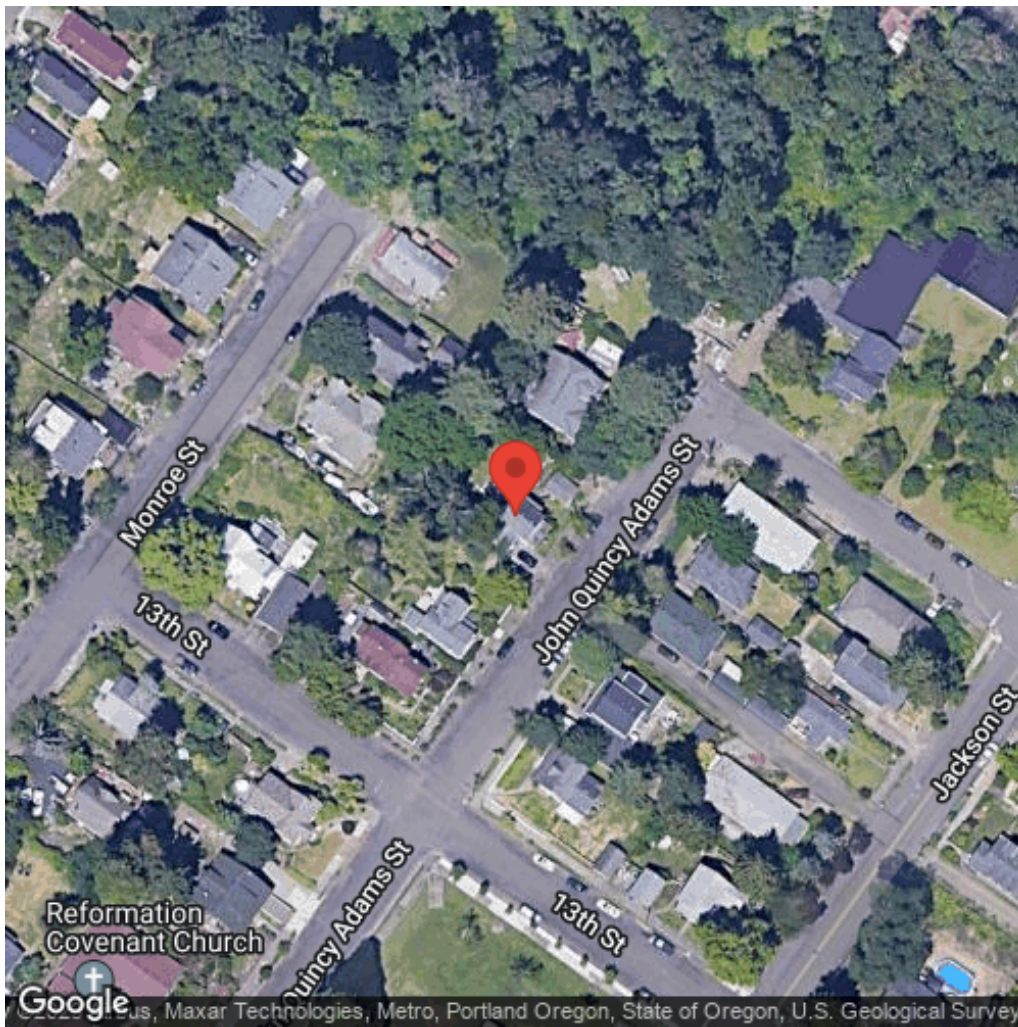
Phone: _____ Fax: _____ Email: _____

All signatures represented must have the full legal capacity and hereby authorize the filing of this application and certify that the information and exhibits herewith are correct and indicate the parties willingness to comply with all code requirements.

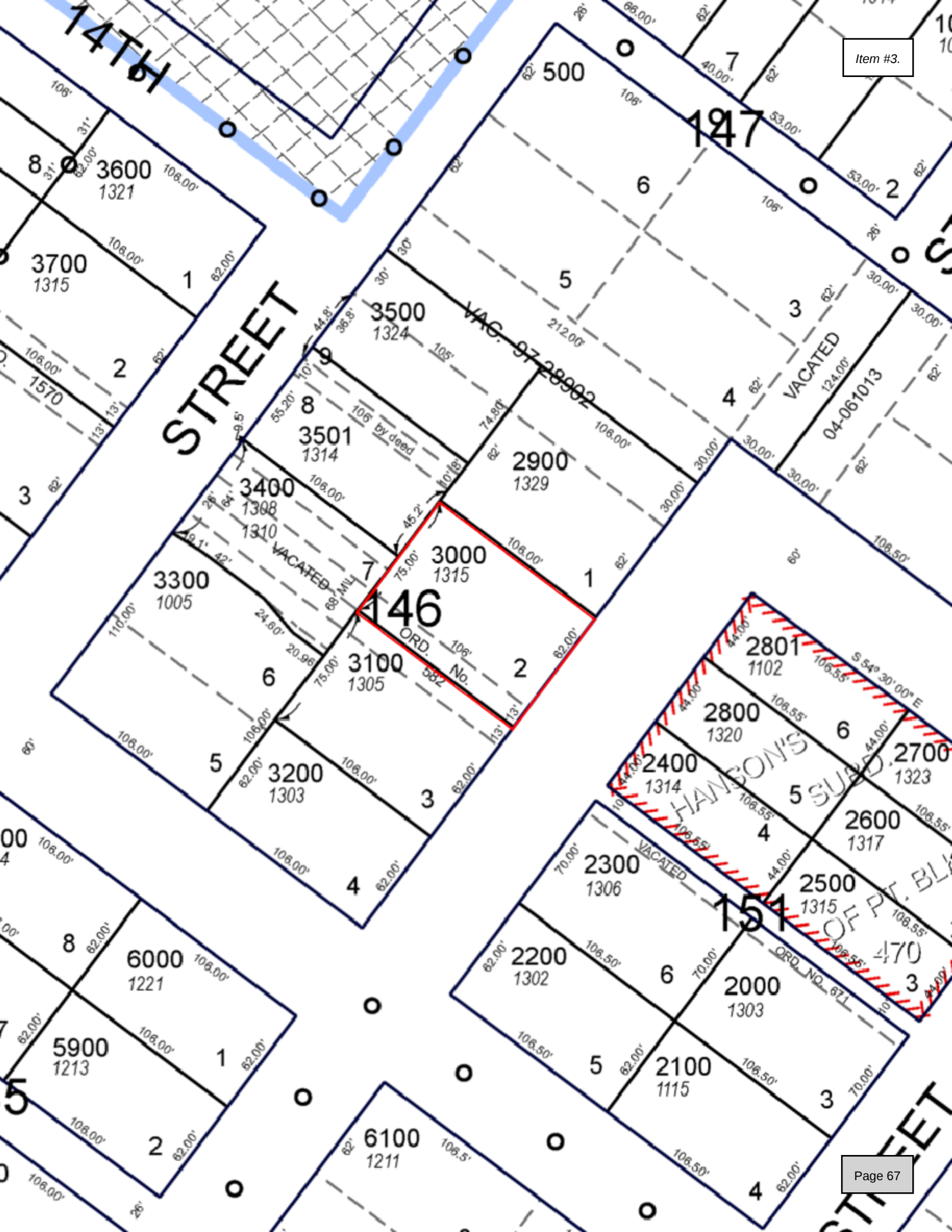
OREGON CITY HISTORIC RESOURCE SURVEY FORM

Street Address: 1315 JQ ADAMS ST				City: OREGON CITY			
USGS Quad Name: Oregon City			GPS Latitude: 45 21 33 N		Longitude: 122 35 46 W		
Township: 02S	Range: 02E	Section: 32	Block: 146	Lot: 2	Map #: 22E32BB	Tax Lot #: 3000	
Date of Construction: c. 1907		Historic Name: Park, Annie, House			Historic Use or Function: Domestic - single dwelling		
Grouping or Cluster Name: NA		*Current Name or Use: Domestic - single dwelling			Associated Archaeological Site: Unknown		
Architectural Classification(s): Vernacular			Plan Type/Shape: Complex		Number of Stories: 1.5		
Foundation Material: Post and beam			Structural Framing: Unknown		Moved? No		
Roof Type/Material: Gable / Composition shingle			Window Type/Material: 1/1 wood double-hung				
Exterior Surface Materials Primary: Lap			Secondary:		Decorative:		
Exterior Alterations or Additions/Approximate Date: Lap siding cover original siding; metal balustrade; one story addition to south, c.1920							
Number and Type of Associated Resources: Garage to north (1)							
Integrity: Fair		Condition: Good		Local Ranking: Designated Historic Site		National Register Listed? No	
Potentially Eligible: ☐ Individually or ☐ As a contributing resource in a district Not Eligible: ☐ Intact but lacks distinction ☒ Altered (choose one): ☒ Reversible/Potentially eligible individually or in district ☐ Reversible/Ineligible as it lacks distinction ☐ Irretrievable loss of integrity ☐ Not 50 years old							
Description of Physical and Landscape Features:							
This 1-1/2 story vernacular house has a complex plan and sits on a post and beam combined with poured concrete foundation. The gable roof is covered with composition shingles and is pierced by a chimney. The walls are covered with non-original lap siding. Windows are primarily 1/1 wood double-hung with storm windows. The hipped roof entry porch has a poured concrete floor and wrought iron posts and railing. Hipped roof additions have been added to the north, south and west facades. A deck has also been added to the west façade. A garage sits to the northeast of the house.							
Statement of Significance:							
In 1906, Annie Park purchased this property and is credited with the construction of the residence. Two years later, she sold to Andrew Robertson, who would be one of many subsequent short-term owners. In 1929, Rufus A. Stinett, a mill man, and his wife Estelle, a census worker, acquired the house. They owned the property until 1945, when it was deeded to Roy E. and Marie Sawyer. The couple worked for School District No. 62, he at Oregon City Junior High School and she at Park Place School. Following the Sawyers transfer in 1953, the property again changed hands every few years. These women were some of its owners: Dorothy Vauthier, Doris Helzer, and Eileen Thompson.							

Researcher/Organization: Heather Goodson / HPNW			Date Recorded: 4/6/2002	
Survey Form Page 1	Address: 1315 JQ ADAMS ST	Local Designation #	SHPO #	



1315 Jq Adams St, Oregon City, OR



City of Oregon City
Historic Review for Alterations to a Historic Structure
Standards and Guidelines Template

Instructions: Please fill out project description and provide a response under each section where “applicant response” is written. Some example responses are provided; please remove or edit the example responses. Contact ocplanning@orc.org with any questions.

The full Guidelines document can be found online: <https://www.orcity.org/planning/design-guidelines-alterations-additions>

PROJECT DESCRIPTION: Replacement of an existing deck and railing is proposed to be constructed on the back of the historic house located at 1315 JQ Adams St. Oregon City, OR 97045. The proposed deck will replace the existing rotten wood deck and railing. The new deck material is Timbertech Prime Collection decking boards with Timbertech Impression Verticable cable railing. The deck has no visibility from the front of the house.

COMPLIANCE WITH OREGON CITY MUNICIPAL CODE Chapter 17.40:

17.40.060 – Exterior Alteration and new construction

E. For exterior alterations of historic sites in an historic district or conservation district or individual landmark, the criteria to be used by the board in reaching its decision on the certificate of appropriateness shall be:

17.40.060.E (1) - The purpose of the historic conservation district as set forth in Section 17.40.010;

Applicant response:

We are building a deck and understand the criteria.

17.40.060.E (2) -The provisions of the city comprehensive plan;

STRATEGY 2.3.C Encourage property owners to preserve historic structures in a state as close to their original construction as possible while allowing the structure to be used in an economically viable manner.

Applicant response:

The original house will not be changed.

17.40.060.E (3) - The economic use of the historic site and the reasonableness of the proposed alteration and their relationship to the public interest in the structure's

17.40.060.E (4) The value and significance of the historic site;

Applicant response:

The historic site is a residential home with backyard deck attached.

17.40.060.E (5) - The physical condition of the historic site;

Applicant response:

Home is in good condition.

17.40.060.E (6) - The general compatibility of exterior design, arrangement, proportion, detail, scale, color, texture and materials proposed to be used with the historic site;

Applicant response:

We want to use Timbertech like decking in a compatible color. We would like cable railings that will almost disappear and make the deck blend in with surroundings.

17.40.060.E (7) Pertinent aesthetic factors as designated by the board;

Applicant response:

The Board has not identified any additional factors beyond the adopted guidelines.

17.40.060.E (8) Economic, social, environmental and energy consequences; and

Applicant response:

No consequences noted.

17.40.060.E (9) Design guidelines adopted by the historic review board

Applicant response:

Please refer to the plans.

Design Guidelines for Alterations and Additions

<https://www.orcity.org/planning/design-guidelines-alterations-additions>

Secretary of Interiors Standards for Rehabilitation

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

Applicant response:

The new deck is replacing an old deck that was built in 1980's that has been taken down.

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

Applicant response:

The construction will not alter any characteristics of the property.

3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

Applicant response:

The deck will be built to blend in with the surroundings.

4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.

Applicant response:

No changes that have acquired historic significant are proposed to be altered.

5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

Applicant response:

The applicant proposes to preserve all craftsmanship.

6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

Applicant response:

7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible.

Applicant response:

No treatments are proposed.

8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

Applicant response:

No ground disturbance is proposed.

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Applicant response:

Nothing original will be changed.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Applicant response:

Unimpaired.

Design Guidelines: Alterations – Additions

A. Site

1. In addition to the zoning requirements, the relationship of new additions to the street and to the open space between buildings shall be compatible with adjacent historic buildings and with the historic character of the District.

2. New additions shall be sited so that the impact to the primary facade(s) is kept to a minimum. Additions shall generally be located at the rear portions of the property or in such locations where they have the least visual impact from public ways.

Applicant response:

The deck is in the rear of property and will have limited visibility from street.

B. Landscape

1. Traditional landscape elements evident in the District (grass, trees, shrubs, picket fences, etc.) should be preserved, and are encouraged in site redevelopment.

Applicant response:

landscape will be preserved

2. Inappropriate landscape treatments such as berms and extensive ground cover are discouraged.

Applicant response:

None used

C. Building Height

1. In addition to the zoning requirements, the height of new additions shall not exceed the height of the historic building, or of historic buildings in the surrounding area.

Applicant response:

The height will not exceed building

D. Building Bulk

1. New additions smaller than the historic building or the historic buildings in the surrounding area are encouraged.

a. Where new additions must be larger, the new addition shall be articulated in such a manner that no single element is visually larger than the historic building or surrounding historic buildings.

Applicant response:

It will be smaller than building

E. Proportion and Scale

1. The relationship of height to width of new additions and their sub-elements such as windows and doors and of alterations shall be compatible with related elements of the historic building, and with the historic character of the District.

Applicant response:

See above

2. The relationship of solids to voids (wall to window) shall be compatible with related elements on the historic

F. Exterior Features

1. General

a. To the extent practicable, original historic architectural elements and materials shall be preserved.

b. Architectural elements and materials for new additions shall be compatible with related elements of the historic building and with the historic character of the District.

c. The preservation, cleaning, repair and other treatment of original materials shall be in accord with the Secretary of Interior's Standards of Rehabilitation and Guidelines for Rehabilitating Historic Buildings.

Applicant response:

It will be preserved.

Existing Photo 1



Existing Photo 2



Existing Photo 3



Existing Photo 4



Proposed Phone 1

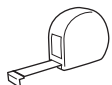


Proposed photo 2

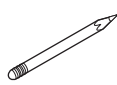


Item #3.

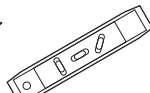
SAFETY GLASS



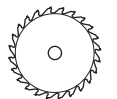
TAPE MEASURE



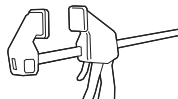
PENCIL



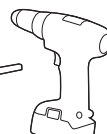
LEVEL



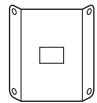
MITER SAW WITH
NON-FERROUS BLADE



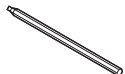
4 CLAMPS



CORDLESS
DRILL



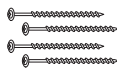
LOWER RAIL
CLIP JIG



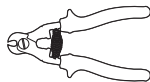
6" #2 SQUARE
DRIVE BIT



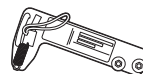
3/16"
DRILL BIT



APPROPRIATE FASTENERS
FOR MOUNTING POSTS TO
DECK SURFACE



CABLE CUTTING TOOL
(OPTIONAL)

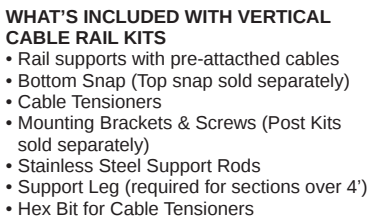


CABLE TENSION GAUGE
(OPTIONAL)

IMPORTANT NOTES:

- System designed for use with residential applications only.
- Do not install base plate covers until railing assembly is completed.
- Actual 6' cable panel size = 69.43".
- 3" posts are required to reach 6' lengths.

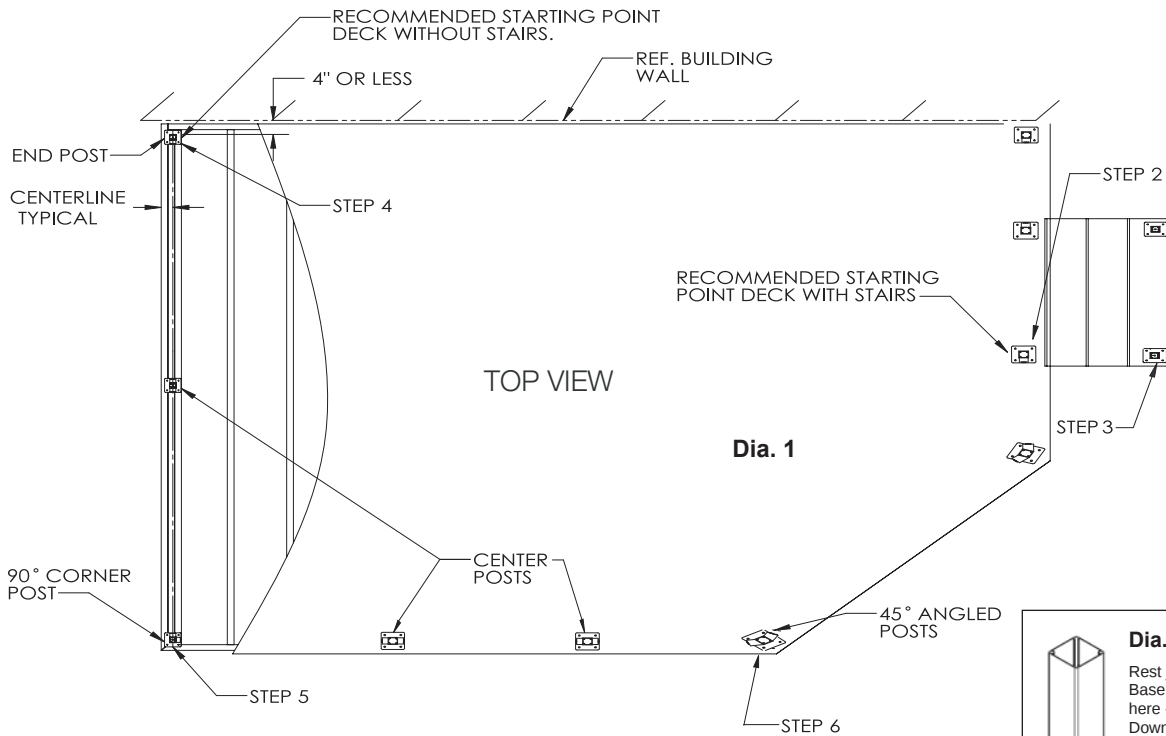
It is the responsibility of the installer to meet all local code requirements and obtain all required building permits. The installer should determine and implement appropriate installation techniques for each installation situation. The manufacturer or its reseller shall not be held responsible for improper or unsafe installation.



3" ALUMINUM POST INSTALLATION

Item #3.

1 Determine Post Configurations and Locations (i.e. end, center, corner, etc.) Dia. #1



2 Prepare Posts (end, center or corner)

- Using the lower clip jig, install lower clip on post and secure with (2) - #8x3/4" self-tapping screws (Dia. 2a). Clips are located in the Panel Kit

3 How to Secure Posts to Deck

Install proper post blocking as per (Dia. 3). Use proper attachment screws or anchors as directed. (Deck screws at each post location, are not included with kits).

- With 3/16" drill bit, pre-drill through deck boards and into blocking
- Drill a 5/8" hole in center of four deck screw holes for lighting wires (optional)
- Level and plumb post using shims
- Secure posts to deck with suggested screws (Dia. 2b)

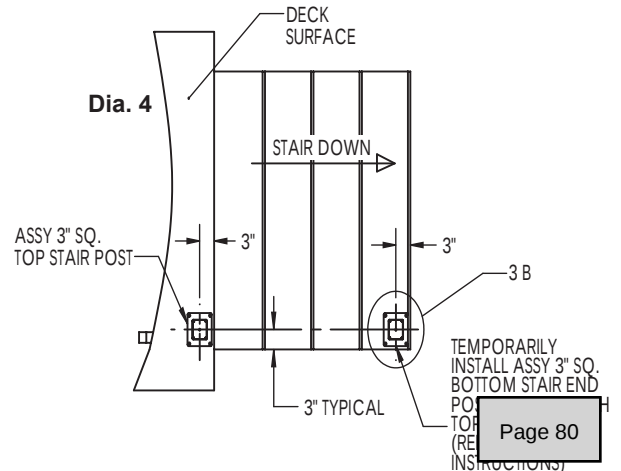
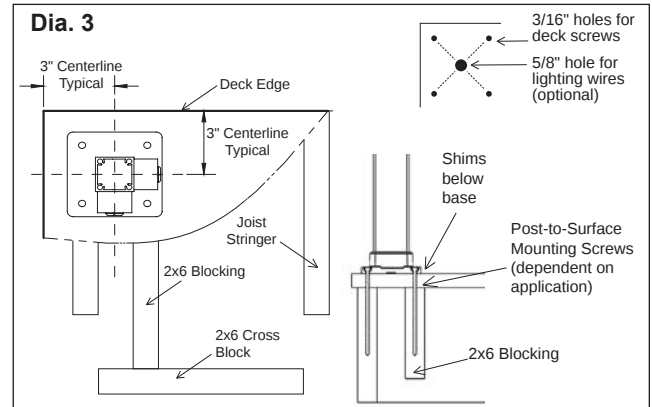
4 Installation of Stair End Posts (If applicable)

- Temporarily install end stair post so rail centerline aligns with top stair posts installed in Step 1 (if applicable) (Dia. 2a). Recommended post installation locations are as shown (Dia. 4)
- Return to completing deck railing installation; upon completion of deck railing, refer to stair railing installation instructions.
- Secure posts to deck with suggested screws
- Use 38.5" post height for deck, 43.5" post height for stairs.



POST-TO-SURFACE MOUNTING SCREWS: Dia. 2b

- 3" Posts – Residential Deck Applications – 5/16" X 6" Exterior Torx/Star Drive Construction Screws
- 3" Posts – Commercial Deck Applications – 3/8" X 6" Exterior Torx/Star Drive Construction Screws
- 3" Posts – Residential Concrete Applications – Tapcon® 5/16" x 3" Hex Washer Head Concrete Anchor



5 Installation of 90-degree Corner Posts

Position post on same 3" centerline (typical) and temporarily fasten using a single fastener through base plate mounting hole. (Dia. 5)

6 Installation of End Posts

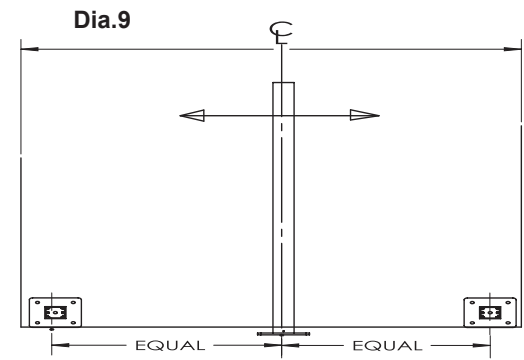
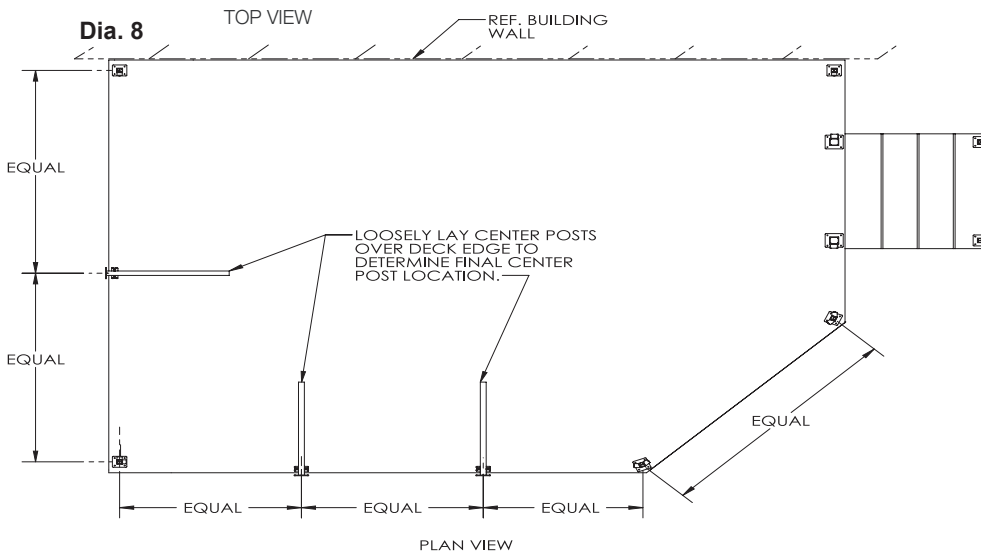
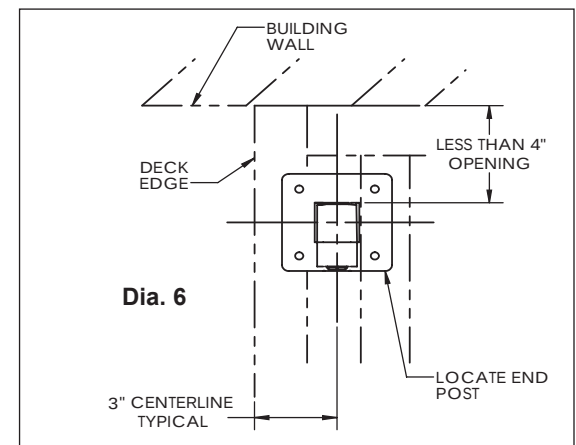
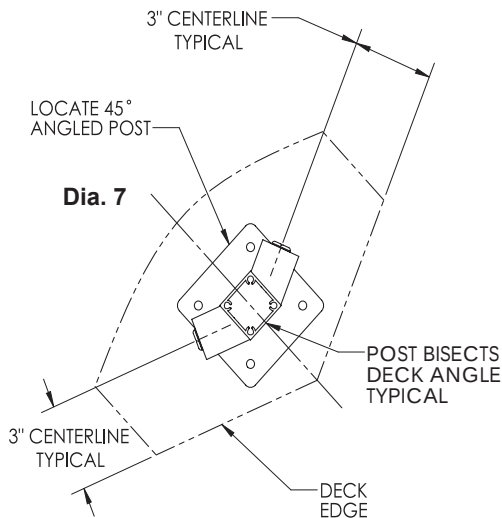
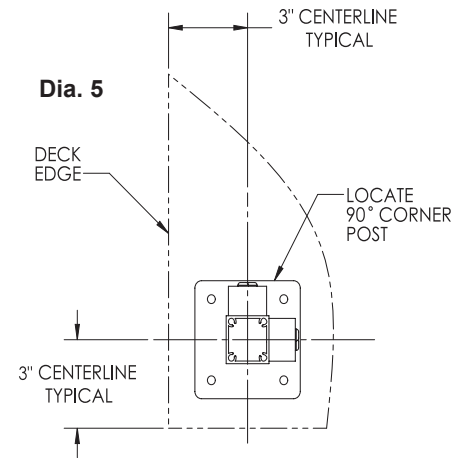
Install posts at all end locations with maximum gap between post and wall to be less than a 4" opening. (Dia. 6)

7 Installation of 45-degree corner posts

Position post on same 3" centerline (typical) and temporarily fasten to deck surface. Use one 22.5° Panel Attach Kit (purchased separately) to install 45 degree corner posts. (Dia. 7)

8 Determine Center Post Locations

Loosely lay center post over deck edge and adjust as required to determine final center post mounting locations. (See Dia. 8 & 9)



DECK PANEL INSTALLATION

IMPORTANT NOTE: See Post Installation Instructions before proceeding to Deck Panel Installation.

1 Prep Rail & Cable Section

Remove cable panel from packaging and lay section flat on a non-abrasive surface. Spread U-Channels until cables are tight. (Dia 1). **Note:** Do not install tensioning blocks until instructed.

2 Cut/Remove Cables for Support Rod Installation

- Clamp or hold panel against installed posts, adjust for equal end spacing. (Dia. 2). Center panel so there is equal distance from post to first cable on each end
- As per chart below, determine the necessary number of support rods required. The support rods should be spaced with no more than 4 cables between rods

Required Support Rods (evenly spaced)	Length of Section
1	19" to 34"
2	34.1" to 51.5"
3	51.6" to 69.43"
4	69.44" to 86.5"
5	86.6" to 91.31"

- Cut and remove cables where rods will be installed. **Note:** Use appropriate Stainless Cable Cutting Tool
- Mark the top and bottom rails at four (4) locations
- Unclamp panel from posts

3 Cut Panels to Length

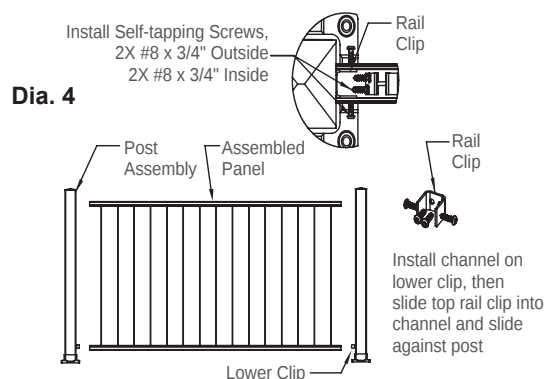
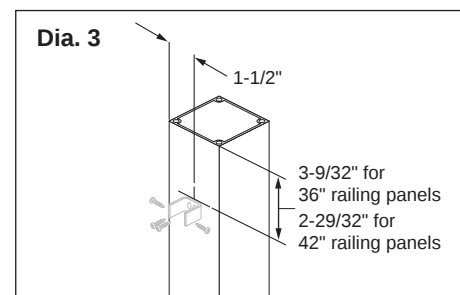
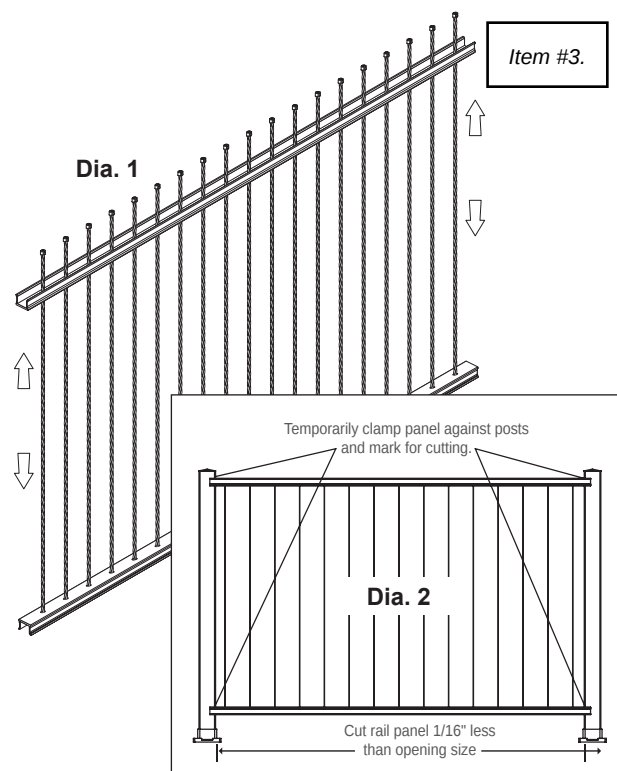
- Cut bottom channel and top channel 1/16" less than opening size. **CAUTION:** Ensure there are no cables in cutting path
- Clean cut areas and apply touch-up paint on exposed ends

4 Insert Support Rods

- Slide top channel up until the swages stop the top channel
- Insert support rods into holes at cut cable location(s) and slide top channel down to hold them in place.

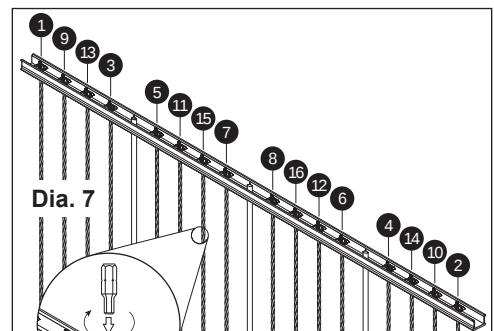
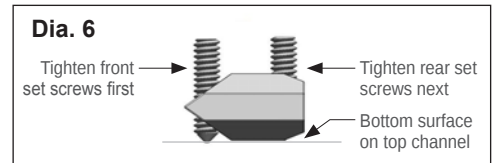
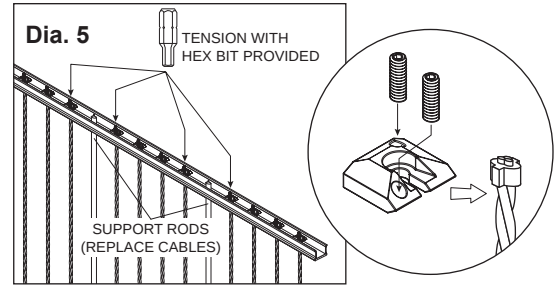
5 Secure Vertical Cable Rail Panel to Posts

- Scribe a line horizontally or parallel from the top edge of the 36" post at 3-9/32" down from the top edge for 36" railing panels; measure down 2-29/32" down from a 43.5" post for 42" panels. Then scribe a line vertically in the center of the post (Dia. 3). This will be used to locate the top rail clip.
- Using (4) - #8x3/4" self-tapping screws, secure the lower two clips to the posts at marked locations
- Slide bottom channel onto lower clips (Dia.4)
- Using (4) - #8x3/4" self-tapping screws, secure the lower two clips to the panel
- Insert clips into top channel of panel on each end
- Align top rail clip edge to the horizontal line scribed into the end post and center.
- Gently push down on upper channel until resting against upper surface of support rods. Secure upper clips to posts using (2) - #8x3/4" self-tapping screws, then secure to the panel using (2) - #8x3/4" self-tapping screws



6 Tension Cables

- Slide tension blocks between swages and top channel with set screw points facing down (Dia. 5)
- Gently turn set screws just until cable is tight
- Make sure swages and tension blocks don't stick up over the top channel
- TIP:** Tighten the front set screws first, just until they reach the channel. Then tighten the rear set screws. This helps to keep everything level. (Dia. 6)
- Use included hex bit to tighten tension block set screws in the sequence shown in Dia. 7
- Gradually tighten each tension block in the sequence shown in diagram until cable is straight and not easily bowed. Optional: Use a Loos Cable Tension Gauge to test cables near the center of the cables to reach the appropriate tensions. The recommended range on the PT-1 scale is 15-17 or 137-165 lbs using the Loos Cable Tension Gauge. **CAUTION: DO NOT OVER TIGHTEN SET SCREWS!**



7 Cut and Install Bottom Rail Snaps

- Measure between posts at the bottom (Dia. 8)
- Cut bottom snap covers 1/16" less than opening
- Clean cut areas and apply touch-up paint on all exposed metal
- Push rail snaps up under the lower rail channel until properly seated (Dia. 9)

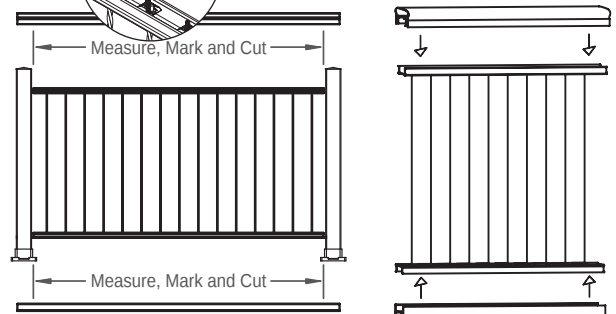
8 Install Support Legs

- For openings greater than 4', install a support leg under the center of the bottom rail (Dia. 10)
- Slide support leg under bottom rail and mark
- Install two deck screws at location of support leg, then install support leg over screws
- Using (1) - #8x3/4" self-tapping screw, secure the support leg to bottom rail (Dia. 11)

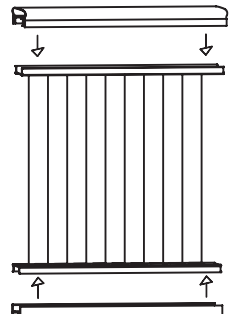
9 Cut and Install Top Rail Snaps

- Measure between posts at the top (Dia. 8)
- Cut top snap covers 1/16" less than opening
- Clean cut areas and apply touch-up paint on all exposed metal
- Push rail snap down onto the top rail channel until properly seated (Dia. 9)
- Install #8 x 1-1/2" self-tapping screws approximately 1-1/2" from the inside of the end posts as shown (both sides). (Dia. 12)

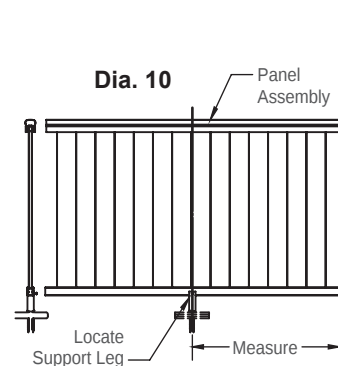
10 Install Post Caps and Base Plate Covers



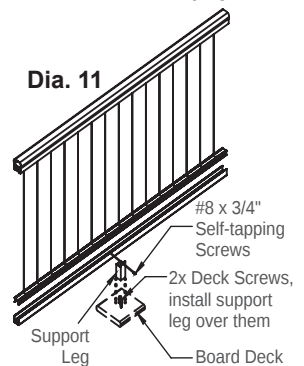
Dia. 8



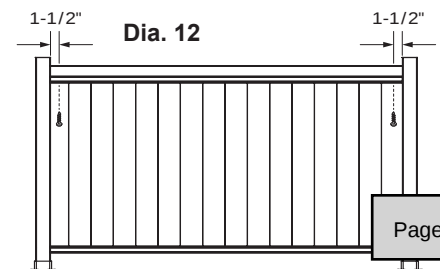
Dia. 9



Dia. 10



Dia. 11



Dia. 12

STAIR PANEL INSTALLATION

Item #3.

IMPORTANT NOTE: See Post Installation Instructions before proceeding to Stair Panel Installation. Use 38.5" post height for deck, 43.5" post height for stairs.

1 Prep Rail & Cable Section

Remove cable panel from packaging and lay section flat on a non-abrasive surface. Spread U-Channels until cables are tight. (Dia. 1). **Note:** Do not install tensioning blocks until instructed.

Important: Ensure panels are fully extended prior to tensioning cables.

2 Cut/Remove Cables for Support Rod Installation

- Clamp or hold panel against installed posts, adjust for equal end spacing. (Dia. 2). Center panel so there is equal distance from post to first cable on each end
- Position stair panel approximately 1 1/2" above stair nosing. **TIP:** lay a 2x4 board flat on nose of stair treads. This will allow enough room for installation of bottom snap. Clamp stair panel against top and bottom 3" posts. Using a sharp #2 pencil, mark the stair channels at four (4) locations (Dia. 5)
- As per chart below, determine the necessary number of support rods required. The support rods should be spaced with no more than 4 cables between rods

Required Support Rods (evenly spaced)	Length of Section
1	19" to 34"
2	34.1" to 51.5"
3	51.6" to 69.43"
4	69.44" to 86.5"
5	86.6" to 91.31"

- Cut and remove cables where rods will be installed. **Note:** Use appropriate Stainless Cable Cutting Tool
- Mark the top and bottom rails at four (4) locations
- Unclamp panel from posts

3 Cut Panels to Length

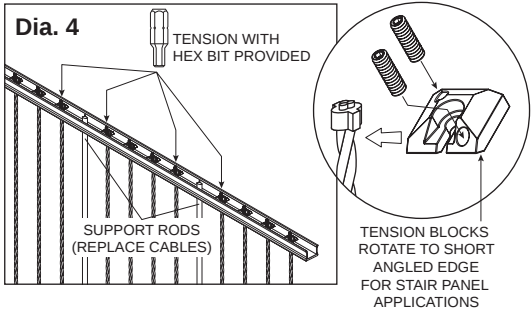
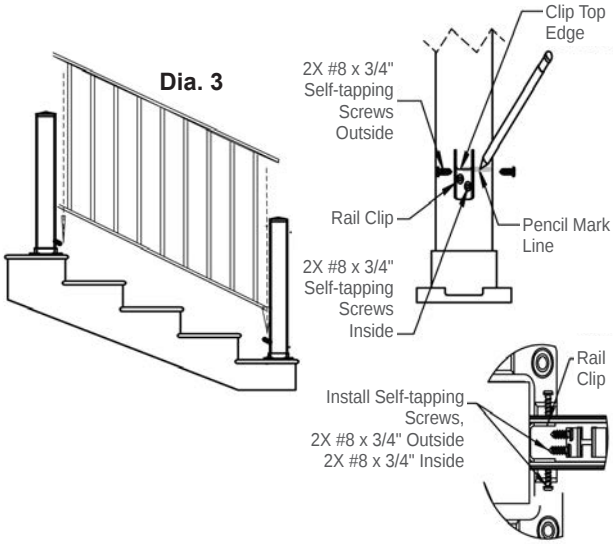
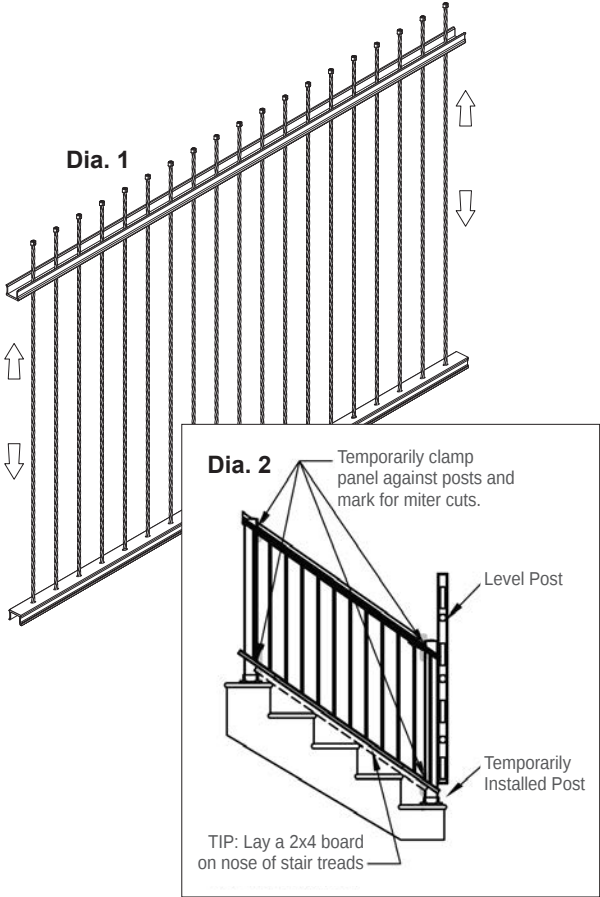
- Cut bottom channel and top channel 1/16" less than opening size. **CAUTION:** Ensure there are no cables in cutting path
- Clean cut areas and apply touch-up paint on exposed ends

4 Insert Support Rods

- Slide top channel up until the swages stop the top channel
- Insert support rods into holes at cut cable location(s) and slide top channel down to hold them in place.

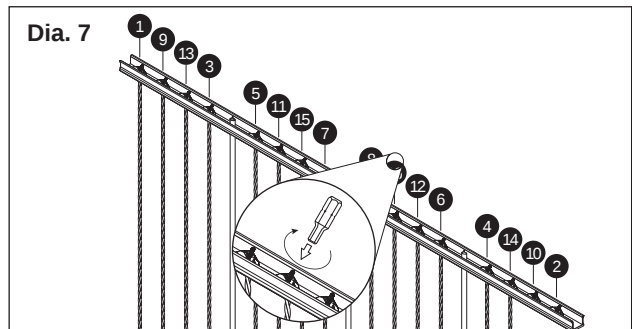
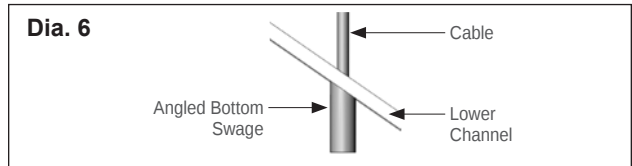
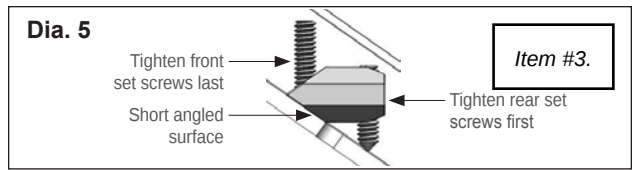
5 Secure Vertical Cable Rail Panel to Posts

- Using (4) - #8x3/4" self-tapping screws, secure the lower two clips to the posts at marked locations
- Slide bottom channel (channel with angled swages) onto lower clips (Dia. 3)
- Using (4) - #8x3/4" self-tapping screws, secure the lower two clips to the panel
- Insert clips into top channel of panel on each end
- Gently push down on upper channel until resting against upper surface of support rods. Secure upper clips to posts using (2) - #8x3/4" self-tapping screws, then secure to the panel using (2) - #8x3/4" self-tapping screws



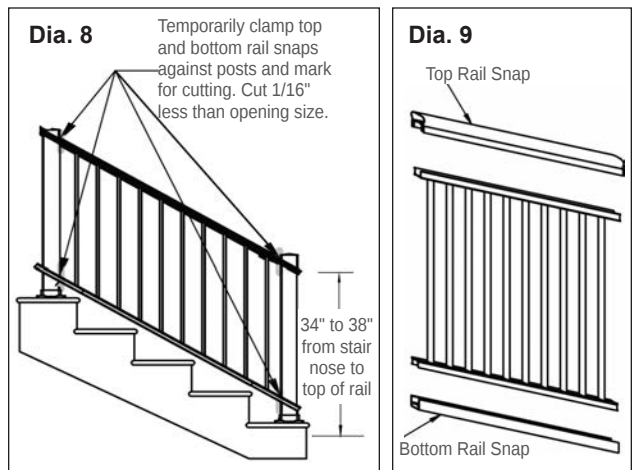
6 Tension Cables

- Slide tension blocks between swages and top channel with set screw points facing down (Dia. 4). **Important:** Tension blocks must rotate to short angled surface for stair panel applications. (Dia. 5) **Important:** Rotate angled bottom swages as needed so they match the angle of the lower rail. (Dia. 6)
- Gently turn set screws just until cable is tight
- Make sure swages and tension blocks don't stick up over the top channel
- TIP:** Tighten the rear set screws first, just until they reach the channel. Then tighten the front set screws. This helps to keep everything level. (Dia. 6)
- Use included hex bit to tighten tension block set screws in the sequence shown in Dia. 7
- Gradually tighten each tension block in the sequence shown in diagram until cable is straight and not easily bowed. Optional: Use a Loos Cable Tension Gauge to test cables near the center of the cables to reach the appropriate tensions. The recommended range on the PT-1 scale is 13~15 or 110-137 lbs using the Loos Cable Tension Gauge. **CAUTION: DO NOT OVER TIGHTEN SET SCREWS!**



7 Cut and Install Top and Bottom Rail Snaps

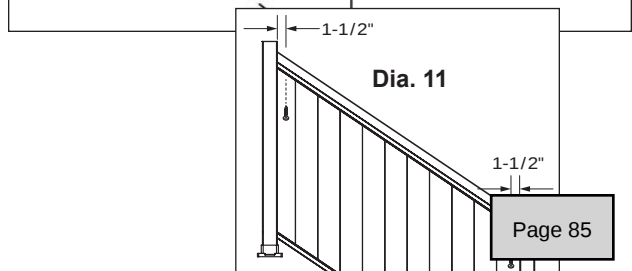
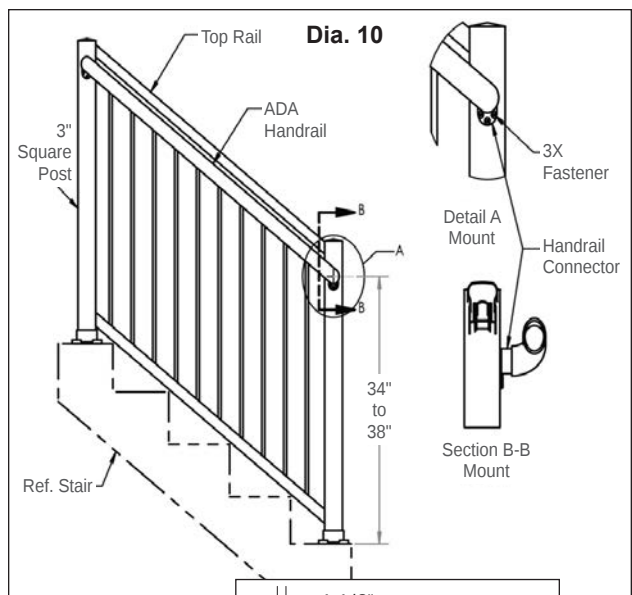
- Following the same angle as the secured stair panel, clamp or hold top/bottom rail snaps against 3" posts (Dia. 8). Using a sharp #2 pencil, mark the top/bottom rail snaps at all four (4) locations
- Remove clamps and cut top/bottom rail snaps at all four (4) locations. Take care to cut snaps at appropriate stair angle. Use of Miter saw with a sharp non-ferrous blade is recommended. Cut 1/16" less than opening size
- Clean cut areas and apply touch-up paint on exposed ends
- Snap each rail snap over the corresponding rail channel until properly seated (Dia. 9). **TIP:** It may be necessary to temporarily support the lower channel when pushing down the top rail snap
- Install #8 x 1-1/2" self-tapping screws approximately 1-1/2" from the inside of the end posts as shown (both sides). (Dia 11)

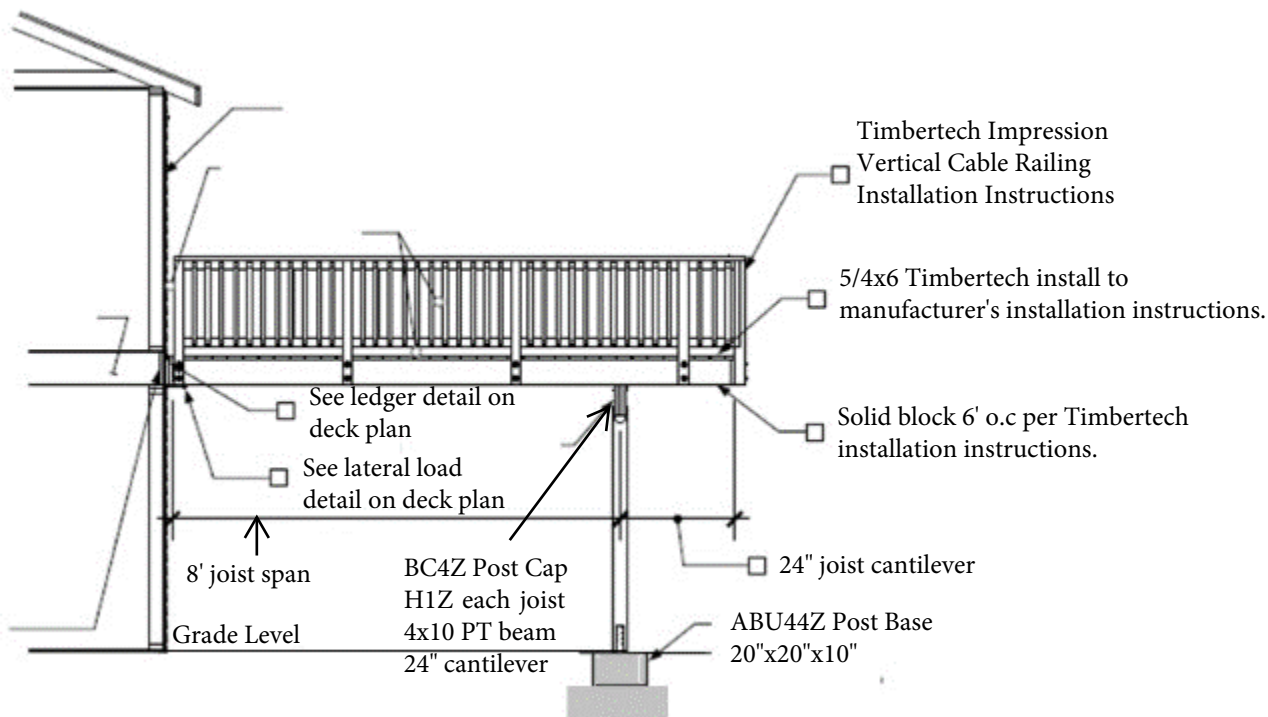


8 Install Post Caps and Base Plate Covers

9 Install ADA Compliant Hand Rail

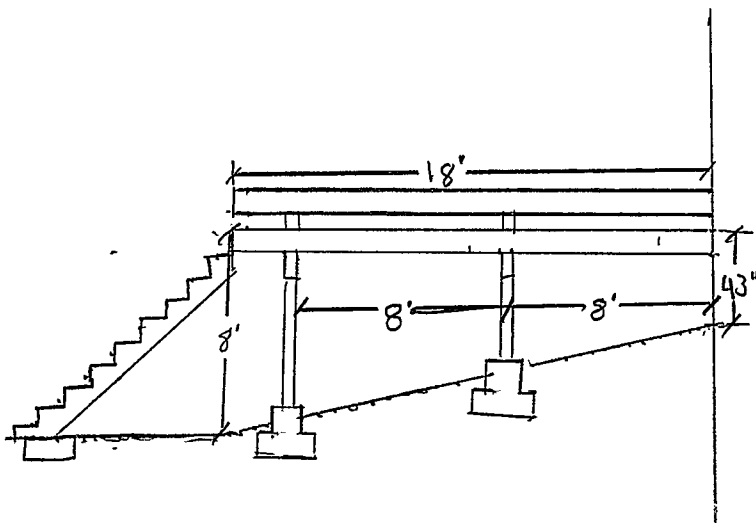
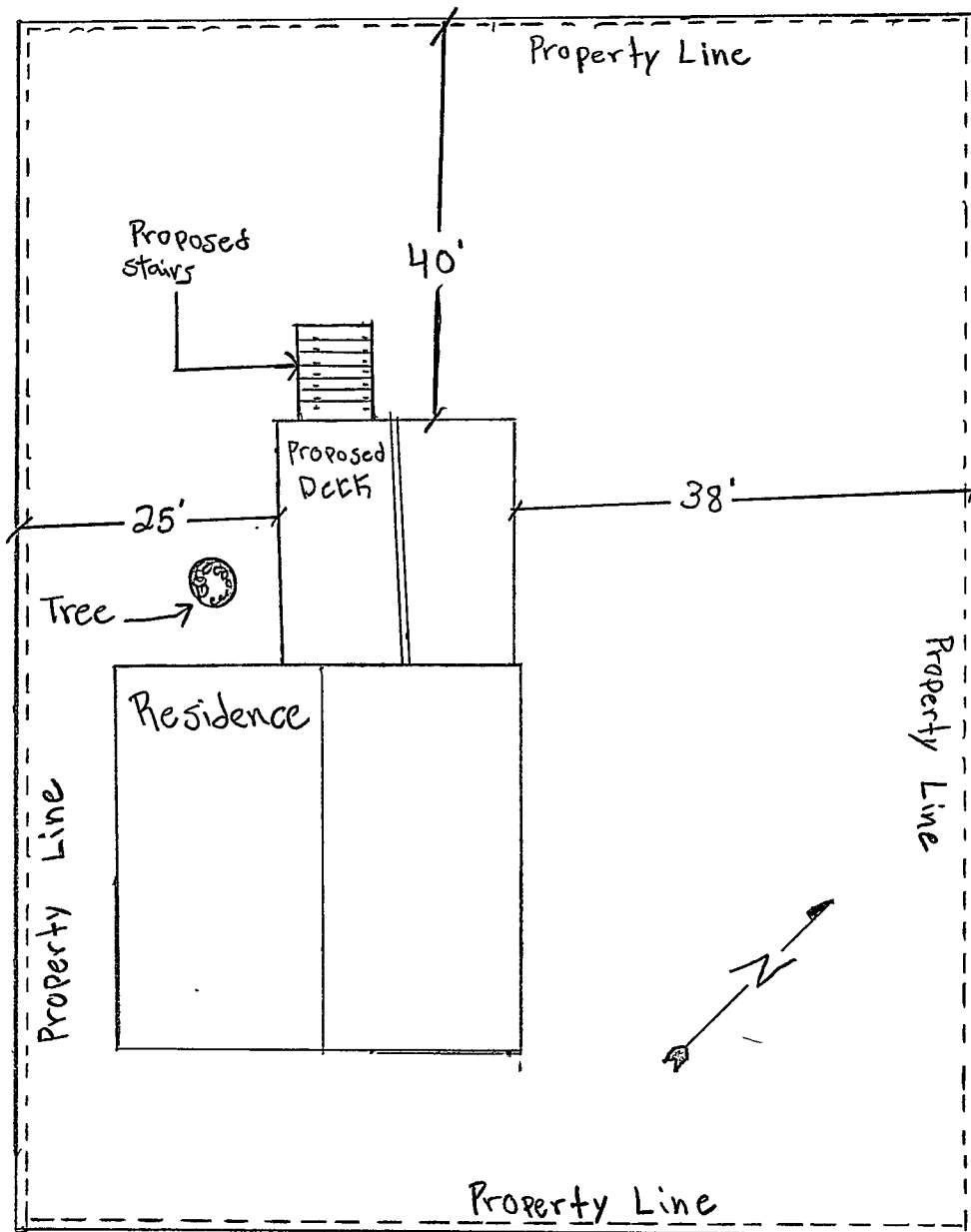
ADA handrail may be required (Dia. 10) for residential deck installations (check with local building code official). Maximum recommended span between posts is 6' on center. See instructions at timbertech.com for all installation configurations.





DECK SITE PLAN

Item #3.



$\frac{1}{16} = 1'$
 1315 JQ ADAMS ST
 6/27/20



Item #3.

Christina Robertson-Gardiner

From: Christina Robertson-Gardiner
Sent: Monday, August 14, 2023 10:24 AM
To: Christina Robertson-Gardiner
Subject: FW: rear photos needed

From: Kim Sparks <herbydame@gmail.com>
Sent: Friday, August 11, 2023 1:22 PM
To: Christina Robertson-Gardiner <crobertson@orcitey.org>
Subject: Re: rear photos needed

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.



From house at door elevation which is same as lower elevation of replacement deck. Back property line is behind large laurels about 8-10 feet.



Back and side property line 8-10 feet behind large trees.



Ground view





From approx 8-10 feet inside property line. Could not get pictures through trees from edge.



On Thu, Aug 10, 2023 at 10:35 AM Christina Robertson-Gardiner <crobertson@orccity.org> wrote:

Hi Kim,

I am working on my staff report and need pictures of your house from the rear property line and vice versa (looking at the rear property line from the back of your house). The board will want a better visual understanding of the deck's relationships to neighboring properties.

Could you please send me these digitally by Monday morning to include in the report?

Thank you! 😊

Christina Robertson-Gardiner, AICP, Senior Planner (she/her)

[695 Warner Parrott Rd, Oregon City, OR 97045](#)

crobertson@orcity.org

503) 496-1564 Direct

(503) 722-3789 Main

[Interactive Maps and Apps](#)

[Printable Maps](#)

[Online Submittal of Land Use Applications](#)

The City of Oregon City continues to offer services and programs in-person and online - find facility hours of operation [here](#).

PUBLIC RECORDS LAW DISCLOSURE: This e-mail is subject to the

State Retention Schedule and may be made available to the public.

From: Kim Sparks <herbydame@gmail.com>

Sent: Tuesday, August 1, 2023 11:33 AM

To: Christina Robertson-Gardiner <crobertson@orcity.org>

Subject: Re: HR 23-00008 1315 JQ Adams INVOICE PAYMENT NEEDED

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

On Mon, Jul 31, 2023 at 1:57 PM Christina Robertson-Gardiner <crobertson@orccity.org> wrote:

Thanks Kim!

Christina

From: Kim Sparks <herbydame@gmail.com>
Sent: Monday, July 31, 2023 1:38 PM
To: Christina Robertson-Gardiner <crobertson@orccity.org>
Subject: Re: HR 23-00008 1315 JQ Adams INVOICE PAYMENT NEEDED

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Christina,

I will be at the office at 9:00 AM tomorrow to pay in person and pick up the sign.

Thanks

Kim

On Mon, Jul 31, 2023 at 12:56 PM Christina Robertson-Gardiner <crobertson@orccity.org> wrote:

Hello, Jorge or Kim,

I am working on your public notice today. The sign will be ready for pickup Tuesday morning and needs to be on the property by the end of Tuesday. Our office hours are 9 AM-4 PM but I can leave the sign out after hours for pick up if needed- just let me know.

The only thing I require from you now is payment before I can complete and officially notify the application. I have attached the invoice for your reference. Please pay the outstanding invoice by tomorrow 10:00AM

Thank you.

Payment options are as follows:

- Through our Customer Self Service Portal: <https://www.orcity.org/building/customer-self-service-portal>

An account will need to be created if you do not currently have one. Once logged in, you will find your invoice and add to cart. If you do not see an invoice, please contact our office to make sure the correct billing contact is associated with the permit. See support documents on the webpage for further instructions. **Please note that online payments may incur a non-refundable processing fee from the credit card vendor.**

- Via telephone at (503) 722-3789. If you reach our voicemail, please leave your phone number, along with the permit or plan number, and staff will call for payment as quickly as possible. **Please note there is a \$500 limit for phone credit card payments.**

- In person by check or credit card Monday-Thursday 9:00am to 4:00pm at [695 Warner Parrott Road, Oregon City, OR 97045](#). **Please note there is a \$500 limit for credit card payments made in person.**

- Mail a check to City of Oregon City (please reference your permit/plan case number on the check):

Attn: Planning Division

PO Box 3040

Oregon City, OR 97045

- Email ocplanning@orccity.org with any questions.

Christina Robertson-Gardiner, AICP, Senior Planner (she/her)

[695 Warner Parrott Rd, Oregon City, OR 97045](#)

crobertson@orccity.org

503) 496-1564 Direct

(503) 722-3789 Main

[Interactive Maps and Apps](#)

[Printable Maps](#)

[Online Submittal of Land Use Applications](#)

The City of Oregon City continues to offer services and programs in-person and online - find facility hours of operation [here](#).

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OREGON CITY HISTORIC RESOURCE SURVEY FORM

Street Address: 1315 JQ ADAMS ST				City: OREGON CITY			
USGS Quad Name: Oregon City			GPS Latitude: 45 21 33 N		Longitude: 122 35 46 W		
Township: 02S	Range: 02E	Section: 32	Block: 146	Lot: 2	Map #: 22E32BB	Tax Lot #: 3000	
Date of Construction: c. 1907		Historic Name: Park, Annie, House			Historic Use or Function: Domestic - single dwelling		
Grouping or Cluster Name: NA		*Current Name or Use: Domestic - single dwelling			Associated Archaeological Site: Unknown		
Architectural Classification(s): Vernacular				Plan Type/Shape: Complex		Number of Stories: 1.5	
Foundation Material: Post and beam				Structural Framing: Unknown		Moved? No	
Roof Type/Material: Gable / Composition shingle				Window Type/Material: 1/1 wood double-hung			
Exterior Surface Materials Primary: Lap				Secondary:		Decorative:	
Exterior Alterations or Additions/Approximate Date: Lap siding cover original siding; metal balustrade; one story addition to south, c.1920							
Number and Type of Associated Resources: Garage to north (1)							
Integrity: Fair		Condition: Good		Local Ranking: Designated Historic Site		National Register Listed? No	
Potentially Eligible: ☐ Individually or ☐ As a contributing resource in a district Not Eligible: ☐ Intact but lacks distinction ☒ Altered (choose one): ☒ Reversible/Potentially eligible individually or in district ☐ Reversible/Ineligible as it lacks distinction ☐ Irretrievable loss of integrity ☐ Not 50 years old							
Description of Physical and Landscape Features:							
This 1-1/2 story vernacular house has a complex plan and sits on a post and beam combined with poured concrete foundation. The gable roof is covered with composition shingles and is pierced by a chimney. The walls are covered with non-original lap siding. Windows are primarily 1/1 wood double-hung with storm windows. The hipped roof entry porch has a poured concrete floor and wrought iron posts and railing. Hipped roof additions have been added to the north, south and west facades. A deck has also been added to the west façade. A garage sits to the northeast of the house.							
Statement of Significance:							
In 1906, Annie Park purchased this property and is credited with the construction of the residence. Two years later, she sold to Andrew Robertson, who would be one of many subsequent short-term owners. In 1929, Rufus A. Stinett, a mill man, and his wife Estelle, a census worker, acquired the house. They owned the property until 1945, when it was deeded to Roy E. and Marie Sawyer. The couple worked for School District No. 62, he at Oregon City Junior High School and she at Park Place School. Following the Sawyers transfer in 1953, the property again changed hands every few years. These women were some of its owners: Dorothy Vauthier, Doris Helzer, and Eileen Thompson.							

Researcher/Organization: Heather Goodson / HPNW				Date Recorded: 4/6/2002			
Survey Form Page 1		Address: 1315 JQ ADAMS ST		Local Designation #		SHPO #	

OREGON CITY HISTORIC REVIEW BOARD POLICIES

HISTORIC REVIEW BOARD POLICY #11:

Porches and Decks

A Guide for Property Owners



ABOUT THE HISTORIC REVIEW BOARD POLICIES

The City has adopted protections for locally designated properties to ensure these historic buildings maintain their integrity.

The Historic Review Board (HRB) adopted policies for minor alterations to historic structures that can be done without formal Board review. The policies are meant to provide clear direction to historic property owners on exterior changes including but not limited to roofing, siding, windows and doors. HRB Policies were first adopted in 1986 and updated in 2019.

Locally designated properties are subject to HRB Policies. This includes designated structures in McLoughlin Conservation District, all structures in Canemah National Register District, and landmarks outside of districts. To see if a property is designated, visit www.orcity.org/maps/historic-resources.

HRB POLICY #11: PORCHES AND DECKS

Replacement or alteration of porches and decks older than 50 years shall meet HRB Policy #8 (Exterior Alterations to buildings and can be found at www.orcity.org/planning/hrb-policies). The construction of new front porches shall be reviewed by the HRB. Alterations of existing front porches, or construction of new rear porches or decks are permitted without Board review in accordance with the following:

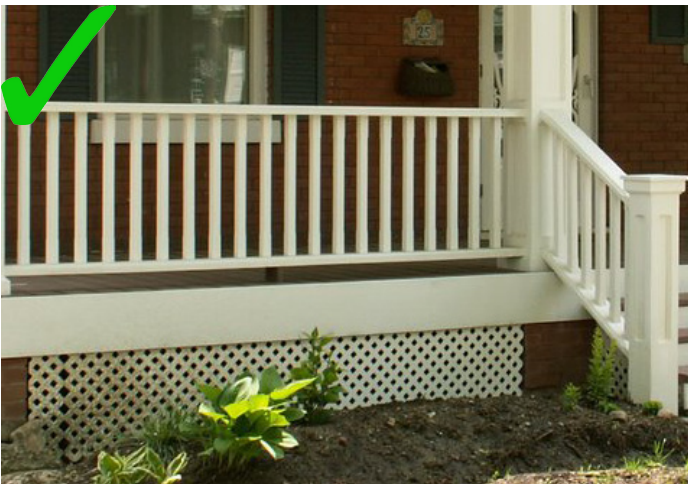
- Porch and deck railings shall use vertical balusters and top and bottom rails. Baluster attachment shall be between the rails, not attached on the side of the rail.
- Wood decks and porches shall be painted to match a color of the designated structure. Paint-stain is also acceptable if it matches a color of the designated structure.
- No pressure treated wood shall be visible.
- Composite material (e.g. Trex, Timbertech, Azek) is allowed only for new or existing decks or porches less than 50 years old that are attached to the rear of a structure, to the interior side of a structure, and for detached deck structures in the interior side or rear yard. Composite material color shall match a color of the designated structure.
- Aluminum rails on porches and decks are not permitted.
- Deck or porch materials made from 100% vinyl are not permitted.



WHAT DOES THIS MEAN FOR YOU?

This means a few things as a property owner with a designated historic property:

- If the porch or deck meets the HRB policy, it is reviewed at the staff level with no application fee.
- New roofs or covers over a porch or deck are considered an addition and must be reviewed by the HRB.
- If the porch or deck does not follow this policy, then it must be referred or submitted to the HRB for review and decision, which requires a fee of \$50.
- A building permit is required if the porch or deck is over 30 inches above finished grade, or if it includes a cover. For commercial properties, contact the Building Department to verify if a permit is required.
- For additional guidance on porches and decks for historic properties, the National Park Service provides technical guidance and can be found at: www.nps.gov/tps/standards/rehabilitation/rehab/entrance01.htm.
- The Secretary of Interior's Standards can be found at: www.nps.gov/tps/standards.htm.



Balusters attached between the rails (permitted)



Balusters attached on the side of the rails (not permitted)

Further information about the HRB and HRB Policies can be found at: www.orcity.org/planning/hrb-policies

If you have any questions about the City's Preservation Program or if your property is locally designated, please contact:

Kelly Reid, Preservation Planner
503-722-3789
kreid@orcify.org

City of Oregon City
Planning Division
698 Warner Parrott Rd
Oregon City, OR 97045
503.722.3789
www.orcity.org/planning



The activity that is the subject of this guide has been financed in part with Federal funds from the National Park Service, U.S. Department of the Interior. However, the contents and opinions do not necessarily reflect the views or policies of the Department of the Interior, nor does the mention of trade names or commercial products constitute endorsement or recommendation by the Department of the Interior.

14 PRESERVATION BRIEFS

New Exterior Additions to Historic Buildings: Preservation Concerns

Anne E. Grimmer and Kay D. Weeks



National Park Service
U.S. Department of the Interior
Technical Preservation Services



A new exterior addition to a historic building should be considered in a rehabilitation project only after determining that requirements for the new or adaptive use cannot be successfully met by altering non-significant interior spaces. If the new use cannot be accommodated in this way, then an exterior addition may be an acceptable alternative. Rehabilitation as a treatment “is defined as the act or process of making possible a compatible use for a property through repair, alterations, and *additions* while preserving those portions or features which convey its historical, cultural, or architectural values.”

The topic of new additions, including rooftop additions, to historic buildings comes up frequently, especially as it

relates to rehabilitation projects. It is often discussed and it is the subject of concern, consternation, considerable disagreement and confusion. Can, in certain instances, a historic building be enlarged for a new use without destroying its historic character? And, just what is significant about each particular historic building that should be preserved? Finally, what kind of new construction is appropriate to the historic building?

The vast amount of literature on the subject of additions to historic buildings reflects widespread interest as well as divergence of opinion. New additions have been discussed by historians within a social and political framework; by architects and architectural historians in terms of construction technology and style; and

by urban planners as successful or unsuccessful contextual design. However, within the historic preservation and rehabilitation programs of the National Park Service, the focus on new additions is to ensure that they preserve the character of historic buildings.

Most historic districts or neighborhoods are listed in the National Register of Historic Places for their significance within a particular time frame. This period of significance of historic districts as well as individually-listed properties may sometimes lead to a misunderstanding that inclusion in the National Register may prohibit any physical change outside of a certain historical period—particularly in the form of exterior additions. National Register listing does not mean that a building or district is frozen in time and that no change can be made without compromising the historical significance. It does mean, however, that a new addition to a historic building should preserve its historic character.



Figure 1. The addition to the right with its connecting hyphen is compatible with the Collegiate Gothic-style library. The addition is set back from the front of the library and uses the same materials and a simplified design that references, but does not copy, the historic building. Photo: David Wakely Photography.



Figure 2. The new section on the right is appropriately scaled and reflects the design of the historic Art Deco-style hotel. The apparent separation created by the recessed connector also enables the addition to be viewed as an individual building.

Guidance on New Additions

To meet Standard 1 of the *Secretary of the Interior's Standards for Rehabilitation*, which states that "a property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment," it must be determined whether a historic building can accommodate a new addition. Before expanding the building's footprint, consideration should first be given to incorporating changes—such as code upgrades or spatial needs for a new use—within secondary areas of the historic building. However, this is not always possible and, after such an evaluation, the conclusion may be that an addition is required, particularly if it is needed to avoid modifications to character-defining interior spaces. An addition should be designed to be compatible with the historic character of the building and, thus, meet the *Standards for Rehabilitation*. Standards 9 and 10 apply specifically to new additions:

(9) "New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment."

(10) "New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired."

The subject of new additions is important because a new addition to a historic building has the potential to change its historic character as well as to damage and destroy significant historic materials and features. A new addition also has the potential to confuse the public and to make it difficult or impossible to differentiate the old from the new or to recognize what part of the historic building is genuinely historic.

The intent of this Preservation Brief is to provide guidance to owners, architects and developers on how to design a compatible new addition, including a rooftop addition, to a historic building. A new addition to a historic building should preserve the building's *historic character*. To accomplish this and meet the *Secretary of the Interior's Standards for Rehabilitation*, a new addition should:

- Preserve significant historic materials, features and form;
- Be compatible; and
- Be differentiated from the historic building.

Every historic building is different and each rehabilitation project is unique. Therefore, the guidance offered here is not specific, but general, so that it can be applied to a wide variety of building types and situations. To assist in interpreting this guidance, illustrations of a variety of new additions are provided. Good examples, as well as some that do not meet the Standards, are included to further help explain and clarify what is a compatible new addition that preserves the character of the historic building.



Figure 3. The red and buff-colored parking addition with a rooftop playground is compatible with the early-20th century school as well as with the neighborhood in which it also serves as an urban setting.

Preserve Significant Historic Materials, Features and Form

Attaching a new exterior addition usually involves some degree of material loss to an external wall of a historic building, but it should be minimized. Damaging or destroying significant materials and craftsmanship should be avoided, as much as possible.

Generally speaking, preservation of historic buildings inherently implies minimal change to primary or "public" elevations and, of course, interior features as well. Exterior features that distinguish one historic building or a row of buildings and which can be seen from a public right of way, such as a street or sidewalk, are most likely to be the most significant. These can include many different elements, such as: window patterns, window hoods or shutters; porticoes, entrances and doorways; roof shapes, cornices and decorative moldings; or commercial storefronts with their special detailing, signs and glazing patterns. Beyond a single building, entire blocks of urban or residential structures are often closely related architecturally by their materials, detailing, form and alignment. Because significant materials and features should be preserved, not damaged or hidden, the first place to consider placing a new addition is in a location where the least amount of historic material and character-defining features will be lost. In most cases, this will be on a secondary side or rear elevation.

One way to reduce overall material loss when constructing a new addition is simply to keep the addition smaller in proportion to the size of the historic building. Limiting the size and number of openings between old and new by utilizing existing doors or enlarging windows also helps to minimize loss. An often successful way to accomplish this is to link the addition to the historic building by means of a hyphen or connector. A connector provides a physical link while visually separating the old and new, and the connecting passageway penetrates and removes only a small portion of the historic wall. A new addition that will abut the historic building along an entire elevation or wrap around a side and rear elevation, will likely integrate the historic and the new interiors, and thus result in a high degree of loss of form and exterior walls, as well as significant alteration of interior spaces and features, and will not meet the Standards.



Figure 4. This glass and brick structure is a harmonious addition set back and connected to the rear of the Colonial Revival-style brick house. Cunningham/Quill Architects. Photos: © Maxwell MacKenzie.

Compatible but Differentiated Design

In accordance with the Standards, a new addition must preserve the building's historic character and, in order to do that, it must be differentiated, but compatible, with the historic building. A new addition must retain the essential form and integrity of the historic property. Keeping the addition smaller, limiting the removal of historic materials by linking the addition with a hyphen, and locating the new addition at the rear or on an inconspicuous side elevation of a historic building are techniques discussed previously that can help to accomplish this.

Rather than differentiating between old and new, it might seem more in keeping with the historic character

simply to repeat the historic form, material, features and detailing in a new addition. However, when the new work is highly replicative and indistinguishable from the old in appearance, it may no longer be possible to identify the “real” historic building. Conversely, the treatment of the addition should not be so different that it becomes the primary focus. The difference may be subtle, but it must be clear. A new addition to a historic building should protect those visual qualities that make the building eligible for listing in the National Register of Historic Places.

The National Park Service policy concerning new additions to historic buildings, which was adopted in 1967, is not unique. It is an outgrowth and continuation of a general philosophical approach to change first expressed by John Ruskin in England in the 1850s, formalized by William Morris in the founding of the Society for the Protection of Ancient Buildings in 1877, expanded by the Society in 1924 and, finally, reiterated in the 1964 Venice Charter—a document that continues to be followed by the national committees of the International Council on Monuments and Sites (ICOMOS). The 1967 *Administrative Policies for Historical Areas of the National Park System* direct that “...a modern addition should be readily distinguishable from the older work; however, the new work should be harmonious with the old in scale, proportion, materials, and color. Such additions should be as inconspicuous as

possible from the public view.” As a logical extension from these Policies specifically for National Park Service-owned historic structures, the 1977 *Secretary of the Interior’s Standards for Rehabilitation*, which may be applied to **all** historic buildings listed in, or eligible for listing in the National Register, also state that “the new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.”

Preserve Historic Character

The goal, of course, is a new addition that preserves the building’s historic character. The historic character of each building may be different, but the methodology of establishing it remains the same. Knowing the uses and functions a building has served over time will assist in making what is essentially a physical evaluation. But, while written and pictorial documentation can provide a framework for establishing the building’s history, to a large extent the historic character is embodied in the physical aspects of the historic building itself—shape, materials, features, craftsmanship, window arrangements, colors, setting and interiors. Thus, it is important to identify the historic character before making decisions about the extent—or limitations—of change that can be made.



Figure 5. This addition (a) is constructed of matching brick and attached by a recessed connector (b) to the 1914 apartment building (c). The design is compatible and the addition is smaller and subordinate to the historic building (d).



Figure 6. A new addition (left) is connected to the garage which separates it from the main block of the c. 1910 former florist shop (right). The addition is traditional in style, yet sufficiently restrained in design to distinguish it from the historic building.

A new addition should always be subordinate to the historic building; it should not compete in size, scale or design with the historic building. An addition that bears no relationship to the proportions and massing of the historic building—in other words, one that overpowers the historic form and changes the scale—will usually compromise the historic character as well. The appropriate size for a new addition varies from building to building; it could never be stated in a square or cubic footage ratio, but the historic building's existing proportions, site and setting can help set some general parameters for enlargement. Although even a small addition that is poorly designed can have an adverse impact, to some extent, there is a predictable relationship between the size of the historic resource and what is an appropriate size for a compatible new addition.

Generally, constructing the new addition on a secondary side or rear elevation—in addition to material preservation—will also preserve the historic character. Not only will the addition be less visible, but because a secondary elevation is usually simpler and less distinctive, the addition will have less of a physical and visual impact on the historic building. Such placement will help to preserve the building's historic form and relationship to its site and setting.

Historic landscape features, including distinctive grade variations, also need to be respected. Any new landscape features, including plants and trees, should be kept at a scale and density that will not interfere with understanding of the historic resource itself. A traditionally landscaped

property should not be covered with large paved areas for parking which would drastically change the character of the site.

Despite the fact that in most cases it is recommended that the new addition be attached to a secondary elevation, sometimes this is not possible. There simply may not be a secondary elevation—some important freestanding buildings have significant materials and features on all sides. A structure or group of structures together with its setting (for example, a college campus) may be of such significance that any new addition would not only damage materials, but alter the buildings' relationship to each other and the setting. An addition attached to a highly-visible elevation of a historic building can radically alter the historic form or obscure features such as a decorative cornice or window ornamentation. Similarly, an addition that fills



Figure 7. A vacant side lot was the only place a new stair tower could be built when this 1903 theater was rehabilitated as a performing arts center. Constructed with matching materials, the stair tower is set back with a recessed connector and, despite its prominent location, it is clearly subordinate and differentiated from the historic theater.



Figure 8. The rehabilitation of this large, early-20th century warehouse (left) into affordable artists' lofts included the addition of a compatible glass and brick elevator/stair tower at the back (right).



Figure 9. A simple, brick stair tower replaced two non-historic additions at the rear of this 1879 school building when it was rehabilitated as a women's and children's shelter. The addition is set back and it is not visible from the front of the school.



Figure 10. The small size and the use of matching materials ensures that the new addition on the left is compatible with the historic Romanesque Revival-style building.

in a planned void on a highly-visible elevation (such as a U-shaped plan or a feature such as a porch) will also alter the historic form and, as a result, change the historic character. Under these circumstances, an addition would have too much of a negative impact on the historic building and it would not meet the Standards. Such situations may best be handled by constructing a separate building in a location where it will not adversely affect the historic structure and its setting.

In other instances, particularly in urban areas, there may be no other place but adjacent to the primary façade to locate an addition needed for the new use. It may be possible to design a lateral addition attached on the side that is compatible with the historic building, even though it is a highly-visible new element. Certain types of historic structures, such as government buildings, metropolitan museums, churches or libraries, may be so massive in size that a relatively large-scale addition may not compromise the historic character, provided, of course, the addition is smaller than the historic building. Occasionally, the visible size of an addition can be reduced by placing some of the spaces or support systems in a part of the structure that is underground. Large new additions may sometimes be successful if they read as a separate volume, rather than as an extension of the historic structure, although the scale, massing and proportions of the addition still need to be compatible with the historic building. However, similar expansion of smaller buildings would be dramatically out of scale. In summary, where any new addition is proposed, correctly assessing the relationship between actual size and relative scale will be a key to preserving the character of the historic



Figure 11. The addition to this early-20th century Gothic Revival-style church provides space for offices, a great hall for gatherings and an accessible entrance (left). The stucco finish, metal roof, narrow gables and the Gothic-arched entrance complement the architecture of the historic church. Placing the addition in back where the ground slopes away ensures that it is subordinate and minimizes its impact on the church (below).

Design Guidance for Compatible New Additions to Historic Buildings

There is no formula or prescription for designing a new addition that meets the Standards. A new addition to a historic building that meets the Standards can be any architectural style—traditional, contemporary or a simplified version of the historic building. However, there must be a balance between differentiation and compatibility in order to maintain the historic character and the identity of the building being enlarged. New additions that too closely resemble the historic building or are in extreme contrast to it fall short of this balance. *Inherent in all of the guidance is the concept that an addition needs to be subordinate to the historic building.*

A new addition **must preserve significant historic materials, features and form, and it must be compatible but differentiated from the historic building.** To achieve this, it is necessary to carefully consider the **placement or location** of the new addition, and its **size, scale and massing** when planning a new addition. To preserve a property's historic character, a new addition must be visually distinguishable from the historic building. This does not mean that the addition and the historic building should be glaringly different in terms of design, materials and other visual qualities. Instead, the new addition should take its design cues from, but not copy, the historic building.



A variety of design techniques can be effective ways to differentiate the new construction from the old, while respecting the architectural qualities and vocabulary of the historic building, including the following:

- Incorporate a simple, recessed, small-scale hyphen to physically separate the old and the new volumes or set the addition back from the wall plane(s) of the historic building.
- Avoid designs that unify the two volumes into a single architectural whole. The new addition may include simplified architectural features that reflect, but do not duplicate, similar features on the historic building. This approach will not impair the existing building's historic character as long as the new structure is subordinate in size and clearly differentiated and distinguishable so that the identity of the historic structure is not lost in a new and larger composition. The historic building must be clearly identifiable and its physical integrity must not be compromised by the new addition.



Figure 12. This 1954 synagogue (left) is accessed through a monumental entrance to the right. The new education wing (far right) added to it features the same vertical elements and color and, even though it is quite large, its smaller scale and height ensure that it is secondary to the historic resource.



Figure 13. A glass and metal structure was constructed in the courtyard as a restaurant when this 1839 building was converted to a hotel. Although such an addition might not be appropriate in a more public location, it is compatible here in the courtyard of this historic building.



Figure 14. This glass addition was erected at the back of an 1895 former brewery during rehabilitation to provide another entrance. The addition is compatible with the plain character of this secondary elevation.

- Use building materials in the same color range or value as those of the historic building. The materials need not be the same as those on the historic building, but they should be harmonious; they should not be so different that they stand out or distract from the historic building. (Even clear glass can be as prominent as a less transparent material. Generally, glass may be most appropriate for small-scale additions, such as an entrance on a secondary elevation or a connector between an addition and the historic building.)
- Base the size, rhythm and alignment of the new addition's window and door openings on those of the historic building.
- Respect the architectural expression of the historic building type. For example, an addition to an institutional building should maintain the architectural character associated with this building type rather than using details and elements typical of residential or other building types.

These techniques are merely examples of ways to differentiate a new addition from the historic building while ensuring that the addition is compatible with it. Other ways of differentiating a new addition from the historic building may be used as long as they maintain the primacy of the historic building. Working within these basic principles still allows for a broad range of architectural expression that can range from stylistic similarity to contemporary distinction. The recommended design approach for an addition is one that neither copies the historic building exactly nor stands in stark contrast to it.

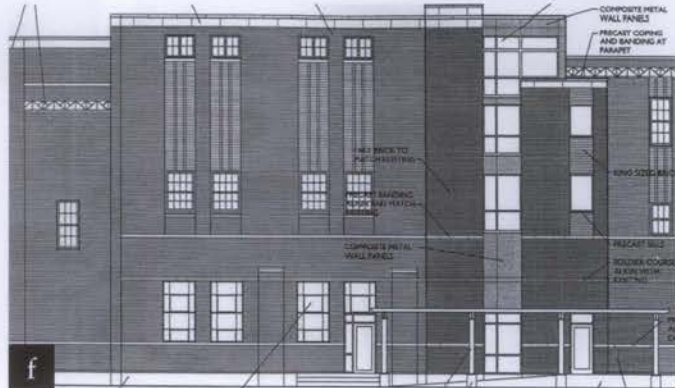
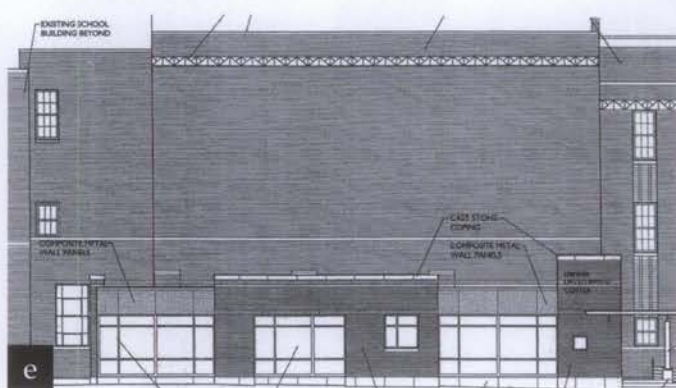
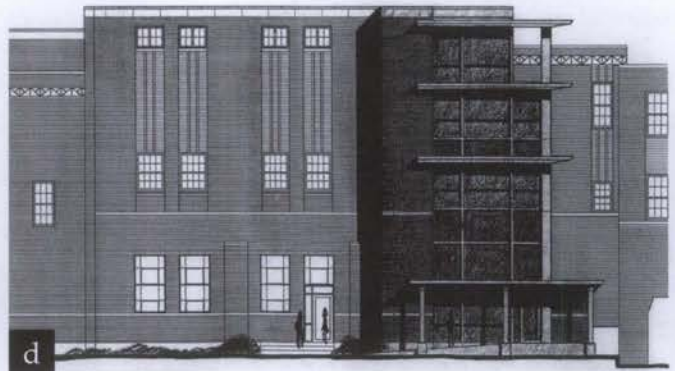
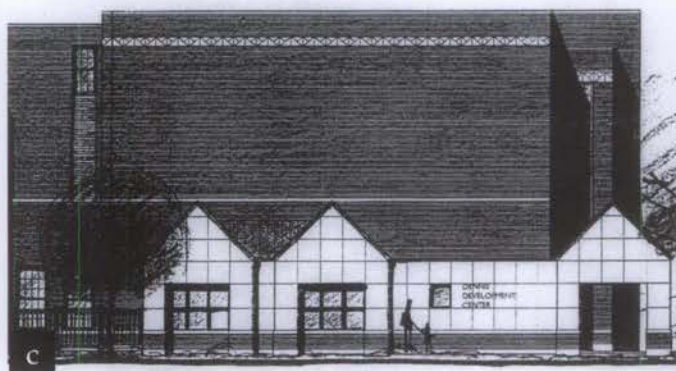


Figure 15. The rehabilitation of a c. 1930 high school auditorium for a clinic and offices proposed two additions: a one-story entrance and reception area on this elevation (a); and a four-story elevator and stair tower on another side (b). The gabled entrance (c) first proposed was not compatible with the flat-roofed auditorium and the design of the proposed stair tower (d) was also incompatible and overwhelmed the historic building. The designs were revised (e-f) resulting in new additions that meet the Standards (g-h).



Figure 16. The proposal to add three row houses to the rear ell of this early-19th century residential property doubles its size and does not meet the Standards..



Figure 17. The small addition on the left is starkly different and it is not compatible with the eclectic, late-19th century house.



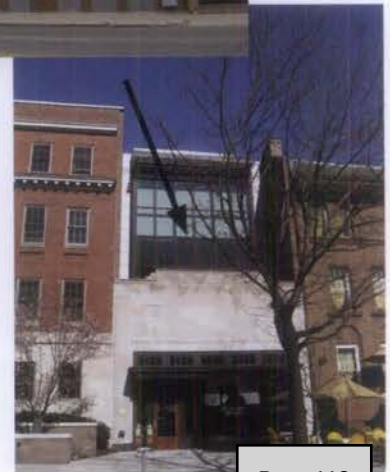
Figure 18. The expansion of a one- and one-half story historic bungalow (left) with a large two-story rear addition (right) has greatly altered and obscured its distinctive shape and form.



Figure 19. The upper two floors of this early-20th century office building were part of the original design, but were not built. During rehabilitation, the two stories were finally constructed. This treatment does not meet the Standards because the addition has given the building an appearance it never had historically.



Figure 20. The height, as well as the design, of these two-story rooftop additions overwhelms the two-story and the one-story, low-rise historic buildings.



New Additions in Densely-Built Environments

Item #3.

In built-up urban areas, locating a new addition on a less visible side or rear elevation may not be possible simply because there is no available space. In this instance, there may be alternative ways to help preserve the historic character. One approach when connecting a new addition to a historic building on a primary elevation is to use a hyphen to separate them. A subtle variation in material, detailing and color may also provide the degree of differentiation necessary to avoid changing the essential proportions and character of the historic building.

A densely-built neighborhood such as a downtown commercial core offers a particular opportunity to design an addition that will have a minimal impact on the historic building. Often the site for such an addition is a vacant lot where another building formerly stood. Treating the addition as a separate or infill building may be the best approach when designing an addition that will have the least impact on the historic building and the district. In these instances there may be no need for a direct visual link to the historic building. Height and setback from the street should generally be consistent with those of the historic building and other surrounding buildings in the district. Thus, in most urban commercial areas the addition should not be set back from the façade of the historic building. A tight urban setting may sometimes even accommodate a larger addition if the primary elevation is designed to give the appearance of being several buildings by breaking up the facade into elements that are consistent with the scale of the historic building and adjacent buildings.



Figure 21. Both wings of this historic L-shaped building (top), which fronts on two city streets, adjoined vacant lots. A two-story addition was constructed on one lot (above, left) and a six-story addition was built on the other (above, right). Like the historic building, which has two different facades, the compatible new additions are also different and appear to be separate structures rather than part of the historic building.



Figure 22. The proposed new addition is compatible with the historic buildings that remain on the block. Its design with multiple storefronts helps break up the mass.

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Figure 23. Colored flags marking the location of a proposed penthouse addition (a) were placed on the roof to help evaluate the impact and visibility of an addition planned for this historic furniture store (b). Based on this evaluation, the addition was constructed as proposed. It is minimally visible and compatible with the 1912 structure (c). The tall parapet wall conceals the addition from the street below (d).

Rooftop Additions

The guidance provided on designing a compatible new addition to a historic building applies equally to new rooftop additions. A rooftop addition should preserve the character of a historic building by preserving historic materials, features and form; and it should be compatible but differentiated from the historic building.

However, there are several other design principles that apply specifically to rooftop additions. Generally, a rooftop addition should not be more than one story in height to minimize its visibility and its impact on the proportion and profile of the historic building. A rooftop addition should almost always be set back at least one full bay from the primary elevation of the building, as well as from the other elevations if the building is free-standing or highly visible.

It is difficult, if not impossible, to minimize the impact of adding an entire new floor to relatively low buildings, such as small-scale residential or commercial structures, even if the new addition is set back from the plane of the façade. Constructing another floor on top of a small, one, two or three-story building is seldom appropriate for buildings of this size as it would measurably alter the building's proportions and profile, and negatively impact its historic character. On the other hand, a rooftop addition on an eight-story building, for example, in a historic district consisting primarily of tall buildings might not affect the historic character because the new construction may blend in with the surrounding buildings and be only minimally visible within the district. A rooftop addition in a densely-built urban area is more likely to be compatible on a building that is adjacent to similarly-sized or taller buildings.

A number of methods may be used to help evaluate the effect of a proposed rooftop addition on a historic building and district, including pedestrian sight lines, three-dimensional schematics and computer-generated design. However, drawings generally do not provide a true "picture" of the appearance and visibility of a proposed rooftop addition. For this reason, it is often necessary to construct a rough, temporary, full-size or skeletal mock up of a portion of the proposed addition, which can then be photographed and evaluated from critical vantage points on surrounding streets.

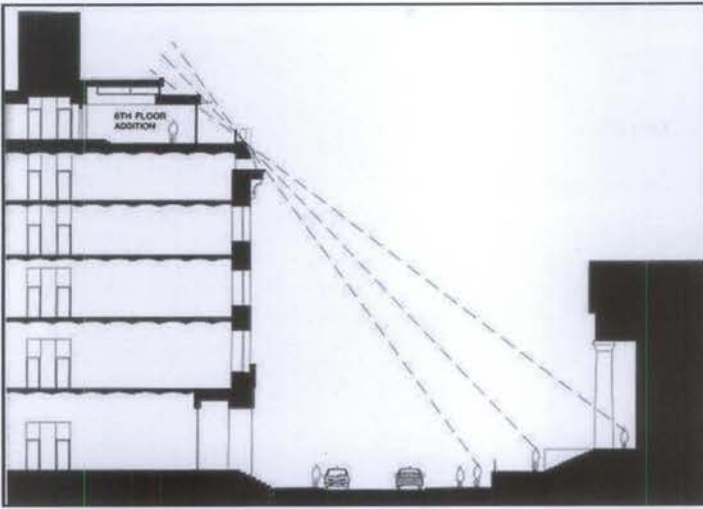


Figure 24. How to Evaluate a Proposed Rooftop Addition.
A sight-line study (above) only factors in views from directly across the street, which can be very restrictive and does not illustrate the full effect of an addition from other public rights of way. A mock up (above, right) or a mock up enhanced by a computer-generated rendering (below, right) is essential to evaluate the impact of a proposed rooftop addition on the historic building.

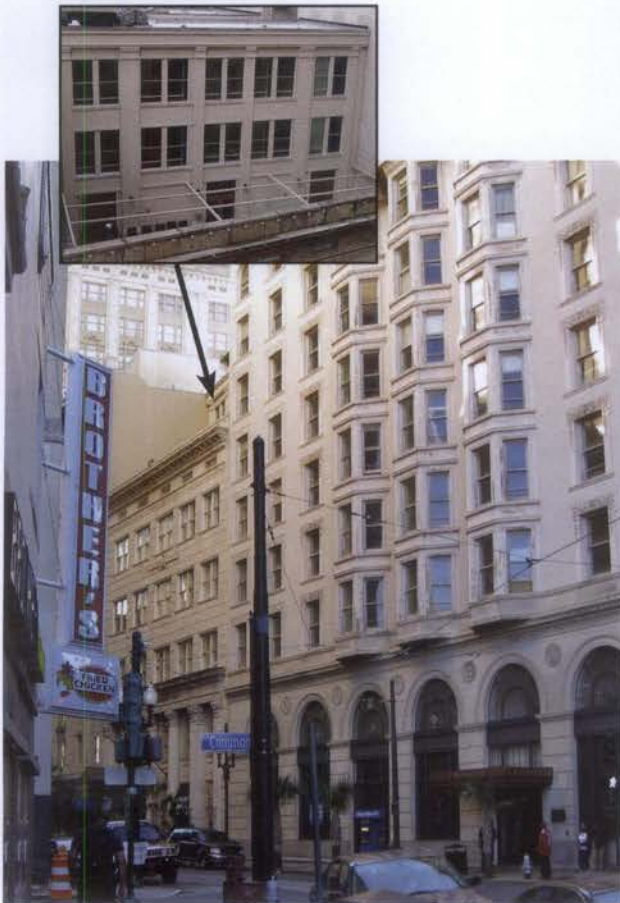


Figure 25. It was possible to add a compatible, three-story, penthouse addition to the roof of this five-story, historic bank building because the addition is set far back, it is surrounded by taller buildings and a deep parapet conceals almost all of the addition from below.

Figure 26. A rooftop addition would have negatively impacted the character of the primary facade (right) of this mid-19th century, four-story structure and the low-rise historic district. However, a third floor was successfully added on the two-story rear portion (below) of the same building with little impact to the building or the district because it blends in with the height of the adjacent building.





Figure 27. Although the new brick stair/elevator tower (left) is not visible from the front (right), it is on a prominent side elevation of this 1890 stone bank. The compatible addition is set back and does not compete with the historic building. Photos: Chadd Gossman, Aurora Photography, LLC.

Designing a New Exterior Addition to a Historic Building

This guidance should be applied to help in designing a compatible new addition that will meet the *Secretary of the Interior's Standards for Rehabilitation*:

- A new addition should be simple and unobtrusive in design, and should be distinguished from the historic building—a recessed connector can help to differentiate the new from the old.
- A new addition should not be highly visible from the public right of way; a rear or other secondary elevation is usually the best location for a new addition.
- The construction materials and the color of the new addition should be harmonious with the historic building materials.
- The new addition should be smaller than the historic building—it should be subordinate in both size and design to the historic building.

The same guidance should be applied when designing a compatible **rooftop** addition, plus the following:

- A rooftop addition is generally not appropriate for a one, two or three-story building—and often is not appropriate for taller buildings.
- A rooftop addition should be minimally visible.
- Generally, a rooftop addition must be set back at least one full bay from the primary elevation of the building, as well as from the other elevations if the building is freestanding or highly visible.
- Generally, a rooftop addition should not be more than one story in height.
- Generally, a rooftop addition is more likely to be compatible on a building that is adjacent to similarly-sized or taller buildings.



Figure 28. A small addition (left) was constructed when this 1880s train station was converted for office use. The paired doors with transoms and arched windows on the compatible addition reflect, but do not replicate, the historic building (right).



Figure 29. This simple glass and brick entrance (left) added to a secondary elevation of a 1920s school building (right) is compatible with the original structure.

Summary

Because a new exterior addition to a historic building can damage or destroy significant materials and can change the building's character, an addition should be considered only after it has been determined that the new use cannot be met by altering non-significant, or secondary, interior spaces. If the new use cannot be met in this way, then an attached addition may be an acceptable alternative if carefully planned and designed. A new addition to a historic building should be constructed in a manner that preserves significant materials, features and form, and preserves the building's historic character. Finally, an addition should be differentiated from the historic building so that the new work is compatible with—and does not detract from—the historic building, and cannot itself be confused as historic.

Additional Reading

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Figure 30. The small addition on the right of this late-19th century commercial structure is clearly secondary and compatible in materials and design with the historic building.



Figure 31. An elevator/stair tower was added at the back of this Richardsonian Romanesque-style theater when it was rehabilitated. Rough-cut stone and simple cut-out openings ensure that the addition is compatible and subordinate to the historic building. Photo: Chuck Liddy, AIA.

Acknowledgements

Anne E. Grimmer, Senior Architectural Historian, Technical Preservation Services Branch, National Park Service, revised *Preservation Brief 14*, written by Kay D. Weeks and first published in 1986. The revised Brief features all new illustrations and contains expanded and updated design guidance on the subject of new additions that has been developed by the Technical Preservation Services Branch since the original publication of the Brief. Several individuals generously contributed their time and expertise to review the revision of this *Preservation Brief*, including: Sharon C. Park, FAIA, Chief, Architectural History and Historic Preservation, Smithsonian Institution; Elizabeth Tune and Karen Brandt, Department of Historic Resources, Commonwealth of Virginia; and Phillip Wisley and David Ferro, Division of Historical Resources, Florida Department of State. The Technical Preservation Services professional staff, in particular Michael J. Auer, Jo Ellen Hensley, Gary Sachau and Rebecca Shiffer, also provided important guidance in the development of this publication. All illustrations are from National Park Service files unless otherwise credited. Front cover image: Detail of new addition shown in Figure 4. Photo: © Maxwell MacKenzie.

This publication has been prepared pursuant to the National Historic Preservation Act of 1966, as amended, which directs the Secretary of the Interior to develop and make available information concerning historic properties. The Technical Preservation Services Branch, National Park Service, prepares standards, guidelines and other educational materials on responsible historic preservation treatments for a broad public audience. Additional information about the programs of Technical Preservation Services is available on the website at www.nps.gov/history/hps/tps. Comments about this publication should be addressed to: Charles E. Fisher, Technical Preservation Publications Program Manager, Technical Preservation Services-2255, National Park Service, 1849 C Street, NW, Washington, DC 20240. This publication is not copyrighted and can be reproduced without penalty. Normal procedures for credit to the author and the National Park Service are appreciated.



CITY OF OREGON CITY

Staff Report/

625 Center Street
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To: Historic Review Board **Agenda Date:** 8/22/2023
From: Christina Robertson-Gardiner, Senior Planner

SUBJECT:

2023-2025 Biennium Work Plan- Initial Discussion

STAFF RECOMMENDATION:

Review the initial list of work plan items and provide direction to staff on items to remove, refine, or add.

EXECUTIVE SUMMARY:

In previous years the Historic Review Board has adopted a work plan that is updated yearly. In order to better align with the Biennium budget and City Commission goals

Below are some options for items to add to a biennium work plan:

- [CAMP](#)- National Association of Preservation Commissions, Daylong education session August 11, 2023
 - Preservation 101
 - Standards and Guidelines for Design Review
 - Envisioning Infill Design
 - Alternative Materials
 - Special topic- Solar Panels
 - Design Review Exercise
- Compatible Change – Definition of New Construction – Thresholds for triggering review, *Review work to date- determine next steps*
- Windows work session- potential standard draft conditions of approval with additional details.
- **Ongoing outreach and recognition**
 - Homeowner welcome education packets- sent quarterly to new historic homeowners

- Preservation Month, Ruth Powers Award.