



CITY OF OREGON CITY HISTORIC REVIEW BOARD AGENDA

Commission Chambers, 625 Center Street, Oregon City
Tuesday, October 27, 2020 at 7:00 PM

This meeting will be held online via Zoom; please contact planning@orccity.org for the meeting link.

CALL TO ORDER

PUBLIC COMMENT

Citizens are allowed up to 3 minutes to present information relevant to the City but not listed as an item on the agenda. To assist in tracking your time, refer to the timer at the dais. Prior to speaking, citizens shall complete a comment form and deliver it to the Staff Member. When the Chair calls your name, proceed to the speaker table and state your name and city of residence into the microphone. The Historic Review Board Officers do not generally engage in dialog with those making comments but may refer the issue to the City Manager.

PUBLIC HEARING

1. GLUA-20-000043 and HR 20-00009: Historic Review for a new single family home and detached garage in the Canemah National Register District at 616 4th Avenue

OTHER BUSINESS

2. January 6, 2020 HRB draft minutes
3. January 28, 2020 HRB draft minutes
4. February 26, 2020 HRB work session draft minutes
5. February 26, 2020 HRB draft minutes

COMMUNICATIONS

ADJOURNMENT

PUBLIC COMMENT GUIDELINES

Citizens are allowed up to 3 minutes to present information relevant to the City but not listed as an item on the agenda. Prior to speaking, citizens shall complete a comment form and deliver it to the Staff Member. When the Chair calls your name, proceed to the speaker table and state your name and city of residence into the microphone. To assist in tracking your speaking time, refer to the timer on the table.

As a general practice, the Historic Review Board does not engage in discussion with those making comments.

Electronic presentations are permitted but shall be delivered to the City Recorder 48 hours in advance of the meeting.

ADA NOTICE

The location is ADA accessible. Hearing devices may be requested from the City Staff Member prior to the meeting. Individuals requiring other assistance must make their request known 48 hours preceding the meeting by contacting the City Recorder's Office at 503 657 0891

Agenda Posted at City Hall, Pioneer Community Center, Library, City Web site.

Video Streaming & Broadcasts: The meeting is streamed live on Internet on the Oregon City's Web site at www.orcity.org and available on demand following the meeting. The meeting can be viewed live on Willamette Falls Television on channel 28 for Oregon City area residents. The meetings are also rebroadcast on WFMC. Please contact WFMC at 503 650 0275 for a programming schedule



CITY OF OREGON CITY

Staff Report

625 Center Street
Oregon City, OR 97045
503-657-0891

To: Historic Review Board
From: Planner Kelly Reid

Agenda Date: 10/19/2020

SUBJECT:

GLUA-20-000043 and HR 20-00009: Historic Review for a new single family home and detached garage in the Canemah National Register District at 616 4th Avenue

STAFF RECOMMENDATION:

Staff recommends approval with conditions

EXECUTIVE SUMMARY:

The proposal includes a new 1.5 story Vernacular home with a detached garage on a 5,000 square foot lot of record.

Staff finds that the massing is appropriate and the Vernacular design and materials are compatible, as described in the staff report and conditions of approval. A few conditions of approval are recommended for landscaping screening and materials. The existing concrete block retaining wall in the front of the home should be removed as it is not compatible with the historic district and does not meet HRB policies.

Typically the Board requires carriage style garage doors that are wood or painted metal; the applicant has proposed two 9-foot wide plain, modern style overhead garage doors. The garage doors are proposed to face toward the rear property line, and will not be visible from the right of way. Staff is looking for direction from the Board on the garage door design as well as the front door design.

Driveway access is not described in the application; if changes to the existing gravel driveway that is located within the 4th avenue and Apperson Street right of way are proposed, the HRB may need to review those changes as major public improvements. Staff has proposed some driveway features that may be acceptable within further HRB review, but any other changes will need to come back to the Board.

BACKGROUND:

The property is zoned R-6 Single-Family Dwelling District and Low Density Residential in the Comprehensive Plan. The property is also located with the Geologic Hazard and Willamette River Greenway overlay districts.

The subject property is located on the south side of 4th Avenue between the A.E. Davis contributing historic home at 702 4th Ave and 606 4th Avenue, the Mary and Josiah Howell Residence c.1885, which is also a contributing structure in the historic district. A non-contributing minimal traditional home in poor condition on the site is currently being readied for demolition. The Historic Review Board approved this demolition through HR 19-08 in January of 2020. There is a rounded concrete block retaining wall in front of the home. The driveway access is a gravel driveway in the 4th avenue right of way that curves up into the Apperson Street right of way. The driveway access is shared by 702 4th Avenue.

OPTIONS:

1. Approve the request with the conditions of approval recommended by staff
2. Add or remove conditions of approval and findings as needed
3. Deny the request
4. Continue the public hearing and ask for more information

BUDGET IMPACT:

Amount: N/A

FY(s): N/A

Funding Source(s): N/A



Historic Review
Staff Report and Recommendation for a Single Family Home in the Canemah Historic District
October 20, 2020

FILE NO.: GLUA-20-000043 and HR 20-00009: Historic Review

HEARING DATE: October 27, 2020
7:00 p.m. – City Hall
625 Center Street
Oregon, City, Oregon 97045

APPLICANT: Levy Moroshan
6420 SE Mabel Ave
Milwaukie, OR 97267

OWNER: Clifford C. Stephens
333 SE 65th Avenue
Portland, OR 97215

LOCATION: 616 4th Avenue
Oregon City, OR 97045
Clackamas County Map 3-1E-01AA-25000

REQUEST: Historic Review for a new single family home and detached garage in the Canemah National Register District.

REVIEWER: Kelly Reid, Planner, AICP

RECOMMENDATION: Approval with Conditions

CRITERIA: Administration and Procedures are set forth in Chapter 17.50, Chapter 17.40, Historic Overlay District in Chapter 17.40, and Low density Residential District in Chapter 17.08 of the Oregon City Municipal Code. The City Code Book is available on-line at www.orcity.org.

Please be advised that any issue that is intended to provide a basis for appeal must be raised before the close of the hearing, in person or by letter, with sufficient specificity to afford the Historic Review Board and the parties an opportunity to respond to the issue. Failure to raise an issue with sufficient specificity will preclude any appeal on that issue. The decision of the Historic Review Board may be appealed to the City Commission by parties with standing within fourteen (14) calendar days of the notice of decision. Any appeal will be based on the record. The procedures that govern the hearing will be posted at the hearing and are found in OCMC Chapter 17.50 and ORS 197.763. A city-recognized neighborhood association requesting an appeal fee waiver pursuant to OCMC 17.50.290(C) must officially approve the request through a vote of its general membership or board at a duly announced meeting prior to the filing of an appeal.

Recommended Conditions of Approval

(P) = Verify that condition of approval has been met with the Planning Division.

(DS) = Verify that condition of approval has been met with the Development Services Division.

Prior to issuance of Building Permits:

1. The applicant shall obtain all necessary permits including but not limited to a Willamette River Greenway permit per OCMC 17.48 and Geological Hazards Overlay Review per OCMC 17.44. (P, DS)
2. The existing concrete block retaining wall in front of the home shall be removed and/or replaced with a retaining wall that utilizes stone/rockery appropriate for the district. (P, DS)
3. The applicant may connect to the existing gravel driveway in the right-of-way using a gravel, concrete, or asphalt driveway on site and may make minor changes to the right of way including widening of the driveway by no more than 2 feet, addition of more gravel to fill out holes and missing portions, and paving of the driveway throat at its intersection with the 4th Avenue pavement. Any other changes in the right-of-way, including removal of trees greater than 6" DBH, will require review by the Board as a public improvement. (P, DS)
4. The applicant shall utilize smooth fiber cement siding. Textured CedarMill siding proposed is not permitted. (P)
5. Minor changes to window location or size on the side and rear facades will be acceptable and may be approved at a staff level prior to building permit issuance. (P)
6. The porch rail shall include top and bottom rail with balusters interior to the rail. (P)
7. Under the porch, the applicant shall use 90 degree perpendicular wood lattice, horizontal siding, or another material specifically approved by the Board. (P)

Prior to issuance of a Certificate of Occupancy:

1. The applicant shall add landscaping to screen the home on the east side including at least two trees 1.4" caliper or greater and six shrubs. These plantings may occur on the neighboring lot (Lot #3, which is under the same ownership currently) if desired, and may be added at the time of future construction of a home on Lot 3, or within two years of a final certificate of Occupancy for the home, whichever is earlier. (P)
2. Prior to issuance of a final certificate of occupancy, the applicant shall plant at least two trees 1.5" caliper minimum (at least one conifer) and at least four shrubs to screen the garage from 4th Avenue and Apperson Street. (P)
3. Incised lumber or pressure treated wood shall not be used on any visible surfaces. (P)
4. All railings, decking and stairs shall be finished to match the house body or trim. (P)
5. The applicant shall plant no less than 5 shrubs in front of the home along the foundation. (P)
6. The applicant shall utilize simple vernacular styled exterior lighting.(P)
7. The applicant may include a paved or stone walkway on the property to the front porch stair, along with lawn, shrubs, ground cover, and tree species found in the district without further HRB review. (P)

BACKGROUND:**Site and Context**

The subject property is a 5,000 square foot lot of record located in the Canemah National Historic District and is located on the south side of 4th Avenue between the A.E. Davis contributing historic home at 702 4th Ave and 606 4th Avenue, the Mary and Josiah Howell Residence c.1885, which is also a contributing structure in the historic district. A non-contributing minimal traditional home in poor condition on the site is currently being readied for demolition. The Historic Review Board approved this demolition through HR 19-08 in January of 2020. There is a rounded concrete block retaining wall in front of the home. The driveway access is a gravel driveway in the 4th avenue right of way that curves up into the Apperson Street right of way. The driveway access is shared by 702 4th Avenue.

The subject property is also within the Geologic Hazards Overlay District and Willamette River Greenway Overlay District.



Aerial photo



Topography



Vicinity Map

Neighboring Properties

702 4th Avenue

The A.E. Davis House is a 1.5 story Vernacular style home that is eligible/contributing in the district. Built circa 1885, it has a full width original porch and porch posts, and a one-story addition at the rear. Windows are wood doublehung, many 4/4, some 1/1.



606 4th Avenue – Mary and Josiah Howell residence

This vernacular style home is contributing. It is fronted by significant vegetation in the 4th Avenue right of way that obscures the view from the street. The 1983 inventory form identified the home as in fair condition. It is located on 20,000 square foot property (four combined lots of record). The photo below shows what appears to be a detached garage on the property, while the home is not visible.



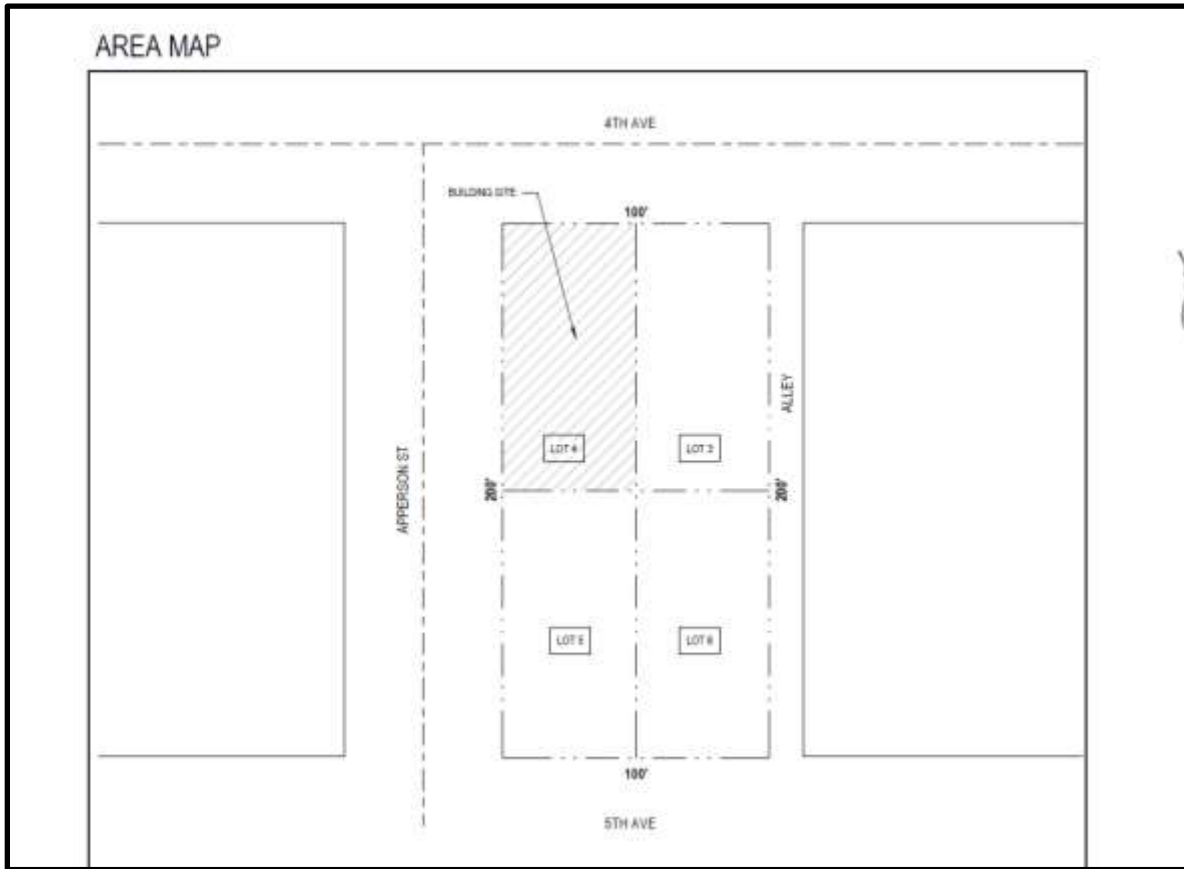
Statement of Significance: Mary Vance Howell was the wife of Josiah Howell, a carpenter who was born in Pennsylvania in 1821. Mary, who was 22 years younger than her husband, was born in Missouri in 1843. They had six children, one of whom, William, eventually became director of Oregon City's water works. The house is significant for its age and style, unusual in Canemah, and for its association with the Howell family. In the Canemah NR District, the building is classified as a Primary structure.

615 and 611 4th Avenue

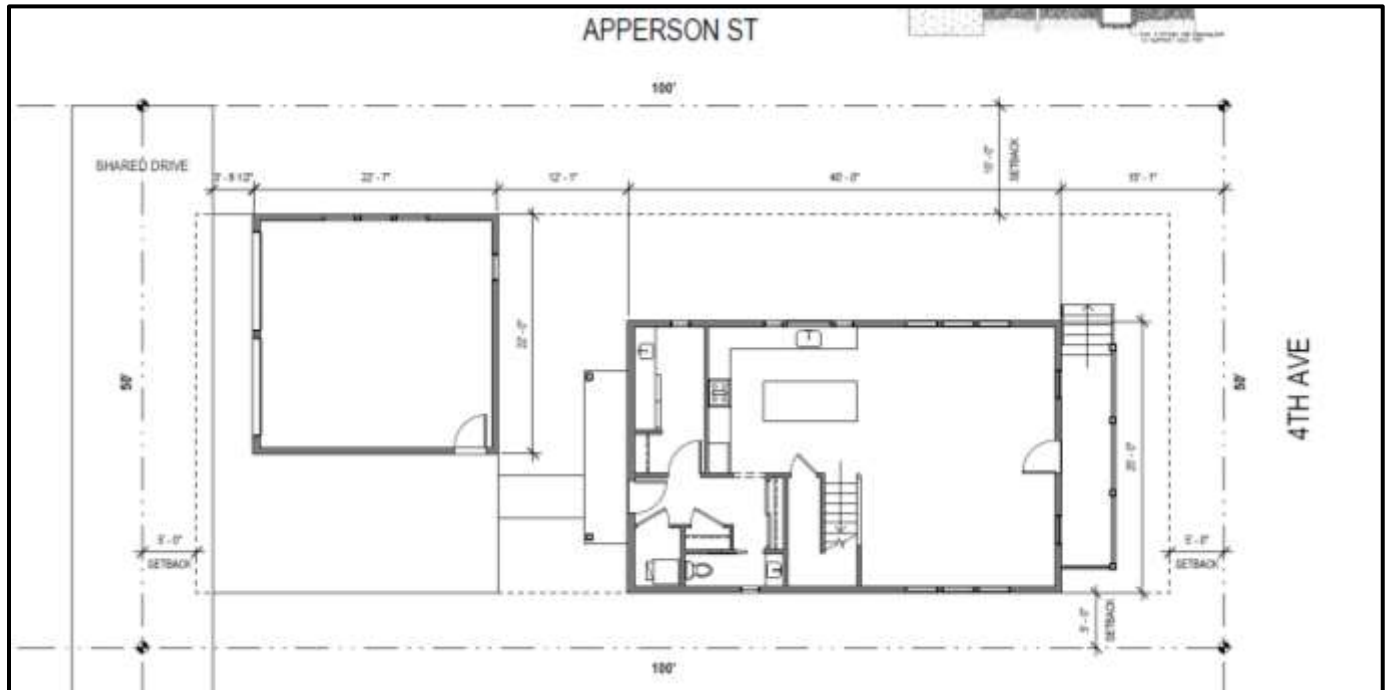
These two homes on the other side of 4th Avenue were built more recently and are not contributing to the district. They were constructed under the historic district guidelines prior to the 2006 update.



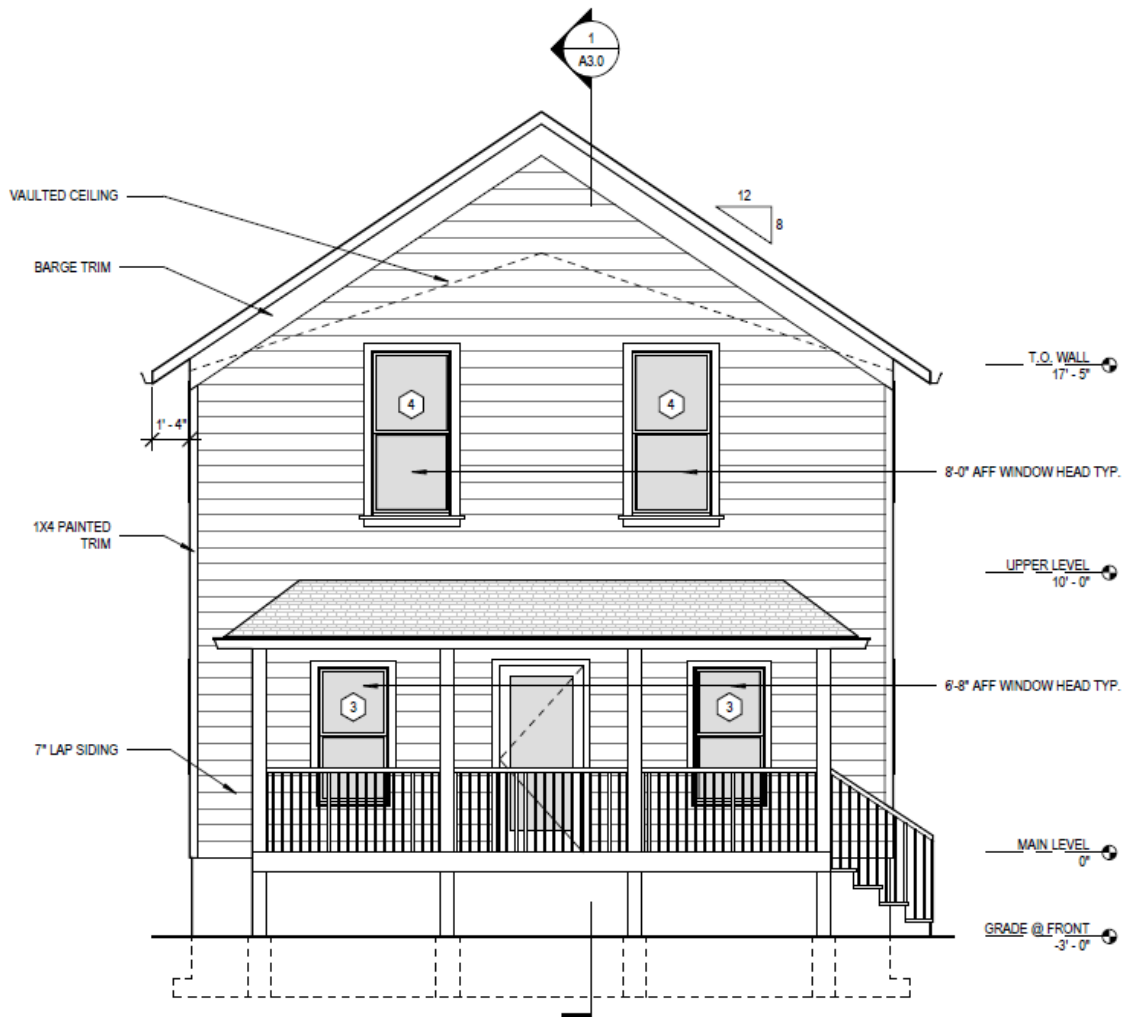
APPLICANT'S SUBMITTAL:

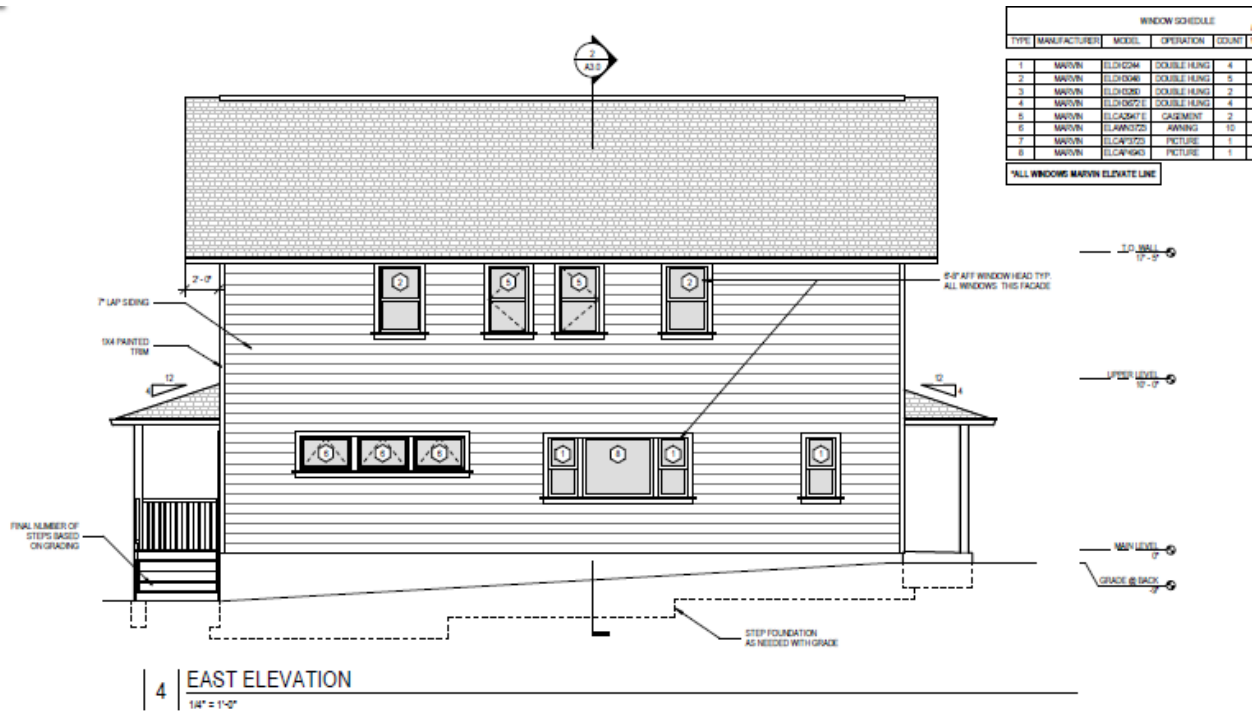


Site Plan

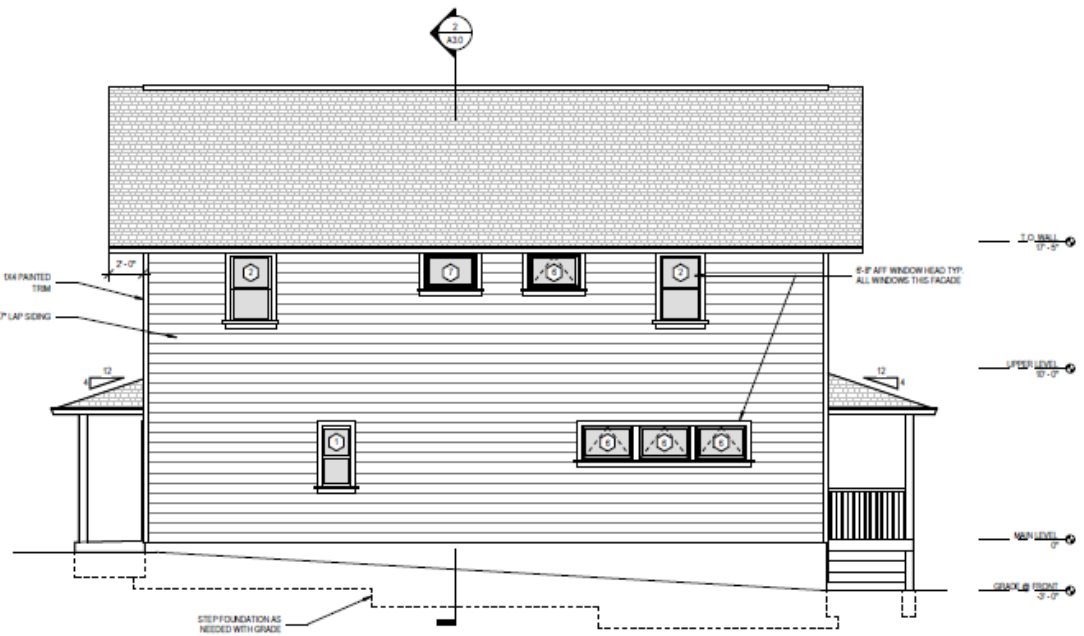


Front elevation



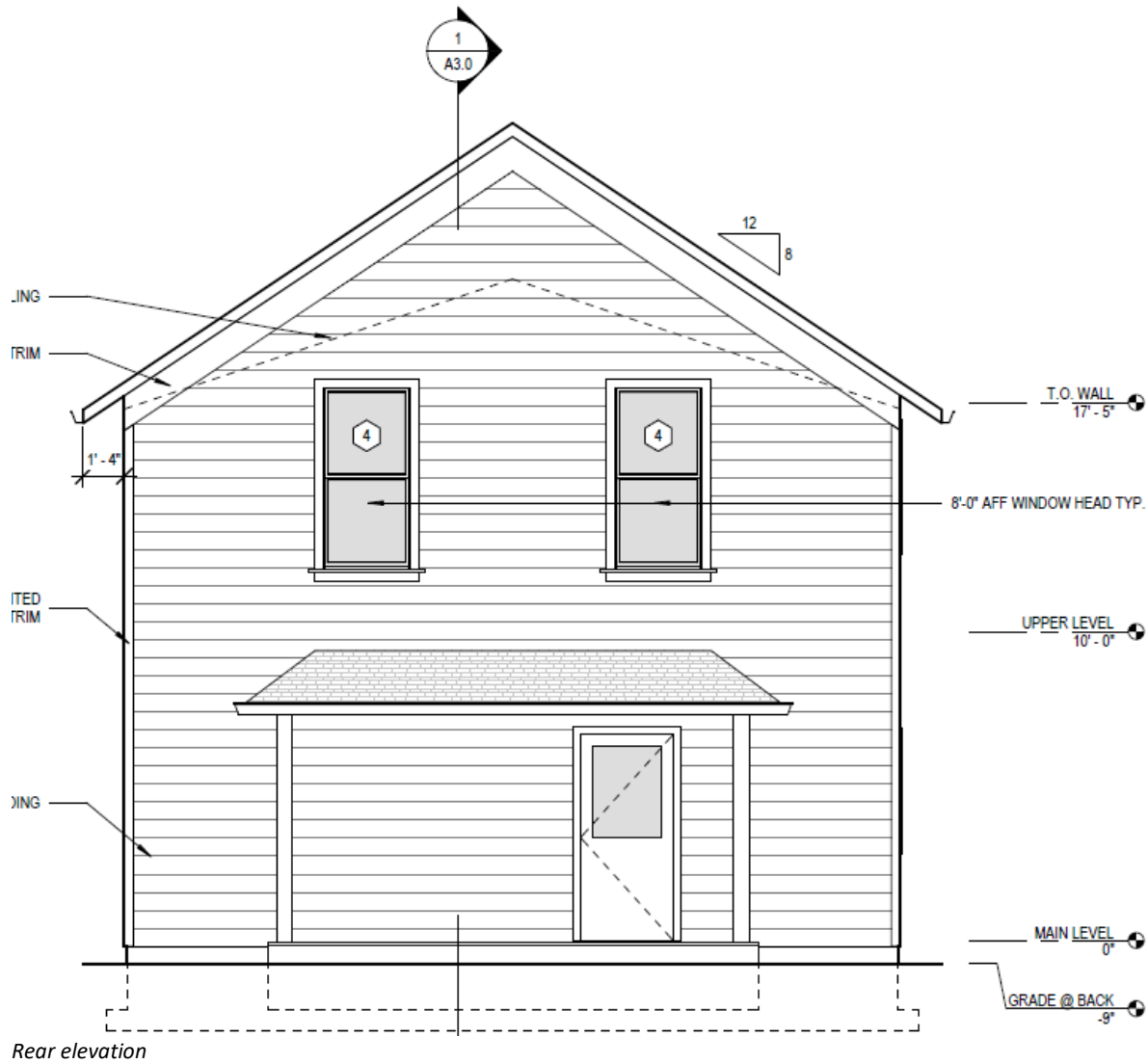


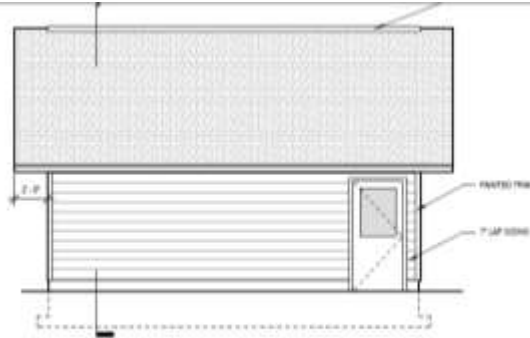
4 EAST ELEVATION
1/4" = 1'-0"



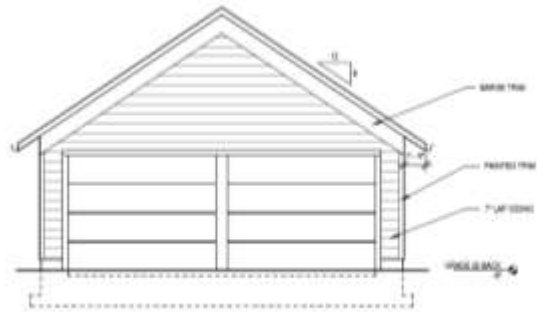
1 WEST ELEVATION

Side elevations

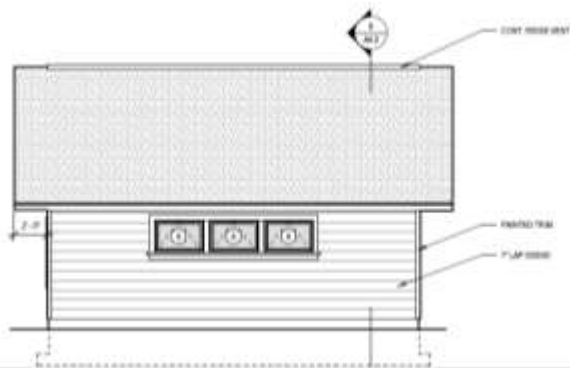




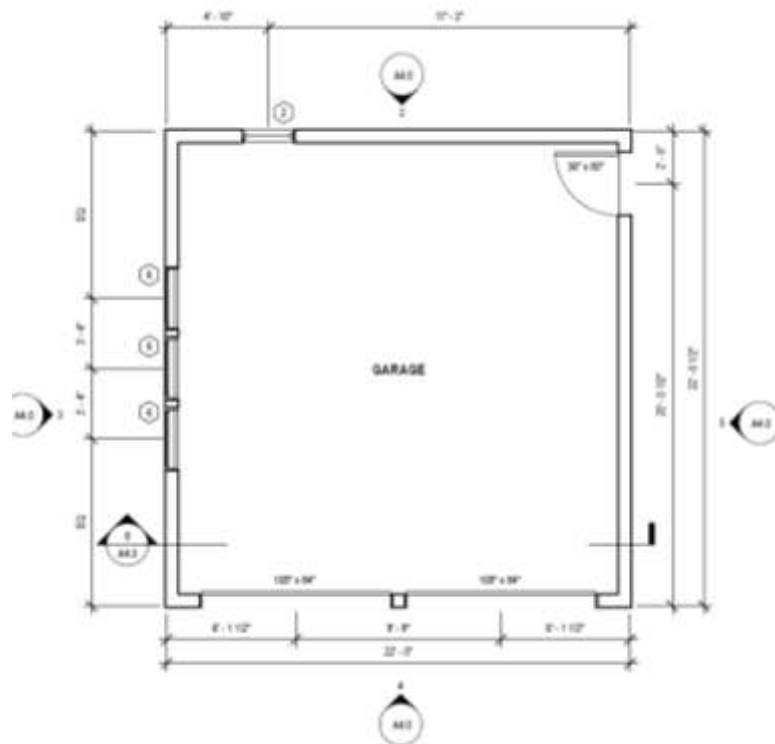
5 EAST GARAGE ELEVATION
14' x 11'2"

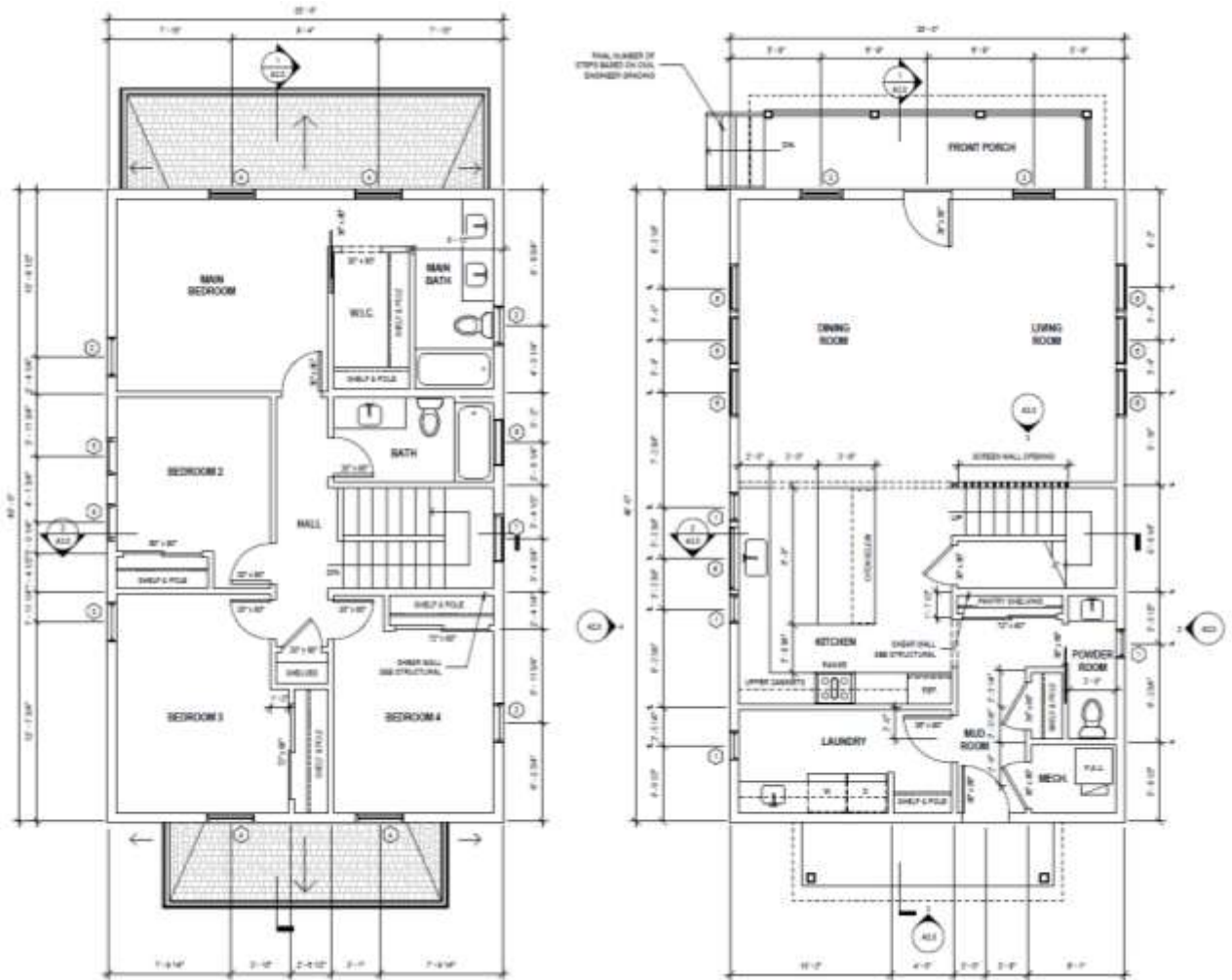


4 NORTH GARAGE ELEVATION
16' x 11'2"



Garage elevations





Floor Plans





Views of property from 4th Avenue



Distance from historic home; approximately 100 feet in the front and 80+ feet at the rear addition.

Project Summary:

The applicant has proposed a new home with a detached garage to be constructed in the Canemah Historic District. The home is designed to meet the Vernacular style.

The applicant submitted the following narrative:

"I plan on building a single family residence at 616 4th Ave. It'll be the first of 4 total homes I plan to build there. I've already had the surveyors, Centerline Concepts, split the property into the individual lots and get that recorded. Taking all the suggestions and feedback from the previous HRB meetings my architect and I have come with with a design that should work nicely. Of course we made sure to keep in accordance with the guidelines of the area. This will not only

add value to the area by removing the old dilapidated house that's there now but also bringing in revenue from utilities and property taxes. Also we'd be making improvements to the access and bringing utilities to each lot. The house will have the look and feel of those around it and strictly adhere to design cues of the period."

Zoning:

The property is zoned R-6 Single-Family Dwelling District and Low Density Residential in the Comprehensive Plan. The property is also located with the Geologic Hazard and Willamette River Greenway overlay districts. The applicant must receive approval through the Geologic Hazard, Willamette River Greenway processes prior to release of building permits.

Public Comments:

Notice of the application was mailed to all property owners and residents within 300 feet as well as posted on site. The City received the following comments:

A comment from the Development Services Department:

This property lies on a mapped geologic hazard due to an existing landslide deposit. This project will be required to go through a Type II land use review for geologic hazards. With the information provided at this time, we cannot say whether or not this project would be approved from a geologic hazard standpoint. We recommend a pre-application and follow up land use submittal be made. A geotechnical engineer will be required to be used as part of this development.

Current code does not require a limited density based on a mapped landslide, only steep slopes which this property does not have. The applicant should be aware that code revisions are proposed to add a limitation of density for properties with mapped landslides.

A comment from Jane Shull that the plans on the Notice of Public Hearing shows the front of the proposed house on 4th Ave labeled as "South Elevation", which is incorrect.

A comment from the building department that the proposal does not conflict with their interests.

The comment from the Development Services department is addressed in the conditions of approval (#1) requiring Geologic Hazard review.

Staff Analysis Executive Summary:

The proposal includes a new 1.5 story Vernacular home with a detached garage. The applicant proposes to utilize 8:12 roof pitch. Proposed siding is hardiplank with 7" reveal. Windows on the front elevation, facing the street, are proposed as 1 over 1, double hung, fiberglass. A covered front porch is also proposed.

Staff finds that the massing is appropriate and the Vernacular design and materials are compatible, as described in the staff report and conditions of approval. A few conditions of approval are recommended for landscaping screening and materials. The existing concrete block retaining wall in the front of the

home should be removed as it is not compatible with the historic district and does not meet HRB policies.

Typically the Board requires carriage style garage doors that are wood or painted metal; the applicant has proposed two 9-foot wide plain, modern style overhead garage doors. The garage doors are proposed to face toward the rear property line, and will not be visible from the right of way. Staff is looking for direction from the Board on the garage door design as well as the front door design.

Driveway access is not described in the application; if changes to the existing gravel driveway that is located within the 4th avenue and Apperson Street right of way are proposed, the HRB may need to review those changes as major public improvements. Staff has proposed some driveway features that may be acceptable within further HRB review, but any other changes will need to come back to the Board.

CODE RESPONSES:

17.40.060 - Exterior alteration and new construction.

A. Except as provided pursuant to subsection I of this section, no person shall alter any historic site in such a manner as to affect its exterior appearance, nor shall there be any new construction in an historic district, conservation district, historic corridor, or on a landmark site, unless a certificate of appropriateness has previously been issued by the historic review board. Any building addition that is thirty percent or more in area of the historic building (be it individual or cumulative) shall be considered new construction in a district. Further, no major public improvements shall be made in the district unless approved by the board and given a certificate of appropriateness.

Applicable: The proposal for new construction in a historic district is being reviewed by the Historic Review Board.

B. Application for such a certificate shall be made to the planning staff and shall be referred to the historic review board. The application shall be in such form and detail as the board prescribes.

Complies as Proposed: The applicant submitted the required materials.

C. Archeological Monitoring Recommendation. For all projects that will involve ground disturbance, the applicant shall provide,

- 1. A letter or email from the Oregon State Historic Preservation Office Archaeological Division indicating the level of recommended archeological monitoring on-site, or demonstrate that the applicant had notified the Oregon State Historic Preservation Office and that the Oregon State Historic Preservation Office had not commented within forty-five days of notification by the applicant; and*
- 2. A letter or email from the applicable tribal cultural resource representative of the Confederated Tribes of the Grand Ronde, Confederated Tribes of the Siletz, Confederated Tribes of the Umatilla, Confederated Tribes of the Warm Springs and the Confederated Tribes of the Yakama Nation indicating the level of recommended archeological monitoring on-site, or demonstrate that the applicant had notified the applicable tribal cultural resource representative and that the applicable tribal cultural resource representative had not commented within forty-five days of notification by the applicant.*

If, after forty-five days notice from the applicant, the Oregon State Historic Preservation Office or the applicable tribal cultural resource representative fails to provide comment, the city will not require the letter or email as part of the completeness review. For the purpose of this section, ground disturbance is defined as the movement of native soils.

Complies as Proposed: Ground disturbance is proposed; notice was provided to SHPO and the tribes listed. A response was received from Kristen Tiede of the Confederated Tribes of the Umatilla Indian

Reservation (CTUIR) Cultural Resources Protection Program (CRPP.) The program recommends that "As the project is within a historic district, the CRPP recommends having a cultural resources monitor present during ground-disturbing work."

D. [1.] *The historic review board, after notice and public hearing held pursuant to Chapter 17.50, shall approve the issuance, approve the issuance with conditions or disapprove issuance of the certificate of appropriateness.*

Applicable: The proposal is being reviewed by the Historic Review Board.

2. *The following exterior alterations to historic sites may be subject to administrative approval:*
 - a. *Work that conforms to the adopted Historic Review Board Policies.*

Not Applicable: The proposal is not subject to administrative approval.

E. *For exterior alterations of historic sites in an historic district or conservation district or individual landmark, the criteria to be used by the board in reaching its decision on the certificate of appropriateness shall be:*

Not Applicable: The proposal is not an exterior alteration.

F. *For construction of new structures in an historic or conservation district, or on an historic site, the criteria to be used by the board in reaching its decision on the certificate of appropriateness shall include the following:*

1. *The purpose of the historic conservation district as set forth in Section 17.40.010;*

Finding: Complies with Condition.

The purpose of the district is

- A. Effect and accomplish the protection, enhancement and perpetuation of such improvements and of districts which represent or reflect elements of the city's cultural, social, economic, political and architectural history;
- B. Safeguard the city's historic, aesthetic and cultural heritage as embodied and reflected in such improvements and districts;
- C. Complement any National Register Historic districts designated in the city;
- D. Stabilize and improve property values in such districts;
- E. Foster civic pride in the beauty and noble accomplishments of the past;
- F. Protect and enhance the city's attractions to tourists and visitors and the support and stimulus to business and industry thereby provided;
- G. Strengthen the economy of the city;
- H. Promote the use of historic districts and landmarks for the education, pleasure, energy conservation, housing and public welfare of the city; and
- I. Carry out the provisions of LCDC Goal 5.

The single family home is proposed in the Canemah National Register District. The single family use matches the dominant use of the district. By meeting the conditions of approval, the home will complement the district. **Staff has determined that it is possible, likely and reasonable that the applicant can meet this standard through the Conditions of Approval.**

2. *The provisions of the city comprehensive plan;*

Finding: Complies with Condition.

There are a few goals and policies in the Comprehensive Plan that pertain to this proposal:

Section 5

Open Spaces, Scenic and Historic Areas, and Natural Resources

Canemah is an important example of a relatively intact riverboat town with architectural resources dating from the 1860s. Having evolved from a community for the elite of the riverboat industry to a workers' community, Canemah retains essentially the same sense of place it had in the latter half of the

19th century. Situated above the Falls of the Willamette, it was an important portage town and the major shipbuilding center on the upper Willamette River. Canemah was listed as a Historic District in the National Register of Historic Places in 1977.

Goal 5.3 Historic Resources

Policy 5.3.1

Encourage architectural design of new structures in local Historic Districts, and the central Downtown area to be compatible with the historic character of the surrounding area.

Finding: Complies with Condition. The proposed home has been designed in the Vernacular style and will be located along 4th Ave. in the Canemah Historic District, which is primarily a street with single family homes on lots of 5,000 to 10,000 square feet. The design will be compatible with the conditions of approval in this staff report. **Staff has determined that it is possible, likely and reasonable that the applicant can meet this standard through the Conditions of Approval.**

Policy 5.3.8

Preserve and accentuate historic resources as part of an urban environment that is being reshaped by new development projects.

Finding: Complies with condition. The house is proposed to face 4th Avenue, across the unimproved right of way of Apperson Street from the existing contributing historic A.E. Davis house, matching the orientation of that home. The home is both wider and taller than the A.E. Davis house, 25 feet wide versus 20 feet, and 29 feet from grade to the roof peak, compared to approximately 25 feet or so height of the A.E. Davis residence. The ground elevation of the subject site is 8 feet higher than the site of the historic home, which will place the new home significantly higher than the historic home. However, this height differential is mitigated by the fact that the new home is proposed to be separated from the A.E. Davis house by approximately 100 feet. Staff finds that the proposed home will not have an adverse impact on the A.E. Davis home, with the conditions recommended in this staff report.

The proposed home is also located near the historic home at 606 4th Avenue; due to the existing dense vegetation surrounding the historic home and the large distance (approximately 60 feet) from that structure, no adverse impact is expected.

Staff has determined that it is possible, likely and reasonable that the applicant can meet this standard through the Conditions of Approval.

8. The economic effect of the new proposed structure on the historic value of the district or historic site;

Finding: Complies with Conditions. The proposed structure has been designed to be compatible with the district. See findings in Section titled 'Design Guidelines for New Construction' in this staff report. As conditioned, the design will continue to enhance the Canemah Historic District and contribute to the existing context of the District.

Staff has determined that it is possible, likely and reasonable that the applicant can meet this standard through the Conditions of Approval.

9. The effect of the proposed new structure on the historic value of the district or historic site;

Finding: Complies with Condition. See findings in Section titled 'Design Guidelines for New Construction' in this staff report.

As conditioned, the design will continue to enhance the Canemah Historic District and contribute to the existing context of the District.

Staff has determined that it is possible, likely and reasonable that the applicant can meet this standard through the Conditions of Approval.

10. *The general compatibility of the exterior design, arrangement, proportion, detail, scale, color, texture and materials proposed to be used in the construction of the new building or structure;*

Finding: Complies with Condition. See findings in Section titled 'Design Guidelines for New Construction in this staff report.

As conditioned, the design will continue to enhance the Canemah Historic District and contribute to the existing context of the District.

Staff has determined that it is possible, likely and reasonable that the applicant can meet this standard through the Conditions of Approval.

11. *Economic, social, environmental and energy consequences;*

Finding: Complies as Proposed. Choosing to build in an established neighborhood close to services is socially, economically and energy-efficient, and is less environmentally impactful.

7. *Design guidelines adopted by the historic review board.*

1. STYLE

New construction shall complement one of these styles to support the historic context. Use of other styles dilutes and distracts from the historic context of the district.

While there may be several styles dominant within the district, the specific choice of a style shall be compatible with adjacent properties, the block, and the neighborhood. It also must be fitting for the particular function of the building and its size.

Finding: Complies as Proposed. Proposed style: Canemah Vernacular. In the Canemah neighborhood the most prevalent extant architectural style is vernacular, built between 1867-1929. The proposed design is similar to the neighboring A.E. Davis house, which is contributing to the District. The design is differentiated from the neighboring house by its proposed size, materials, window details, and front door placement.

2. SITE

Siting principles involve both how the site is used and how the building(s) is placed within the site. The specific lot location and its topography can dictate many requirements.

Residential buildings are to face the street squarely with their primary face in full view, and to be set back from lot lines and be spaced from one another similar to the immediate neighborhood. The primary structure is to be placed in the primary position with accessory structures in a service or ancillary position except where topography is an issue. Yard area between the house and street to primarily be planted with minimal paving only for pedestrian access and for vehicle movement. More private activity spaces to be located at the less public areas of the site.

SITE CHARACTERISTICS OF THE VERNACULAR STYLE IN CANEMAH

- No uniform front setback; South of 3rd Street: houses may face front or side depending on topography.
- Lots range from 50x100 to 100x100 and contain a single house.
- Properties edges often not defined; Where fenced, primarily picket or low slat at front with side or partial returns.
- Planting: South of 3rd Street: forest setting, native and ornamental plantings form visual screen and sense of privacy; Elsewhere on the more level portions: lawn and planted area around buildings.
- House Placement: to suit the existing topography and most level lot portion especially south of 3rd Street.
- Retaining walls: stone, mortared or stacked basalt, or concrete south of 3rd Street, especially in proximity with street.

- Garages: Not found historically; informal graveled or paved parking next to street or along house; New garages to be located along side or behind house. Where topography is a concern, locate garage offset from building primary façade, close to street with direct access.
- Accessory Buildings: detached, behind along side of house and located to allow use of particular function.
- Streets: South of 3rd Street: narrow, without curbs or sidewalks; casual pedestrian paths and connecting stairs are encouraged.

Finding: Complies with Conditions. The site is a 5,000 sf lot of record (Lot #4 of the block according to the applicant's map). The proposed buildings meet all dimensional requirements of the R-6 zone. The home faces the street. The garage will be located behind, not in front of the house. The house is setback 15 feet from the front property line.

The proposed building site is 50x100 steeply sloping from 4th Ave with a relatively level area.

The National Register nomination mentions the intersection of 4th and Apperson once, stating: "At the other end of town the water from the overflow from the four water tanks off Miller appears to go west down unimproved 5th, then surfaces through a basalt culvert at 4th and (unimproved) Apperson Street. This now disappears into a city pipe recently laid under 4th street to combine with water from the Rake! springs." In addition to the culvert, the nomination document mentions basalt stone walls in the right-of-way that define the character of Canemah. There is a basalt wall between the pavement of 4th avenue and the driveway. The applicant does not propose any changes to the right of way at this time. Any major changes to infrastructure will need to be reviewed by the Board as a major public improvement.



Basalt stone retaining wall in 4th Avenue right-of-way

HOUSE HEIGHT AND PLACEMENT:

The proposed height is approximately 29 feet to the peak (19'9" to the eave). This height is no more than 20 percent taller than historic home heights in the district.

The design guidelines state that houses closer than 15 feet to the lot line require visual screening from one another. The proposed home is 5 feet from the property line on the east side where another lot of record (Lot 3) exists and where the applicant plans to build another home in the future. The applicant shall add landscaping to screen the home on the east side including at least two trees and six shrubs. These plantings may occur on the neighboring lot (Lot #3, which is under the same ownership currently)

if desired, and may be added at the time of future construction of a home on Lot 3, or within two years of a final certificate of Occupancy for the home, whichever is earlier.

The house is proposed to face 4th Avenue, across the unimproved right of way of Apperson Street from the existing contributing historic A.E. Davis house, matching the orientation of that home. The home is both wider and taller than the A.E. Davis house, 25 feet wide versus 20 feet, and 29 feet from grade to the roof peak, compared to approximately 25 feet or so height of the A.E. Davis residence. The ground elevation of the subject site is 8 feet higher than the site of the historic home, which will place the new home significantly higher than the historic home. However, this height differential is mitigated by the fact that the new home is proposed to be separated from the A.E. Davis house by approximately 100 feet. Staff finds that the proposed home will not have an adverse impact on the A.E. Davis home, with the conditions recommended in this staff report.

The proposed home is also located near the historic home at 606 4th Avenue; due to the existing dense vegetation surrounding the historic home and the large distance (approximately 60 feet) from that structure, no adverse impact is expected.

GARAGE:

The garage behind the home is proposed with a 500 sf footprint. The height of the garage is less than the home. The garage is proposed 10 feet from the side property line and about 10 feet from the rear property line. Because the garage is larger than historic garage volumes, the applicant shall be required to screen it with landscaping. Prior to issuance of a final certificate of occupancy, the applicant shall plant at least two trees 1.5" caliper minimum (at least one conifer) and at least four shrubs to screen the garage from 4th Avenue and Apperson Street.

RETAINING WALLS:

The concrete retaining wall in front of the home shall be removed and/or replaced with a retaining wall that utilizes stone/rockery appropriate for the district.

ACCESS, GRADING AND LANDSCAPING:

The applicant has not held a pre-application conference or obtained approval through the Geologic Hazard overlay at this time. The building site is relatively flat but is bordered by steep slopes and is in the historic landscape area. Staff finds that the proposed grading does not appear to be extensive.

The applicant has not proposed any changes to the existing driveway access, which is a gravel driveway that curves up through the right-of-way of 4th Avenue and Apperson Street.

The applicant may connect to this existing gravel driveway using a gravel, concrete, or asphalt driveway on site and may make minor changes to the right of way including widening of the driveway by no more than 2 feet, addition of more gravel to fill out holes and missing portions, and paving of the driveway throat at its intersection with the 4th Avenue pavement. Any other changes will require review by the Board as a public improvement.

No existing trees are proposed to be removed, however, it is possible that right of way improvements could necessitate tree removal. If removal of trees over 6" DBH and/or significant right of way improvements are required to comply with other parts of the municipal code, the applicant shall be required to submit those changes for review by the Board.

No pedestrian access or landscaping has been proposed. The applicant may include a paved or stone walkway on the property to the front porch stair, along with lawn, shrubs, ground cover, and tree species found in the district without further HRB review.

Staff has determined that it is possible, likely and reasonable that the applicant can meet this standard through the Conditions of Approval.

3. BUILDING FORM

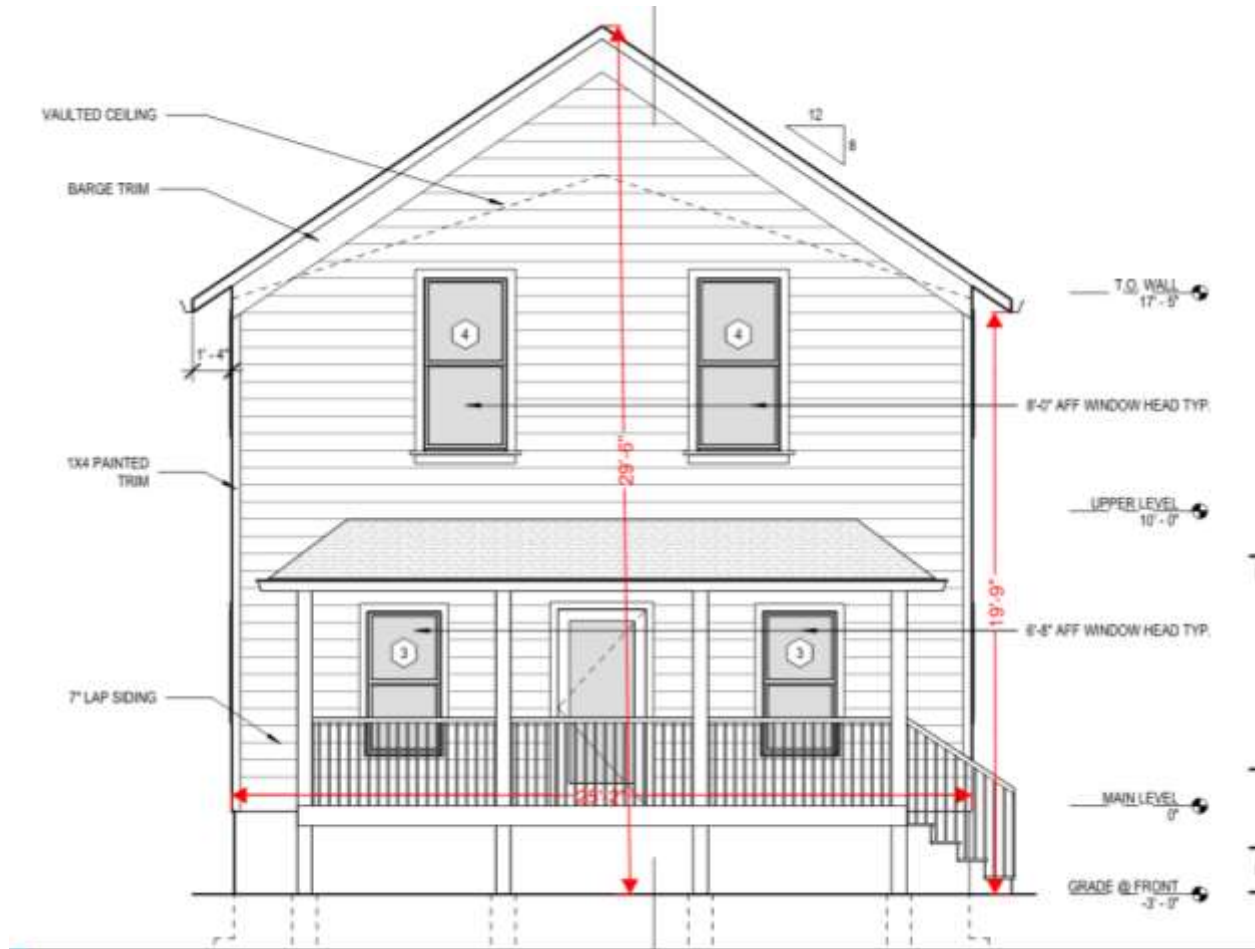
Address the overall size, shape and bulk of the building. The architectural style used for the building defines many aspects of its appropriate form and proportions. Excessive variation in the size, shape, or configuration creates an inappropriate solution that is stylistically incorrect and not complementary to the district. The building form needs to relate to the buildings in the immediate neighborhood, and to take into account both similarities and changes on the block. The new building form shall reference the principles, proportions and scale of an historically appropriate style.

BUILDING FORM CHARACTERISTICS OF THE VERNACULAR STYLE IN CANEMAH

- Form easily allows additions and alterations such as increases in family size, activities or changing technology; generally smaller in size than McLoughlin.
- Shape: rectangular in plan, with smaller rectangular combinations to primary form; Rectangular or square form reinforced on façade. L-plan, T-plan options.
- Height: Maximum 1 ½ stories in height; Basement option.
- Proportions: Height (eave) to maximum width: 1:1 Height to Depth: can vary greatly.
- Roof: gable, of not less than 8:12 pitch, 10:12 and steeper are preferred. No cross-gable roofs; Possible wing or addition with lower ridgeline that is perpendicular or is offset.

Finding: Complies with Condition. The proposed shape is rectangular, with a full width porch with simple wood columns. The home will be 1.5 stories with an 8:12 pitched gable roof. No basement is proposed.

The proportions of the house are appropriate and meet the design guidelines. The width of the home is 25 feet. Height measured to the eave is 19'9" feet from grade.



The plans show an additional 2'4" feet in height of mass underneath the front porch. Landscaping in the form of 5 shrubs should be added to visually shield the massing. The applicant shall plant no less than 5 shrubs in front of the home along the foundation.

Because the garage is larger than historic garage volumes, the applicant shall be required to screen it with landscaping. Prior to issuance of a final certificate of occupancy, the applicant shall plant at least two trees 1.5" caliper minimum (at least one conifer) and at least four shrubs to screen the garage from 4th Avenue and Apperson Street.

Staff has determined that it is possible, likely and reasonable that the applicant can meet this standard through the Conditions of Approval.

4. DESIGN COMPOSITION

Include a range of more detailed design issues that address groups of elements, individual elements, their design and how they relate to the overall composition and finish. The principles place a traditional emphasis on the design's composition as seen from the exterior, rather than as a result of interior functional planning requirements. They also outwardly convey a sense of quality craftsmanship.

The design composition principles, being more detailed, and stylistically dependent, are typically developed after the previous principles are resolved. These principles also reflect historically appropriate materials, respective finishes, and unobtrusive integration of new technology.

DESIGN COMPOSITION CHARACTERISTICS OF THE VERNACULAR STYLE IN CANEMAH

- Lacks rigid system of exterior detailing that makes it a clearly definable architectural style; allows design flexibility and is inherently varied.
- Designed and built without assistance of a trained architect. Collaborative design evolved with homeowner and builder, based on familiar styles, features and products.
- Can combine features from other architectural styles popular during the historic period; simpler designs than McLoughlin.
- Porch: full or partial length at the front entry; if close to the ground, no railings; at main story only.
- Dormers: None.
- Materials: local, readily available.
- Windows: 1:1, double hung windows.
- Siding: horizontal board siding; typically shiplap, or channel; occasionally bevel.
- Ornament: Exterior decoration is modest, consisting of scroll-work brackets at the top of porch pillars, plain cornerboards and simple window trim. Most houses do not feature spindlework in the peaks of their gable roofs.
- Interior fireplaces and chimneys.

Finding: Complies with Conditions.

The applicant proposed the following materials:

- Color - Off white trim, grey/blue body and brown on the gables.
- Siding - Hardi lap siding up to the bottom of the roof line and then the gables will have Hardi shake style boards.
- Exterior doors - Wood door with windows on top.
- Windows - Fiberglass windows in the double hung and casement style.
- Roof - Dark grey 30 yr architectural style.
- Porch - Wood railings to match other in the neighborhood with wood deck. No gaps or spacing.

The home has a hip roofed porch to help break down the overall scale of the building. The porch columns are simple untapered design. **The porch rail shall include top and bottom rail with balusters interior to the rail.** The area under the front porch (about 2 feet 4" of vertical distance) is not shown with any material or design detail on the applicant's plan. **The applicant shall use perpendicular wood lattice, horizontal siding, or another material specifically approved by the Board.**

The applicant proposed vertical siding under the porch, which is not compatible with the district. Under the front porch, the applicant shall use 90 degree perpendicular wood lattice or other architectural styles appropriate for house, painted darker than the color of the house to blend in with the surroundings.

The exterior is proposed to be covered with 7" reveal fiber cement lap siding, with 1x4" painted trim and a 12" barge board. **The applicant shall change the siding to smooth rather than textured fiber cement siding.**

Exterior decoration is simple, no architectural detailing is proposed. The windows on the front façade are 1:1 and double hung. The front door is shown as ¾-lite. **Staff is looking for direction from the board on whether the proposed front door design is appropriate.** The side elevations include casement and awning paired windows. While these are not typical of the vernacular style, the limited use of such windows has been deemed compatible.

The rear elevation includes 1 over 1 windows and one half lite door. Doors are proposed to be wood or fiberglass. **Minor changes to window location on the side and rear facades will be acceptable and may be approved at a staff level prior to building permit issuance.**

The applicant proposes Marvin Elevate fiberglass windows, which are formerly known as Marvin Integrity and are of the quality that is compatible with the character of the district.

Wood stairs and railings are proposed for the porch.

The applicant shall also utilize simple vernacular styled exterior lighting.

The detached garage massing and design is also simple and compatible with the district, with the exception of the proposed garage doors. Typically the Board requires carriage style garage doors that are wood or painted metal; the applicant has proposed two 9-foot wide plain, modern style overhead garage doors. The garage doors are proposed to face toward the rear property line, and will not be visible from the right of way. **Staff is looking for direction from the Board on the garage door design. Staff has determined that it is possible, likely and reasonable that the applicant can meet this standard through the Conditions of Approval.**

17.40.065 - Historic Preservation Incentives.

A. Purpose. *Historic preservation incentives increase the potential for historically designated properties to be used, protected, renovated, and preserved. Incentives make preservation more attractive to owners of locally designated structures because they provide flexibility and economic opportunities.*

B. Eligibility for Historic Preservation Incentives. *All exterior alterations of designated structures and new construction in historic and conservation districts are eligible for historic preservation incentives if the exterior alteration or new construction has received a certificate of appropriateness from the Historic Review Board per OCMC 17.50.110(c).*

C. Incentives Allowed. *The dimensional standards of the underlying zone as well as for accessory buildings (OCMC 17.54.100) may be adjusted to allow for compatible development if the expansion or new construction is approved through historic design review.*

D. Process. *The applicant must request the incentive at the time of application to the Historic Review Board.*

Finding: Not Applicable: No preservation incentives have been proposed as part of this application.

I. PUBLIC NOTICE

A public notice was sent to neighbors with 300 feet of the subject property, posted online, emailed to various entities, and posted onsite.

II. CONCLUSIONS AND RECOMMENDATIONS

Based on the following findings, staff recommends that the Historic Review Board approve the proposed development of HR 20-09 with conditions for the property located at 616 4th Avenue Oregon City, OR 97045, Clackamas County Map 3-1E-01AA-25000.

Exhibits

1. Vicinity Map
2. Applicant Submittal
3. Design Advice materials
4. A.E. Davis Inventory Form
5. Public Comments



LAND USE APPLICATION FORM

Type I (OCMC 17.50.030.A)

- ☐ Compatibility Review
- ☐ Lot Line Adjustment
- ☐ Non-Conforming Use Review
- ☐ Natural Resource (NROD) Verification
- ☐ Site Plan and Design Review
- ☐ Extension of Approval

Type II (OCMC 17.50.030.B)

- ☐ Detailed Development Review
- ☐ Geotechnical Hazards
- ☐ Minor Partition (<4 lots)
- ☐ Minor Site Plan & Design Review
- ☐ Non-Conforming Use Review
- ☐ Site Plan and Design Review
- ☐ Subdivision (4+ lots)
- ☐ Minor Variance
- ☐ Natural Resource (NROD) Review

Type III / IV (OCMC 17.50.030.C)

- ☐ Annexation
- ☐ Code Interpretation / Similar Use
- ☐ Concept Development Plan
- ☐ Conditional Use
- ☐ Comprehensive Plan Amendment (Text/Map)
- ☐ Detailed Development Plan
- ☒ Historic Review
- ☐ Municipal Code Amendment
- ☐ Variance
- ☐ Zone Change

File Number(s): GLUA-20-00043 / HR-20-00009

Proposed Land Use or Activity: New single family residence.

Project Name: _____ Number of Lots Proposed (If Applicable): _____

Physical Address of Site: 616 4th Ave, Oregon City

Clackamas County Map and Tax Lot Number(s): _____

Applicant(s):

Applicant(s) Signature: [Signature]

Applicant(s) Name Printed: Levy Moroshan Date: 9/28/2020

Mailing Address: 6420 SE Mabel Ave, Milwaukie, OR 97267

Phone: (503) 804-2279 Fax: _____ Email: levy.moroshan@me.com

Property Owner(s):

Property Owner(s) Signature: [Signature]

Property Owner(s) Name Printed: Clifford C. Stephens Date: 10/9/20

Mailing Address: 333 SE 65th Ave Portland, OR 97215

Phone: (503) 961-4295 Fax: none Email: CZRS@comcast.net

Representative(s):

Representative(s) Signature: _____

Representative (s) Name Printed: _____ Date: _____

Mailing Address: _____

Phone: _____ Fax: _____ Email: _____

All signatures represented must have the full legal capacity and hereby authorize the filing of this application and certify that the information and exhibits herewith are correct and indicate the parties willingness to comply with all code requirements.

HISTORICAL REVIEW

NARRATIVE

I plan on building a single family residence at 616 4th Ave. It'll be the first of 4 total homes I plan to build there. I've already had the surveyors, Centerline Concepts, split the property into the individual lots and get that recorded. Taking all the suggestions and feedback from the previous HRB meetings my architect and I have come with with a design that should work nicely. Of course we made sure to keep in accordance with the guidelines of the area. This will not only add value to the area by removing the old dilapidated house that's there now but also bringing in revenue from utilities and property taxes. Also we'd be making improvements to the access and bringing utilities to each lot. The house will have the look and feel of those around it and strictly adhere to design cues of the period.

MATERIAL

Color - Off white trim, grey/blue body and brown on the gables.

Siding - Hardi lap siding up to the bottom of the roof line and then the gables will have Hardi shake style boards.

Exterior doors - Wood door with windows on top.

Windows - Fiberglass windows in the double hung and casement style.

Roof - Dark grey 30 yr architectural style.

Porch - Wood railings to match other in the neighborhood with wood deck. No gaps or spacing.

Colors Shown

BODY		TRIM	
ACCENT		ACCENT 2	
SW 0032		SW 0050	
Needlepoint Navy		Classic Light Buff	
SW 2853		SW 0045	
New Colonial Yellow		Antiquarian Brown	



HARDIEPLANK® LAP SIDING
SELECT CEDARMILL®
 Our natural cedar look has a soft texture that mimics wood.



HARDIESHINGLE® SIDING
STRAIGHT EDGE PANEL
 A clean-lined shingle can soften contemporary-looking designs or add refinement to rustic styles. Make your selection from our Statement Collection products or Dream Collection products.



TYPE III –HISTORIC REVIEW BOARD SUBMITTAL
10/06/2020

APPLICANT: Levy Moroshan
6420 SE Mabel Ave, Milwaukie OR 97267

OWNER: Clifford Stephens
333 SE 65th Ave, Portland OR

REQUEST: Construction of new single family residence

LOCATION: 616 4th Ave, Oregon City OR 97045
3-1E-01AA-02500

I. BACKGROUND:

- 1. Existing Conditions** There's currently a house their but we already got the approval to demo.
- 2. Project Description** We're proposing to build a new single family residence there. The first of 4 new homes.

CODE RESPONSES:

17.40.060 - Exterior alteration and new construction.

- A. Except as provided pursuant to subsection I of this section, no person shall alter any historic site in such a manner as to affect its exterior appearance, nor shall there be any new construction in an historic district, conservation district, historic corridor, or on a landmark site, unless a certificate of appropriateness has previously been issued by the historic review board. Any building addition that is thirty percent or more in area of the historic building (be it individual or cumulative) shall be considered new construction in a district. Further, no major public improvements shall be made in the district unless approved by the board and given a certificate of appropriateness.*
- B. Application for such a certificate shall be made to the planning staff and shall be referred to the historic review board. The application shall be in such form and detail as the board prescribes.*
- C. Archeological Monitoring Recommendation. For all projects that will involve ground disturbance, the applicant shall provide,*
 - 1. A letter or email from the Oregon State Historic Preservation Office Archaeological Division indicating the level of recommended archeological monitoring on-site, or demonstrate that the applicant had notified the Oregon State Historic Preservation Office and that the Oregon State Historic Preservation Office had not commented within forty-five days of notification by the applicant; and*

2. *A letter or email from the applicable tribal cultural resource representative of the Confederated Tribes of the Grand Ronde, Confederated Tribes of the Siletz, Confederated Tribes of the Umatilla, Confederated Tribes of the Warm Springs and the Confederated Tribes of the Yakama Nation indicating the level of recommended archeological monitoring on-site, or demonstrate that the applicant had notified the applicable tribal cultural resource representative and that the applicable tribal cultural resource representative had not commented within forty-five days of notification by the applicant.*

If, after forty-five days notice from the applicant, the Oregon State Historic Preservation Office or the applicable tribal cultural resource representative fails to provide comment, the city will not require the letter or email as part of the completeness review. For the purpose of this section, ground disturbance is defined as the movement of native soils.

D. [1.] The historic review board, after notice and public hearing held pursuant to Chapter 17.50, shall approve the issuance, approve the issuance with conditions or disapprove issuance of the certificate of appropriateness.

F. For construction of new structures in an historic or conservation district, or on an historic site, the criteria to be used by the board in reaching its decision on the certificate of appropriateness shall include the following:

1. *The purpose of the historic conservation district as set forth in Section 17.40.010;*
2. *The provisions of the city comprehensive plan;*
3. *The economic effect of the new proposed structure on the historic value of the district or historic site;*
4. *The effect of the proposed new structure on the historic value of the district or historic site;*
5. *The general compatibility of the exterior design, arrangement, proportion, detail, scale, color, texture and materials proposed to be used in the construction of the new building or structure;*
Applicant response: I worked closely with my architect (who's designed other homes in the area) and taken into consideration all the advice and suggestions given to me by the HRD to keep in line with the look and historical appearance of the new house.
6. *Economic, social, environmental and energy consequences;*
7. *Design guidelines adopted by the historic review board.*

Design Guidelines for New Construction - Canemah

1. STYLE

New construction shall complement one of these styles to support the historic context. Use of other styles dilutes and distracts from the historic context of the district.

While there may be several styles dominant within the district, the specific choice of a style shall be compatible with adjacent properties, the block, and the neighborhood. It also must be fitting for the particular function of the building and its size.

Applicant response: We decided to go with the vernacular design since the neighbor has the same style. The look will fit nicely with the surrounding houses and work well with the lot.

2. SITE

Siting principles involve both how the site is used and how the building(s) is placed within the site. The specific lot location and its topography can dictate many requirements.

Residential buildings are to face the street squarely with their primary face in full view, and to be set back from lot lines and be spaced from one another similar to the immediate neighborhood. The primary structure is to be placed in the primary position with accessory structures in a service or ancillary position except where topography is an issue. Yard area between the house and street to primarily be planted with minimal paving only for pedestrian access and for vehicle movement. More private activity spaces to be located at the less public areas of the site.

SITE CHARACTERISTICS OF THE VERNACULAR STYLE IN CANEMAH

- No uniform front setback; South of 3rd Street: houses may face front or side depending on topography.
- Lots range from 50x100 to 100x100 and contain a single house.
- Properties edges often not defined; Where fenced, primarily picket or low slat at front with side or partial returns.
- Planting: South of 3rd Street: forest setting, native and ornamental plantings form visual screen and sense of privacy; Elsewhere on the more level portions: lawn and planted area around buildings.
- House Placement: to suit the existing topography and most level lot portion especially south of 3rd Street.
- Retaining walls: stone, mortared or stacked basalt, or concrete south of 3rd Street, especially in proximity with street.
- Garages: Not found historically; informal graveled or paved parking next to street or along house; New garages to be located along side or behind house. Where topography is a concern, locate garage offset from building primary façade, close to street with direct access.
- Accessory Buildings: detached, behind along side of house and located to allow use of particular function.
- Streets: South of 3rd Street: narrow, without curbs or sidewalks; casual pedestrian paths and connecting stairs are encouraged.

Applicant Response: The new house meets all the above requirements. We will have a detached garage in the back. Partially hidden from the street. The part that's visible will have windows to match the house and fit with the historical look.

3. BUILDING FORM

Address the overall size, shape and bulk of the building. The architectural style used for the building defines many aspects of its appropriate form and proportions. Excessive variation in the size, shape, or configuration creates an inappropriate solution that is stylistically incorrect and not complementary to the district. The building form needs to relate to the buildings in the immediate neighborhood, and to take into account both similarities and changes on the block. The new building form shall reference the principles, proportions and scale of an historically appropriate style.

BUILDING FORM CHARACTERISTICS OF THE VERNACULAR STYLE IN CANEMAH

- Form easily allows additions and alterations such as increases in family size, activities or changing technology; generally smaller in size than McLoughlin.
- Shape: rectangular in plan, with smaller rectangular combinations to primary form; Rectangular or square form reinforced on façade. L-plan, T-plan options.
- Height: Maximum 1 ½ stories in height; Basement option.
- Proportions: Height (eave) to maximum width: 1:1 Height to Depth: can vary greatly.
- Roof: gable, of not less than 8:12 pitch, 10:12 and steeper are preferred. No cross-gable roofs; Possible wing or addition with lower ridgeline that is perpendicular or is offset.

Applicant Response: As can be seen from the plans, the proposed house meets all the above requirements.

4. DESIGN COMPOSITION

Include a range of more detailed design issues that address groups of elements, individual elements, their design and how they relate to the overall composition and finish. The principles place a traditional emphasis on the design's composition as seen from the exterior, rather than as a result of interior functional planning requirements. They also outwardly convey a sense of quality craftsmanship. The design composition principles, being more detailed, and stylistically dependent, are typically developed after the previous principles are resolved. These principles also reflect historically appropriate materials, respective finishes, and unobtrusive integration of new technology.

DESIGN COMPOSITION CHARACTERISTICS OF THE VERNACULAR STYLE IN CANEMAH

- Lacks rigid system of exterior detailing that makes it a clearly definable architectural style; allows design flexibility and is inherently varied.
- Designed and built without assistance of a trained architect. Collaborative design evolved with homeowner and builder, based on familiar styles, features and products.
- Can combine features from other architectural styles popular during the historic period; simpler designs than McLoughlin.
- Porch: full or partial length at the front entry; if close to the ground, no railings; at main story only.
- Dormers: None.
- Materials: local, readily available.
- Windows: 1:1, double hung windows.
- Siding: horizontal board siding; typically shiplap, or channel; occasionally bevel.
- Ornament: Exterior decoration is modest, consisting of scroll-work brackets at the top of porch pillars, plain cornerboards and simple window trim. Most houses do not feature spindlework in the peaks of their gable roofs.
- Interior fireplaces and chimneys.

Applicant Response: As can be seen from the plans, the proposed house meets all the above requirements.

17.40.065 - Historic Preservation Incentives.

A. Purpose. Historic preservation incentives increase the potential for historically designated properties to be used, protected, renovated, and preserved. Incentives make preservation more attractive to owners of locally designated structures because they provide flexibility and economic opportunities.

B. Eligibility for Historic Preservation Incentives. All exterior alterations of designated structures and new construction in historic and conservation districts are eligible for historic preservation incentives if the exterior alteration or new construction has received a certificate of appropriateness from the Historic Review Board per OCMC 17.50.110(c).

C. Incentives Allowed. The dimensional standards of the underlying zone as well as for accessory buildings (OCMC 17.54.100) may be adjusted to allow for compatible development if the expansion or new construction is approved through historic design review.

D. Process. The applicant must request the incentive at the time of application to the Historic Review Board.

Applicant Response: I wasn't aware of any incentives for the construction of the house. If we do qualify I'd like more information on this.

ALSO

Relevant Character Guidelines:

Topography (see page 34 of Guidelines)

Landscaping (see page 34 of Guidelines)

Spacing (see page 36 of Guidelines)

Heights (see page 38 of Guidelines)
 Widths (see page 38 of Guidelines)
 Context Scale (see page 40 of Guidelines)
 Volume (see page 40 of Guidelines)
 Proportion (see page 44 of Guidelines)
 Porches (see page 46 of Guidelines)
 Dormers (see page 47 of Guidelines)
 Foundations (see page 56 of Guidelines)
 Windows (see page 63 of Guidelines)

Staff will review your application based on these guidelines. If you propose anything that does not meet these character guidelines, please include an explanation in your application of how your design differs and why you think it is still compatible with the District.

Chapter 17.12 R-6 Single-Family Dwelling District

17.12.020 - Permitted uses.

Permitted uses in the R-6 district are:

- A. Single-family detached residential units;
- B. Parks, playgrounds, playfields and community or neighborhood centers;
- C. Home occupations;
- D. Farms, commercial or truck gardening and horticultural nurseries on a lot not less than twenty thousand square feet in area (retail sales of materials grown on-site is permitted);
- E. Temporary real estate offices in model homes located on and limited to sales of real estate on a single piece of platted property upon which new residential buildings are being constructed;
- F. Accessory uses, buildings and dwellings;
- G. Family day care provider, subject to the provisions of Section 17.54.050;
- H. Residential home per ORS 443.400;
- I. Cottage housing;
- J. Transportation facilities.

Applicant Response: This will be a single family residence detached from the garage.

17.12.030 - Conditional uses.

The following conditional uses are permitted in this district when authorized by and in accordance with the standards contained in Chapter 17.56:

- A. Golf courses, except miniature golf courses, driving ranges or similar commercial enterprises;
- B. Bed and breakfast inns/boarding houses;
- C. Cemeteries, crematories, mausoleums and columbariums;
- D. Child care centers and nursery schools;
- E. Emergency service facilities (police and fire), excluding correctional facilities;
- F. Residential care facility;
- G. Private and/or public educational or training facilities;
- H. Public utilities, including sub-stations (such as buildings, plants and other structures);
- I. Religious institutions.
- J. Assisted living facilities; nursing homes and group homes for over fifteen patients.

Applicant Response: None of these apply to what we're proposing.

17.12.035 - Prohibited uses.

Prohibited uses in the R-8 district are:

- A. Any use not expressly listed in Section 17.12.020 or 17.12.030.
- B. Marijuana businesses.

Applicant Response:

17.12.040 - Dimensional standards.

Dimensional standards in the R-6 district are:

- A. Minimum lot areas, six thousand square feet;
- B. Minimum lot width, fifty feet;
- C. Minimum lot depth, seventy feet;

Applicant Response: N/A

- D. Maximum building height, two and one-half stories, not to exceed thirty-five feet;

Applicant Response: We meet this requirement.

- E. Minimum required setbacks:

- 1. Front yard, ten feet minimum setback,
- 2. Front porch, five feet minimum setback,
- 3. Attached and detached garage, twenty feet minimum setback from the public right-of-way where access is taken, except for alleys. Detached garages on an alley shall be setback a minimum of five feet in residential areas.
- 4. Interior side yard, nine feet minimum setback for at least one side yard; five feet minimum setback for the other side yard,
- 5. Corner side yard, fifteen feet minimum setback,
- 6. Rear yard, twenty feet minimum setback,
- 7. Rear porch, fifteen feet minimum setback.

Applicant Response: We meet these requirements.

- F. Garage standards: See Chapter 17.20—Residential Design and Landscaping Standards.

Applicant Response: We proposed a detached garage to have the same style and look as the house.

- G. Maximum lot coverage: The footprint of all structures two hundred square feet or greater shall cover a maximum of forty percent of the lot area.

Applicant Response: We meet this requirement

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REGISTERED ARCHITECT
#6027
JEREMY SPURGIN
PORTLAND, OR
STATE OF OREGON

DWELLING PRO RESIDENCE

Revisions:		
No.	Date	Description

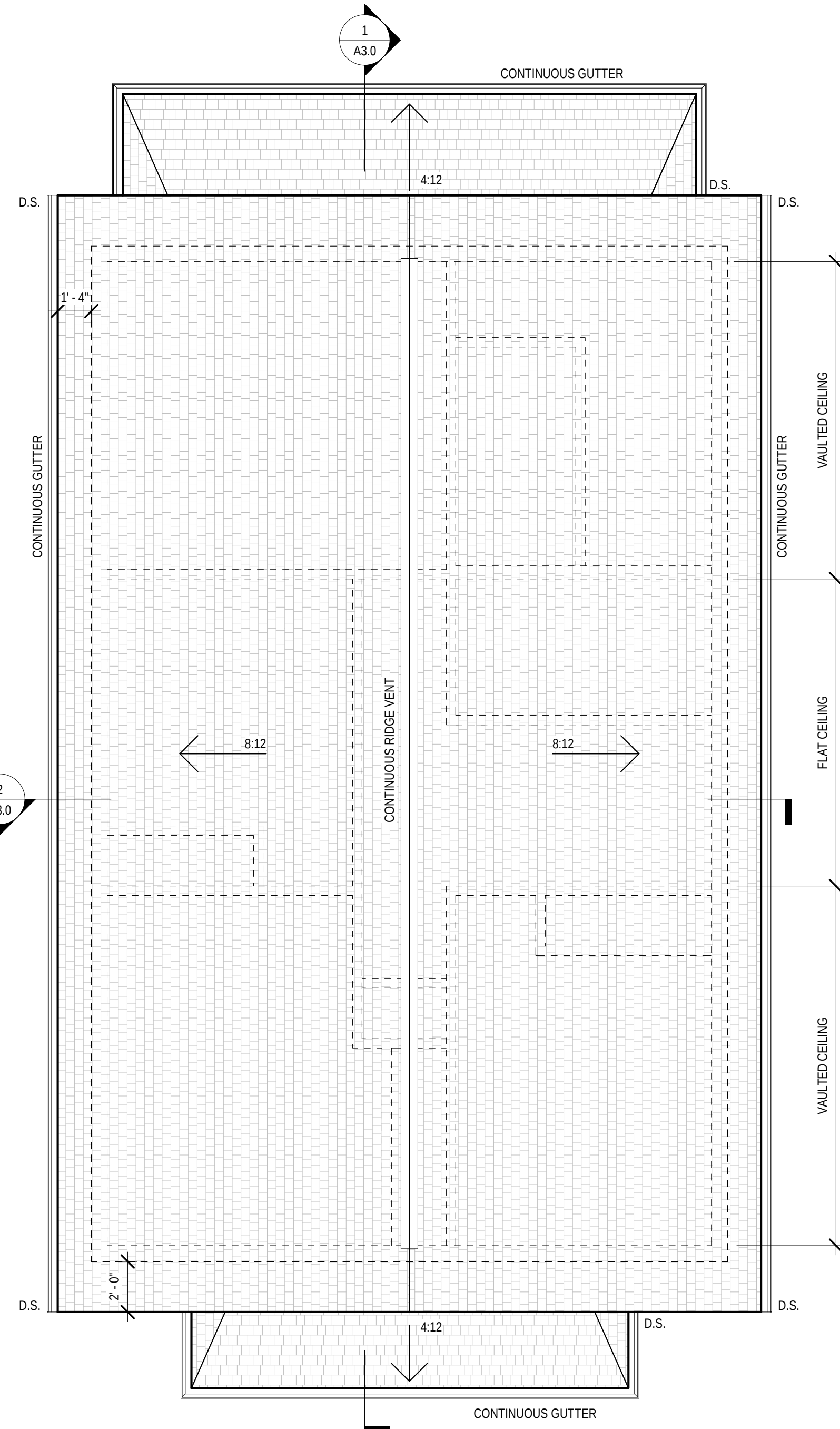
Project # 20002

T1.0

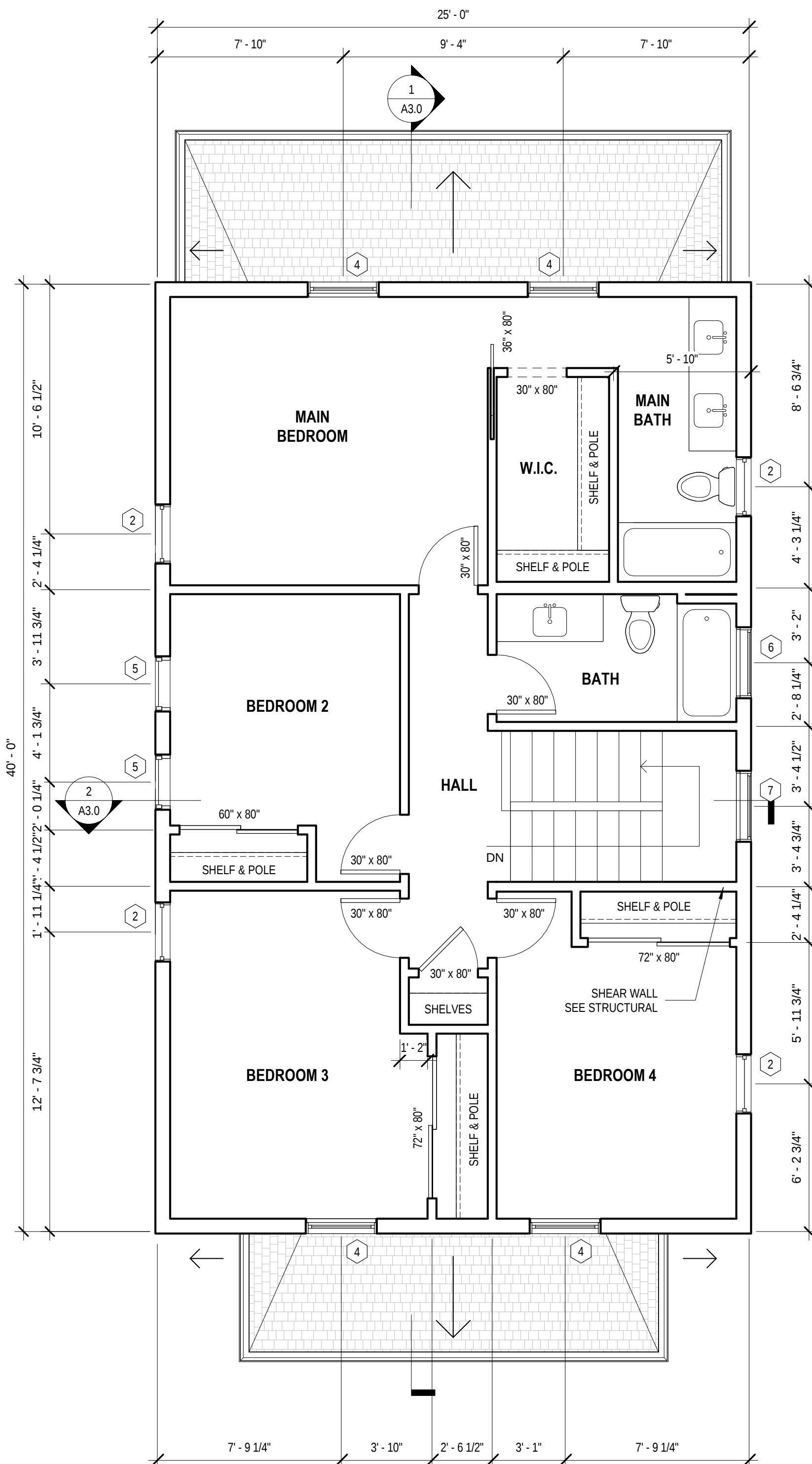
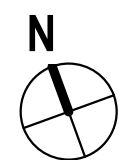
Date: 09.11.2020

Page 37

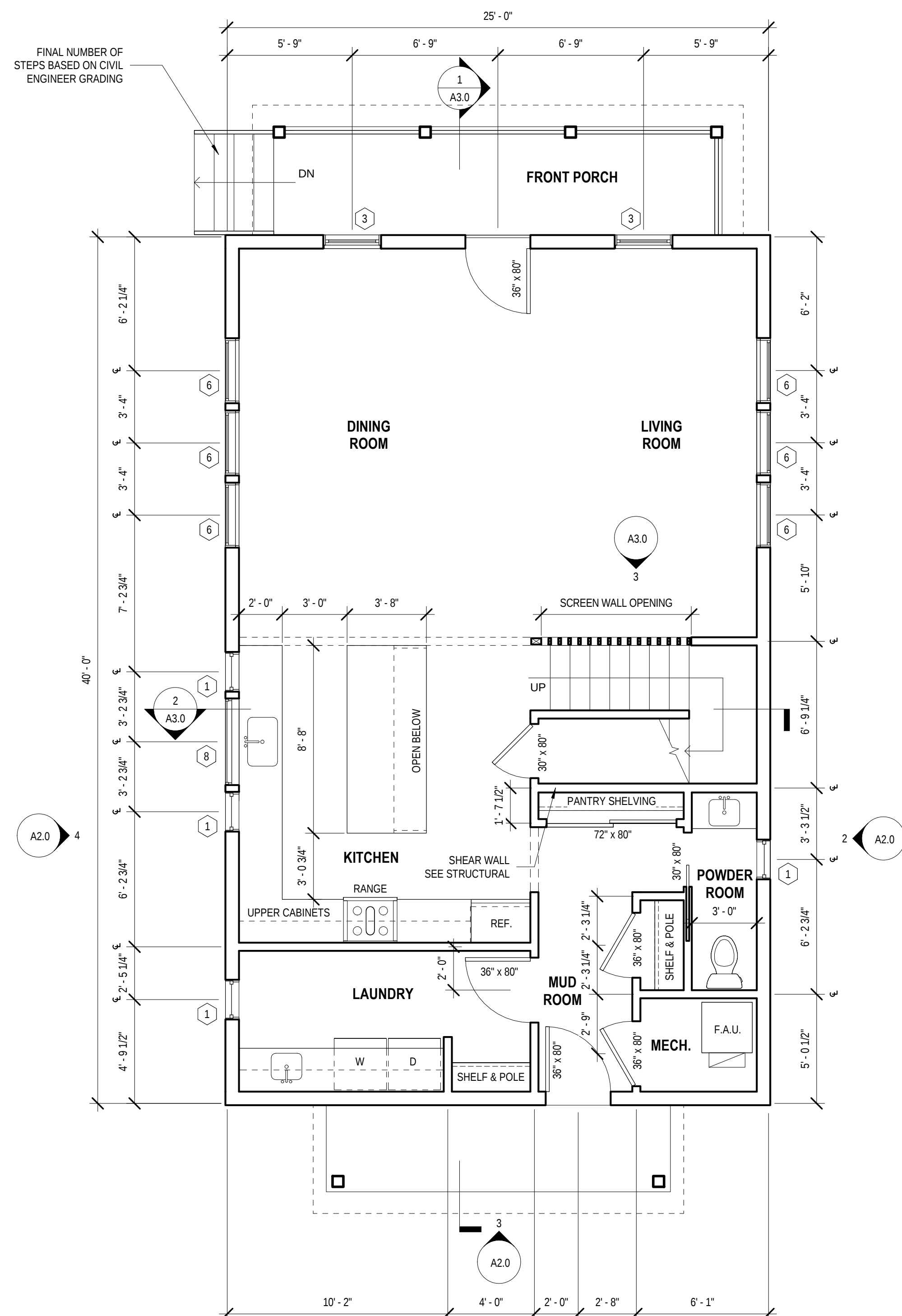
LEVY MOROSHAN
(503) 804-2279
levymoroshan@me.com



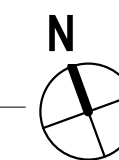
3 ROOF PLAN
1/4" = 1'-0"



2 UPPER LEVEL
1/4" = 1'-0"



1 MAIN LEVEL
1/4" = 1'-0"





DWELLING PRO RESIDENCE
616 4TH AVE
OREGON CITY, OR, 97045

Revisions:		
No.	Date	Description

PERMIT SET

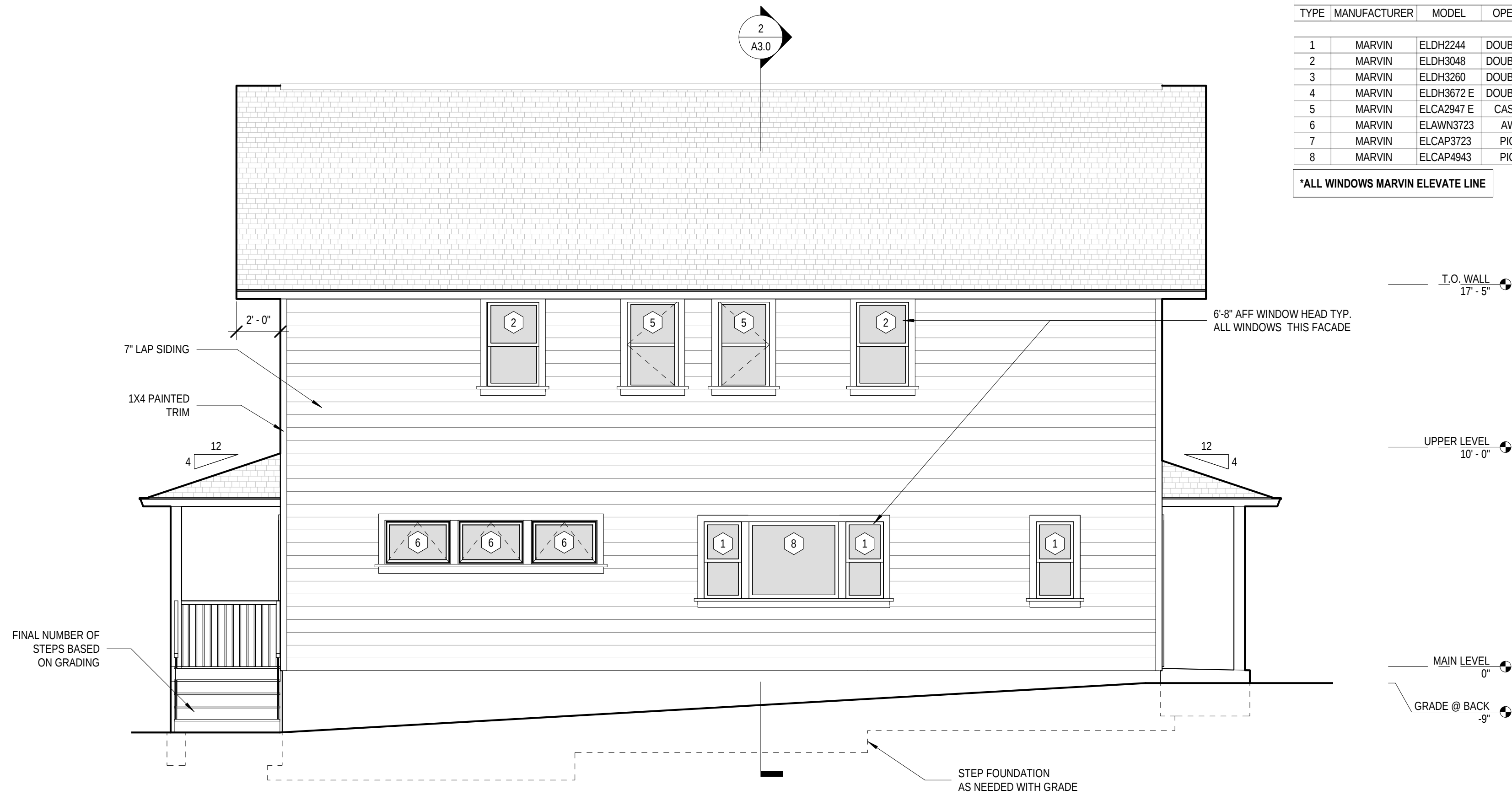
Project # 20002

HOUSE
ELEVATIONS
A2.0

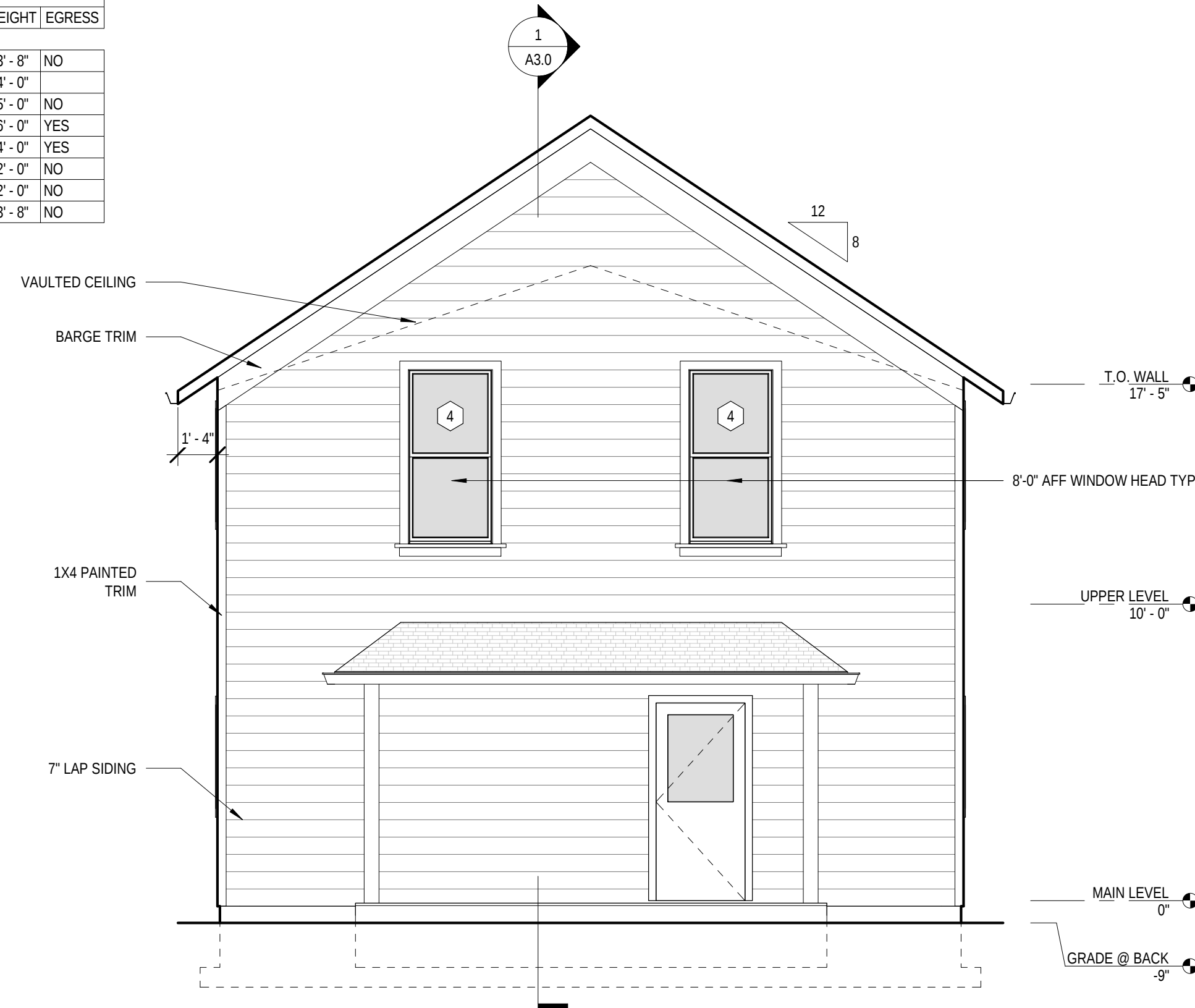
Date: 09.11.2020

WINDOW SCHEDULE						
				NOMINAL SIZES		
TYPE	MANUFACTURER	MODEL	OPERATION	COUNT	WIDTH	HEIGHT
1	MARVIN	ELDH2244	DOUBLE HUNG	4	1'-10"	3'-8"
2	MARVIN	ELDH3048	DOUBLE HUNG	5	2'-6"	4'-0"
3	MARVIN	ELDH3260	DOUBLE HUNG	2	2'-8"	5'-0"
4	MARVIN	ELDH3672 E	DOUBLE HUNG	4	3'-0"	6'-0"
5	MARVIN	ELCA2847 E	CASEMENT	2	2'-4"	4'-0"
6	MARVIN	ELAWN3723	AWNING	10	3'-0"	2'-0"
7	MARVIN	ELCAP3723	PICTURE	1	3'-0"	2'-0"
8	MARVIN	ELCAP4943	PICTURE	1	4'-0"	3'-8"

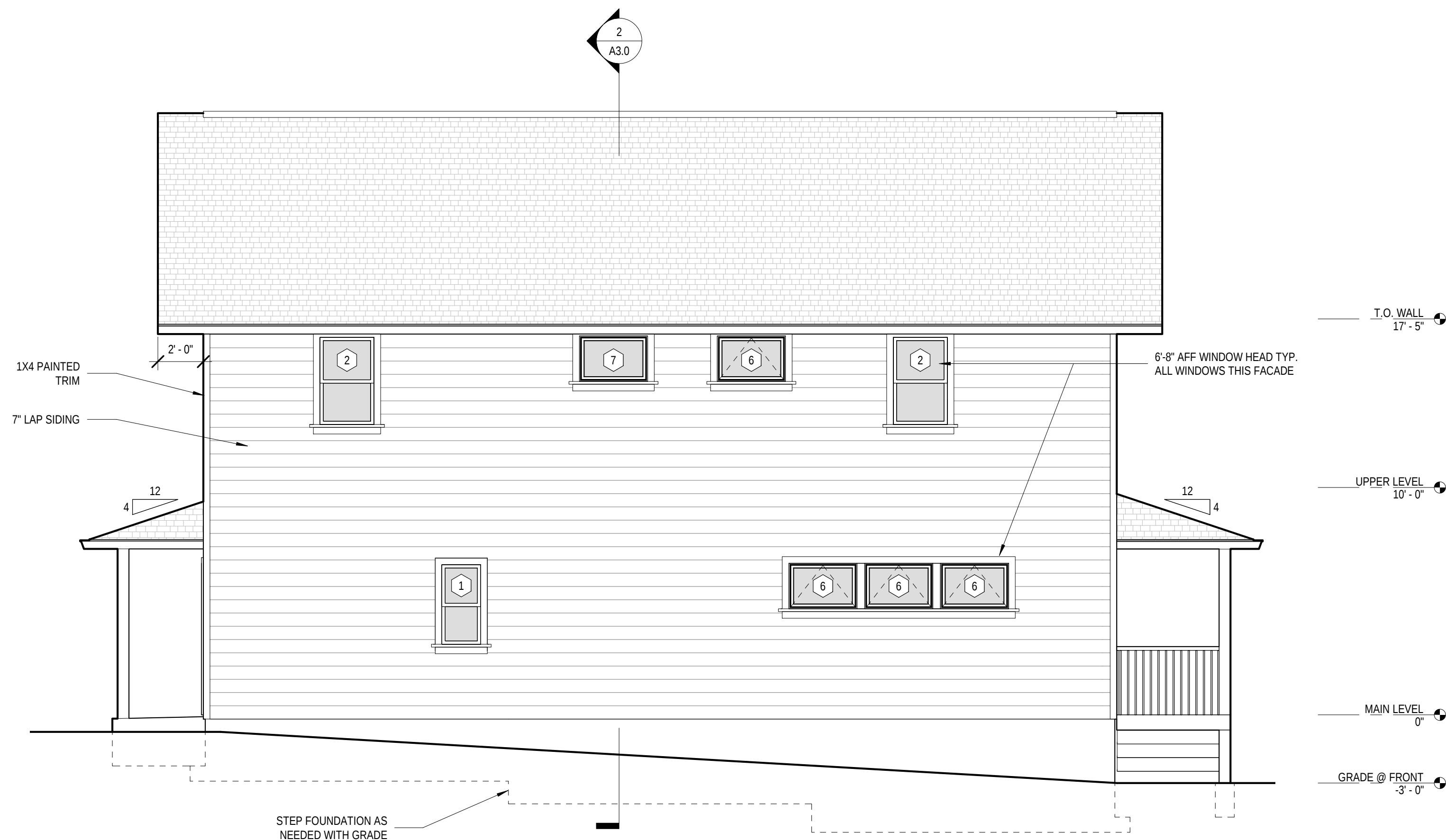
*ALL WINDOWS MARVIN ELEVATE LINE



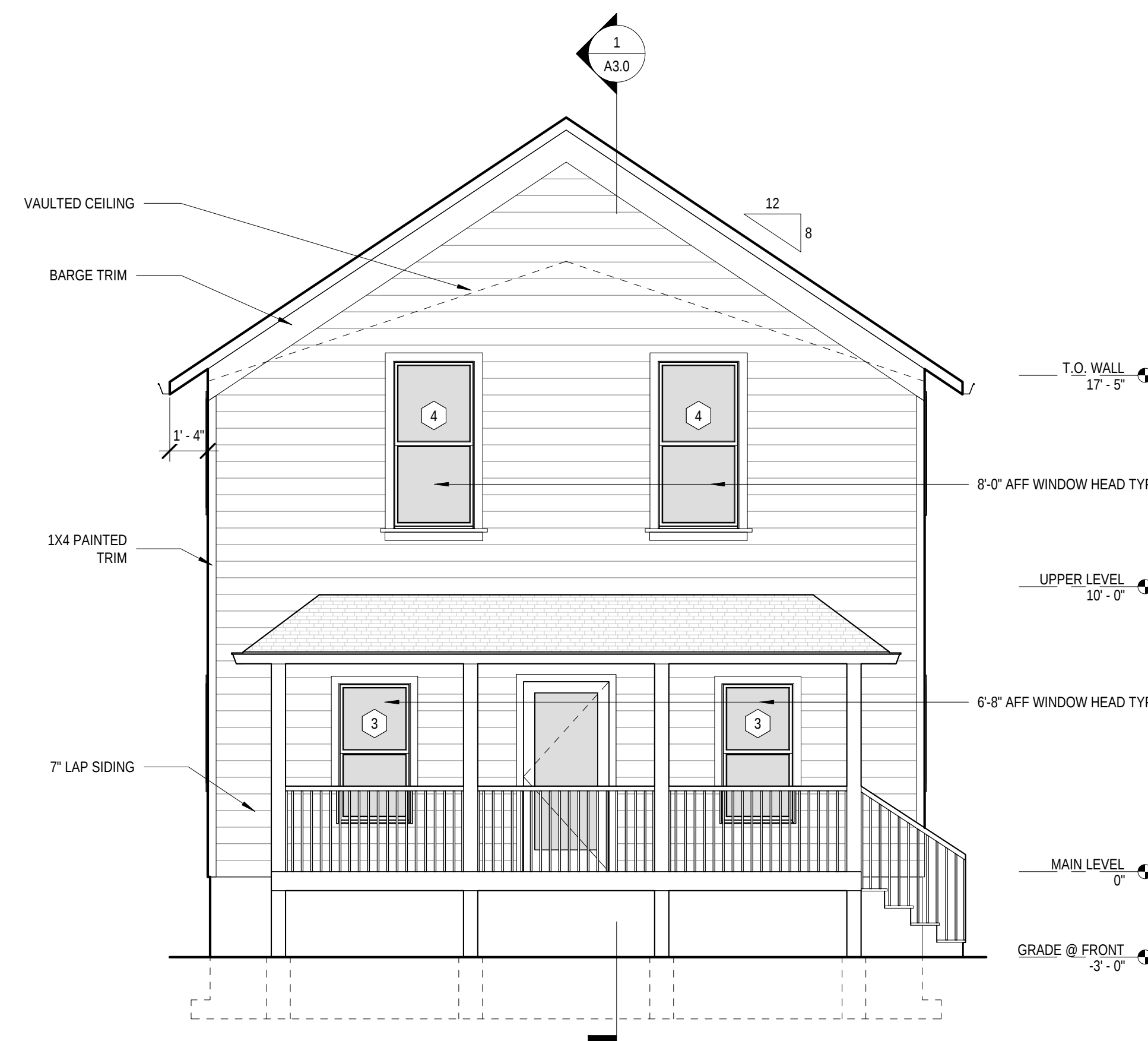
4 EAST ELEVATION
1/4" = 1'-0"



3 NORTH ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"



1 SOUTH ELEVATION
1/4" = 1'-0"



DWELLING PRO RESIDENCE
616 4TH AVE
OREGON CITY, OR, 97045

Revisions:		
No.	Date	Description

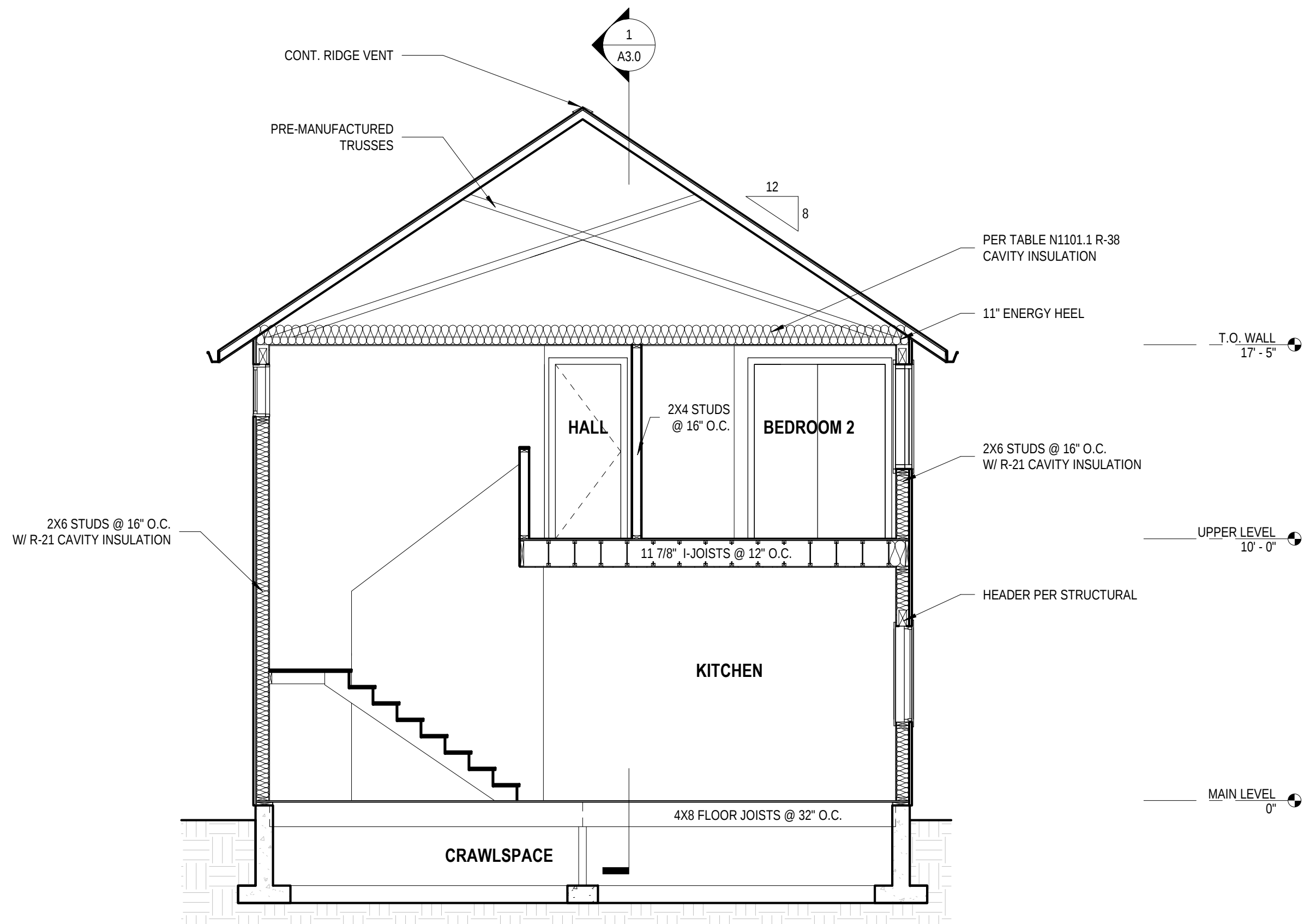
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Project # 20002

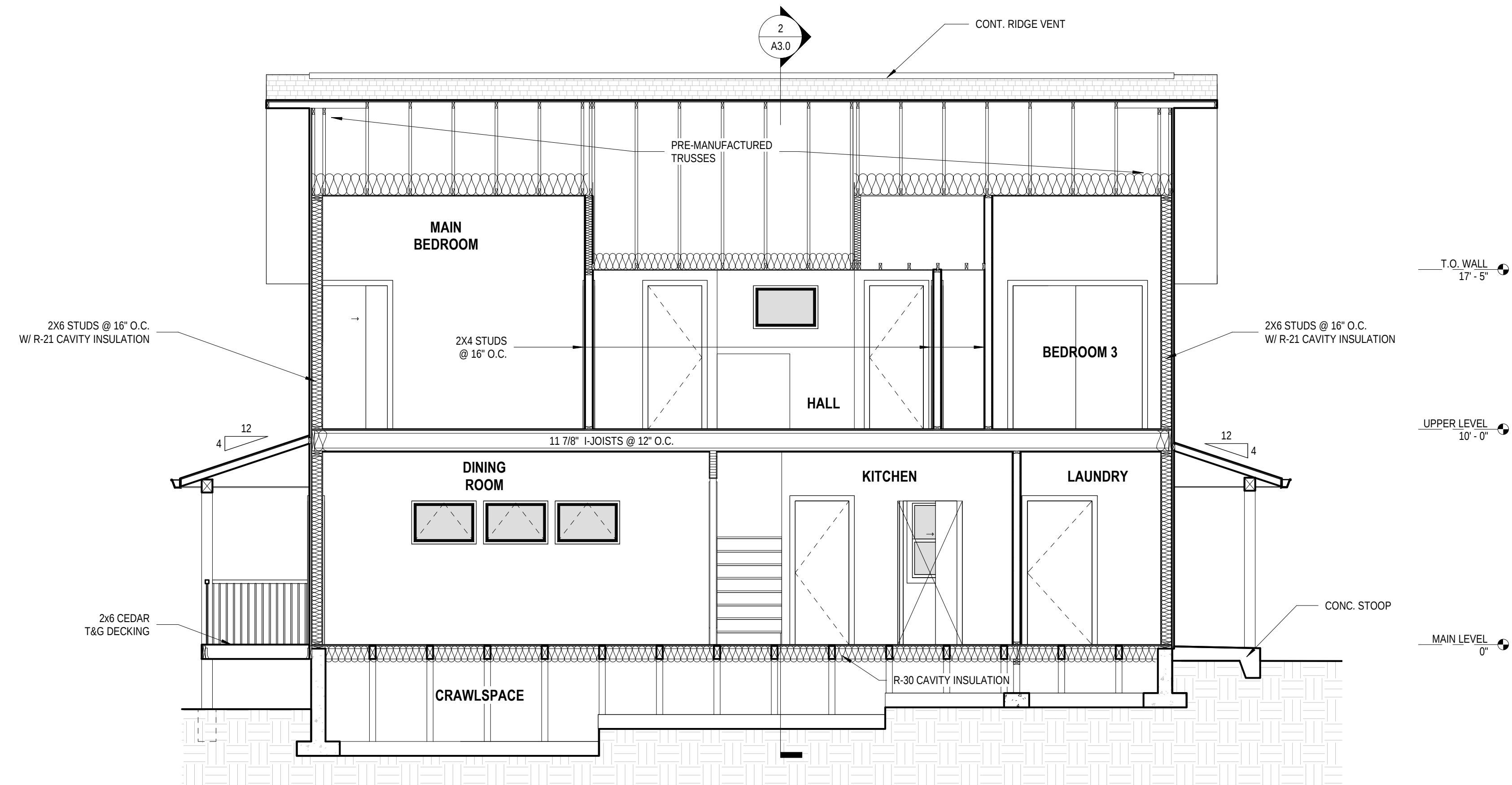
HOUSE SECTIONS

A3.0

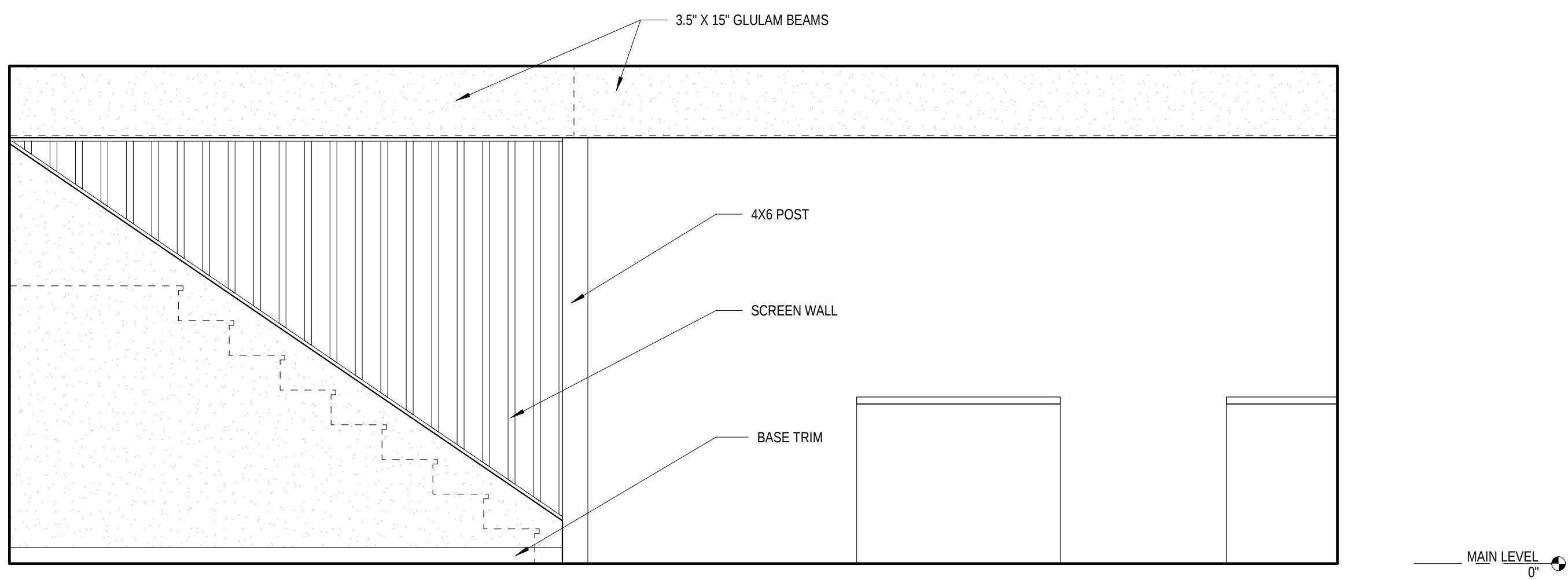
Date: 09.11.2020



2 SECTION E/W
1/4" = 1'-0"



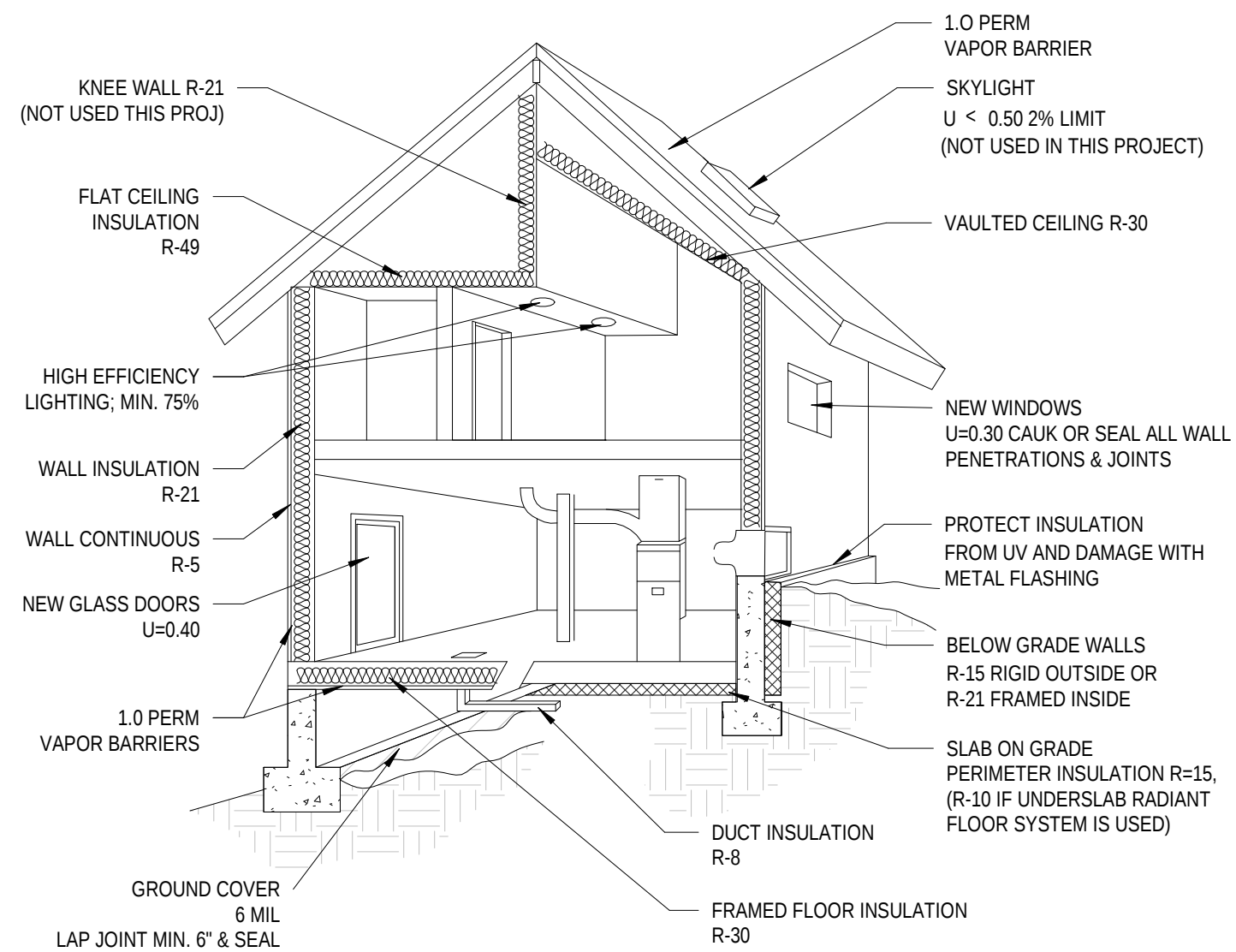
1 SECTION N/S
1/4" = 1'-0"



3 STAIR WALL ELEVATION
1/2" = 1'-0"

2017 OREGON RESIDENTIAL ENERGY CODE

THE DIAGRAM BELOW IS MEANT AS A GENERAL GUIDE TO ENERGY ENVELOPE FOR NEW CONSTRUCTION. SEE CHAPTER 11 OF THE 2017 ORSC FOR COMPLETE REQUIREMENTS.



ADDITIONAL MEASURES PER N1101.1(2) AS FOLLOWS:

SEC.A - 2. EXTERIOR WALLS-- U-0.057/R-23 INTERMEDIATE or R-21 ADVANCED, FRAMED FLOORS--U-0.026/R-38, and WINDOWS-- U-0.28 (AVERAGE UA)

SEC.B - A. HIGH EFFICIENCY HVAC SYSTEM:
94% AFUE GAS-FIRED FURNACE
(SEALED COMBUSTION AIR DUCTED DIRECTLY FROM OUTDOORS)

NEW BUILDING ASSEMBLIES GENERAL ENERGY REQUIREMENTS

- WINDOW U-FACTORS SHALL BE CERTIFIED THROUGH THE NATIONAL FENESTRATION RATING COUNCIL (NFR) CERTIFICATION PROGRAM OR HAVE EXEMPT LABELING.
- BATT-TYPE INSULATION SHALL BE INSTALLED FLUSH AGAINST THE WARM SIDE OF THE CAVITY, IN SO FAR AS PRACTICAL. RECESSED LIGHT FIXTURES MAY NOT BE INSTALLED IN INSULATED CAVITIES, UNLESS LISTED AS AIRTIGHT AND IC-RATED (DIRECT CONTACT WITH INSULATION).
- BELOW-GRADE WALLS SHALL BE INSULATED FROM BOTTOM OF ABOVE-GRADE SUBFLOOR DOWNWARD AND TO TOP OF BELOW-GRADE FINISHED FLOOR.
- WINDOW AND DOOR AIR LEAKAGE RATES SHALL MEET THE ASTM STANDARDS
- ALL EXTERIOR JOINTS AROUND WINDOWS, AROUND DOOR FRAMES, BETWEEN WALL AND FOUNDATION, BETWEEN WALL AND ROOF, AND OTHER OPENINGS IN THE EXTERIOR ENVELOPE SHALL BE SEALED IN A MANNER APPROVED BY THE BUILDING OFFICIAL.
- EXTERIOR ENVELOPE INSULATION SHALL HAVE VAPOR RETARDERS INSTALLED ON THE WARM SIDE (IN WINTER) WITH A 1-PERM DRY CUP RATING OR LESS.
- AN APPROVED GROUND COVER FOR NEW BUILDINGS WHEN INSULATION IS INSTALLED.
- ALL HEATING, VENTILATING, AND AIR CONDITIONING SYSTEMS SHALL BE PROVIDED WITH PROPER CONTROLS.
- ALL HOT WATER PIPING SHALL BE INSULATED PER TABLE N1106.1 OF THE 2011 ORSC.



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616 4TH AVE
OREGON CITY, OR, 97045

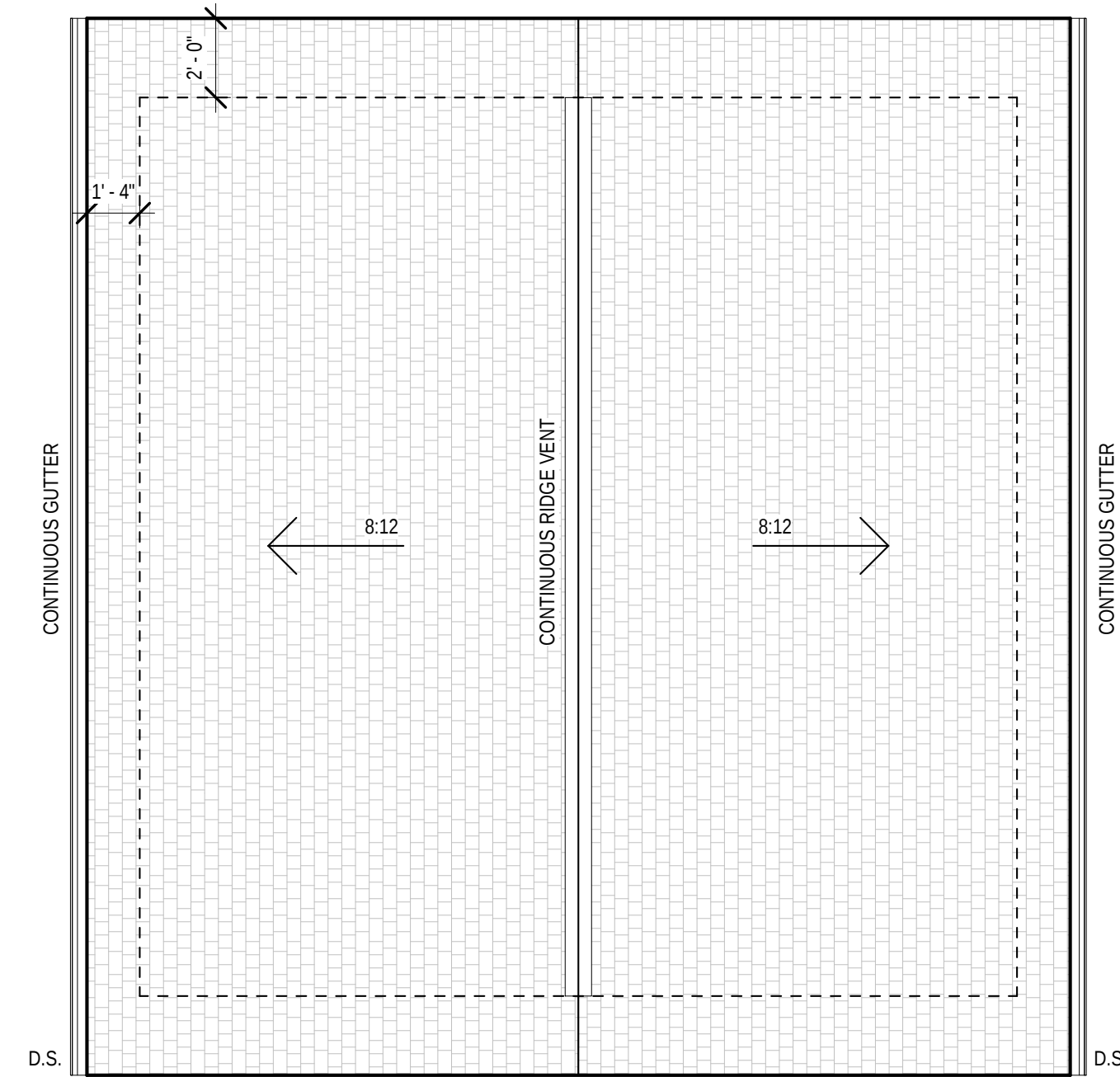
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No.	Date	Description

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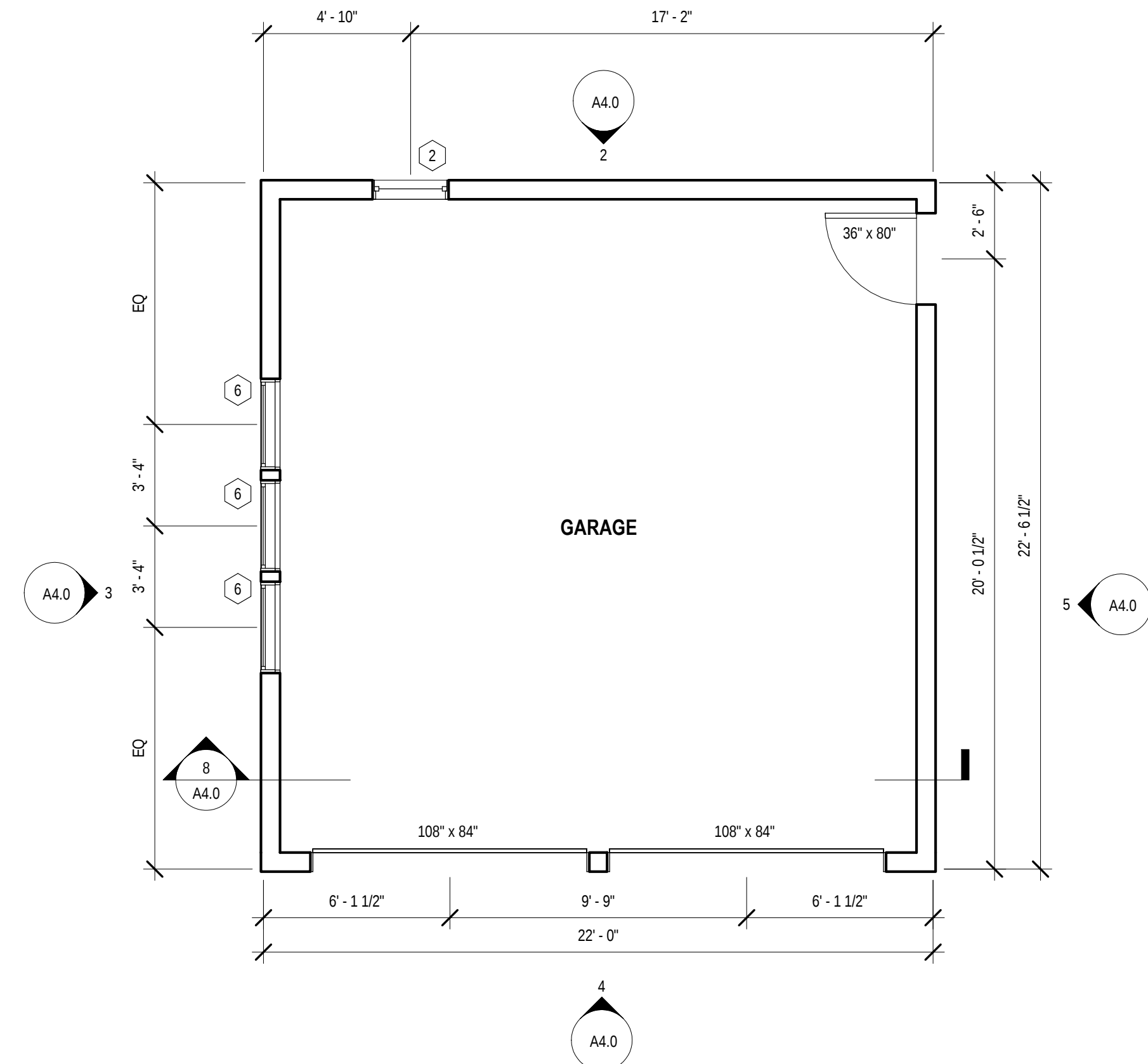
Project # 20002

GARAGE
DRAWINGS
A4.0

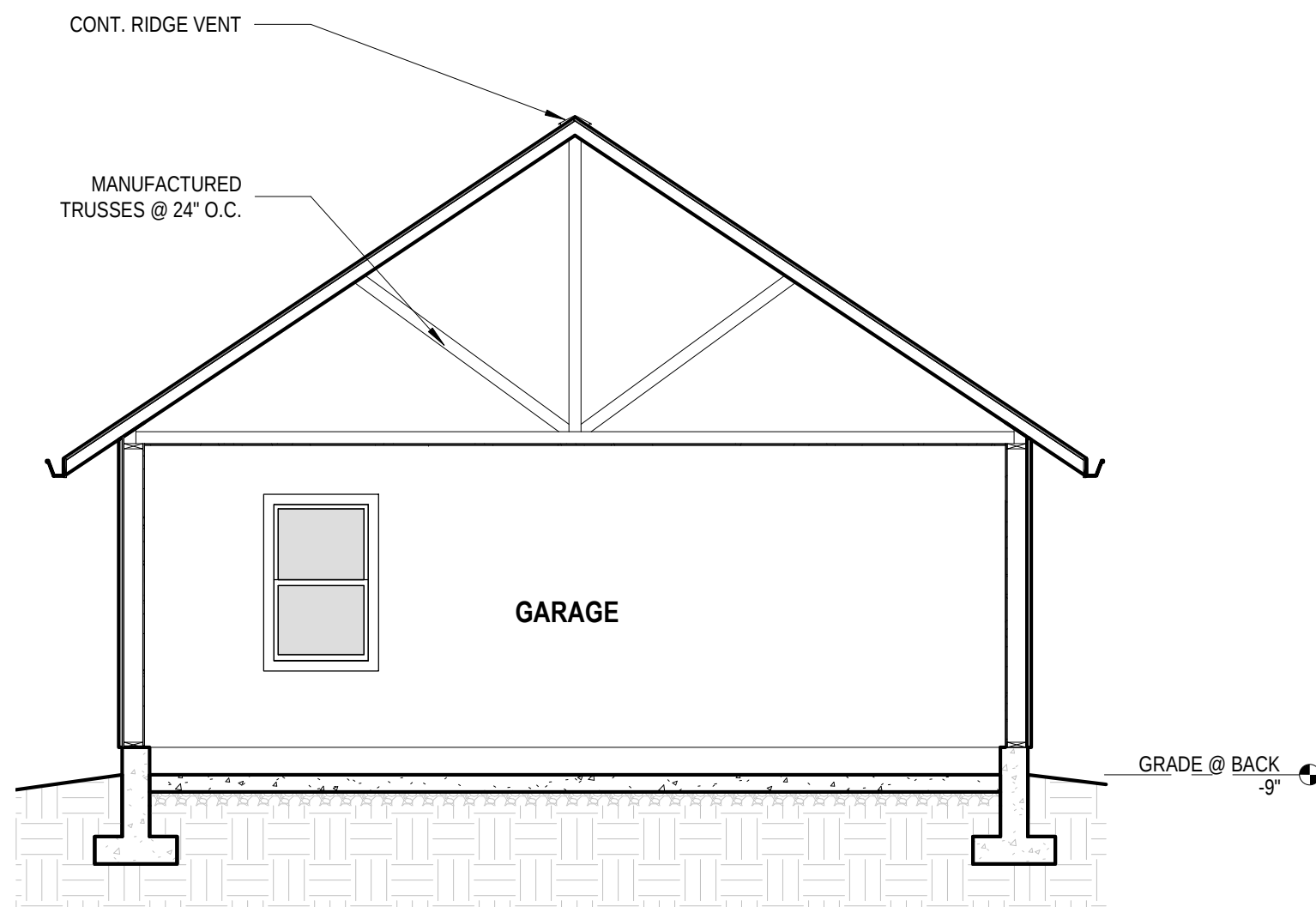
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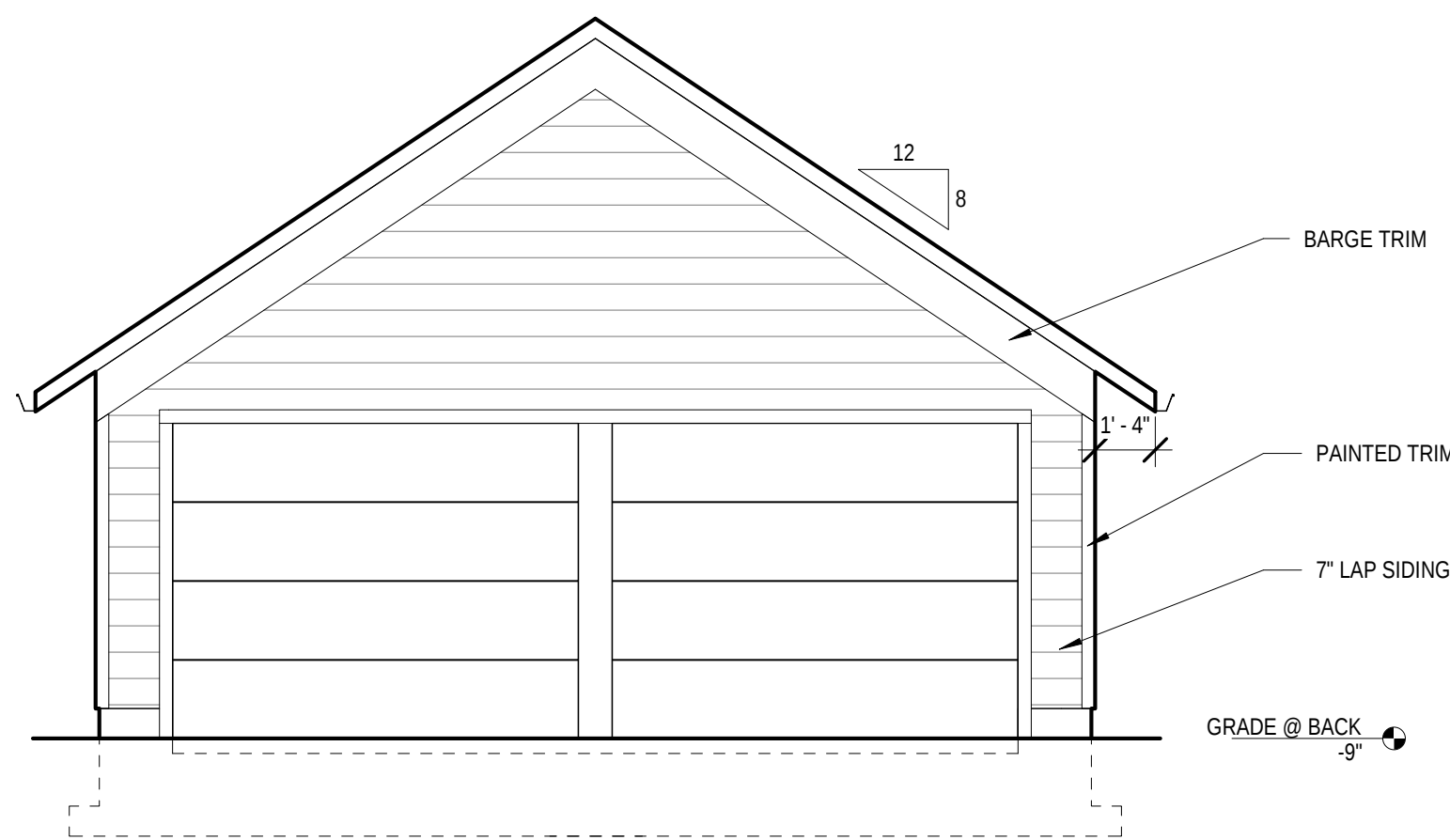
6 GARAGE ROOF PLAN
1/4" = 1'-0"



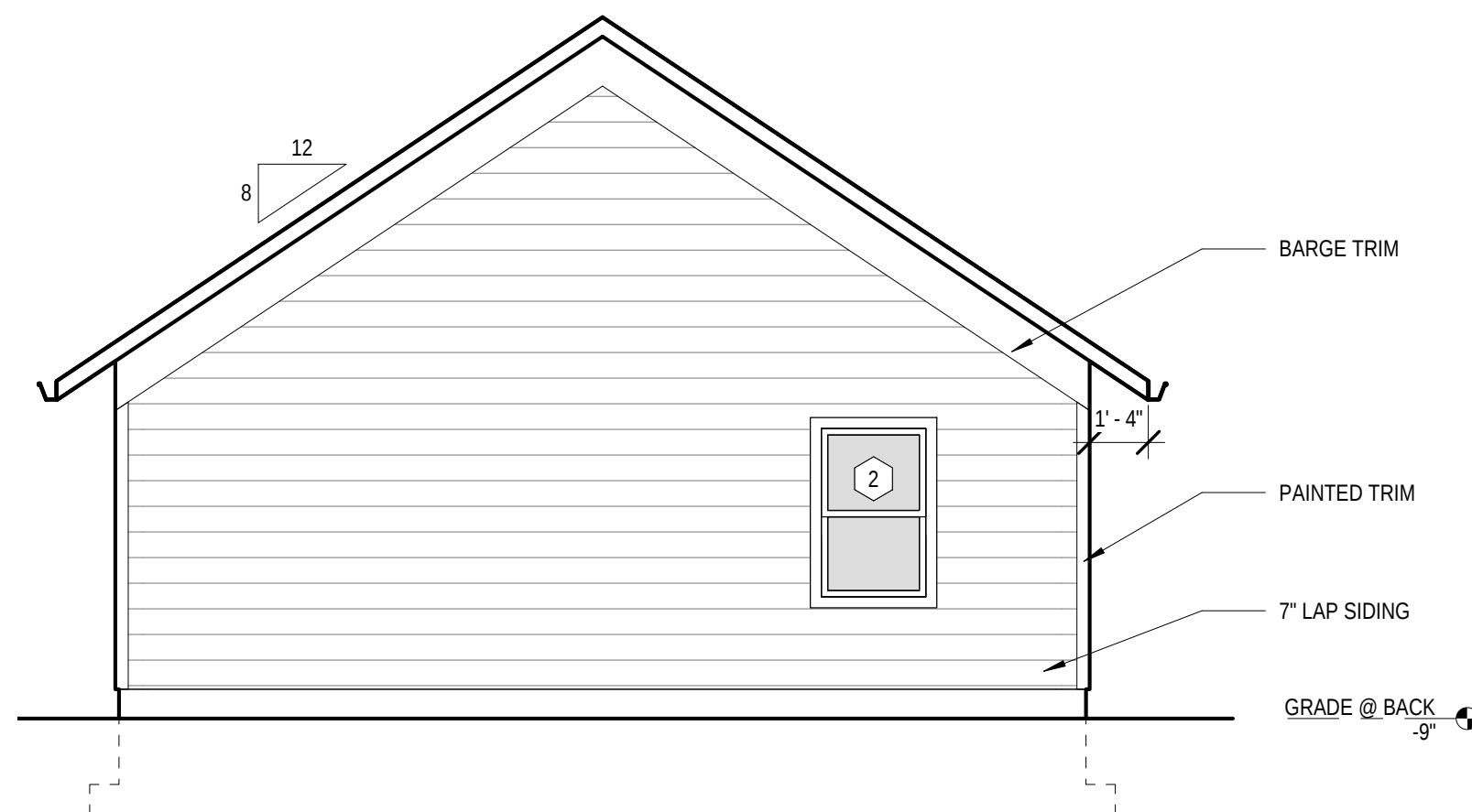
1 GARAGE PLAN
1/4" = 1'-0"



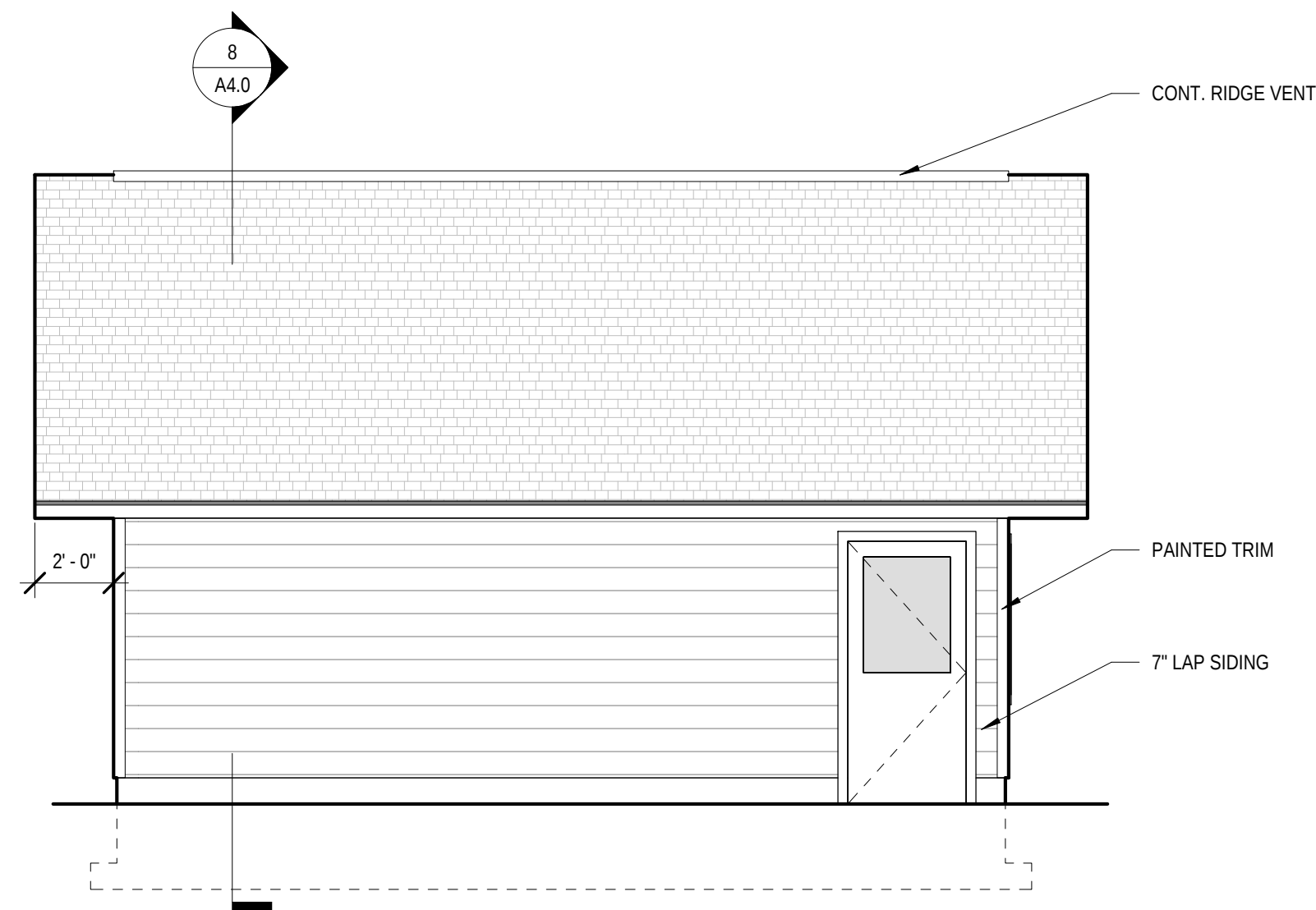
8 GARAGE SECTION E/W
1/4" = 1'-0"



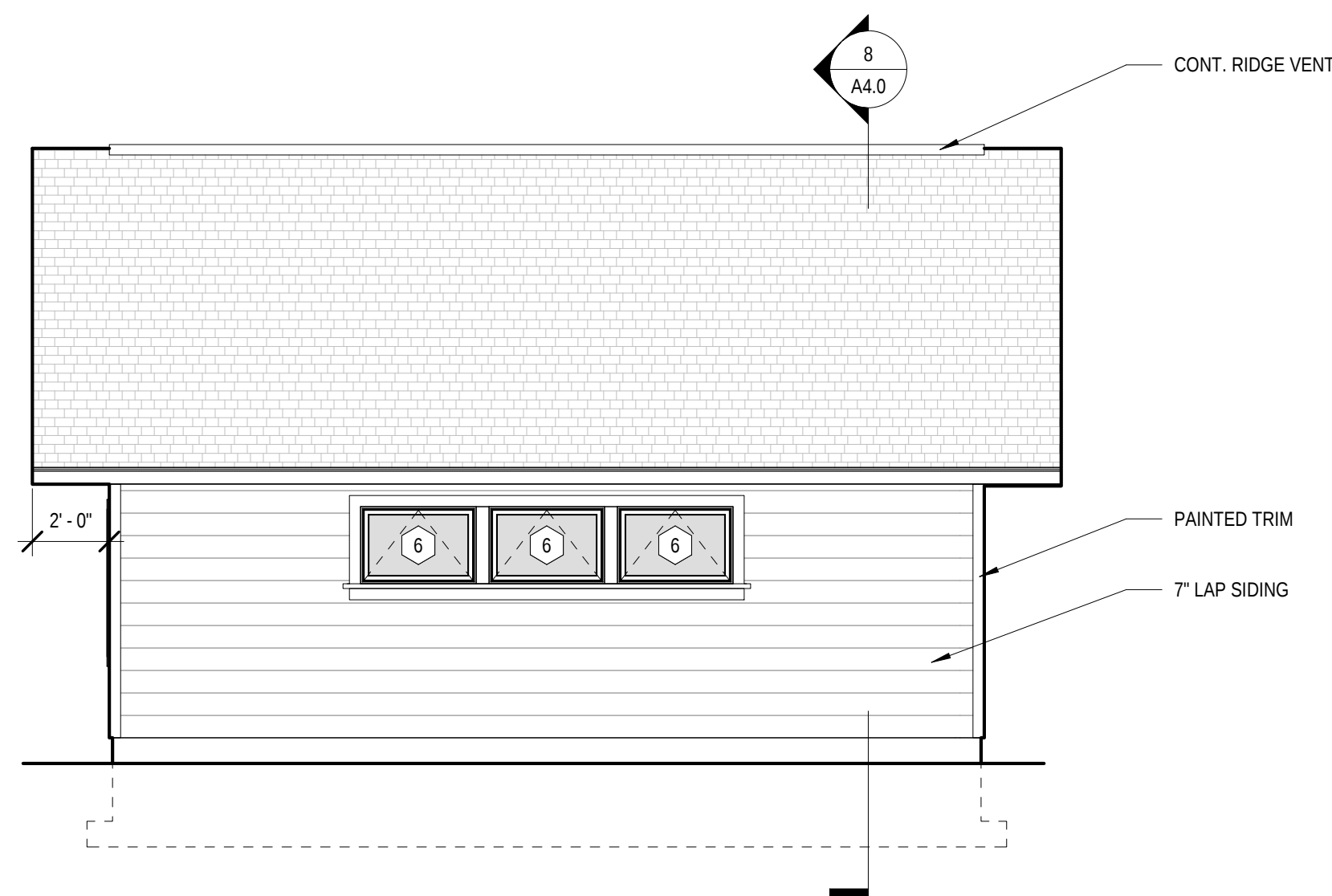
4 NORTH GARAGE ELEVATION
1/4" = 1'-0"



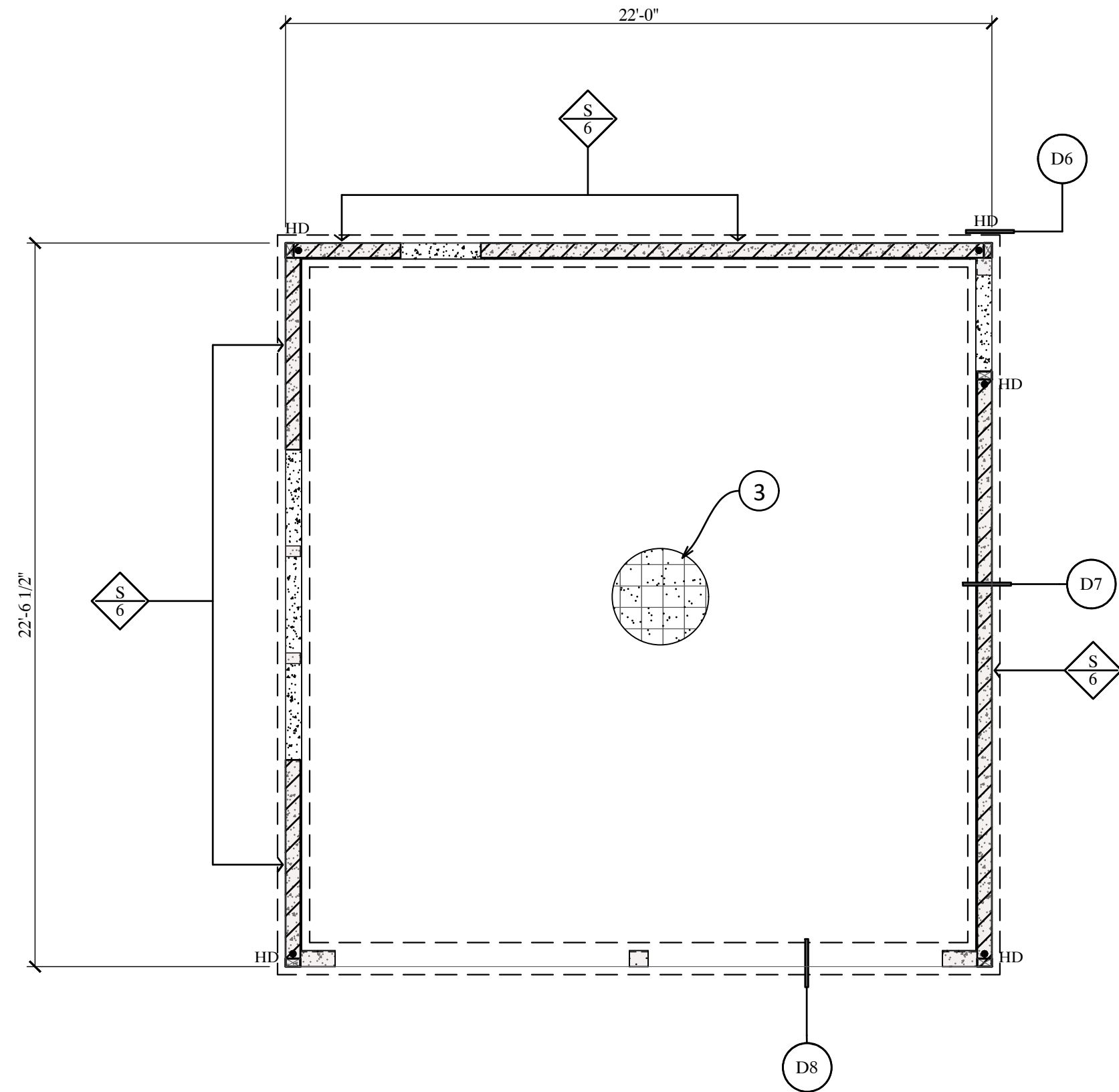
2 SOUTH GARAGE ELEVATION
1/4" = 1'-0"



5 EAST GARAGE ELEVATION
1/4" = 1'-0"



3 WEST GARAGE ELEVATION
1/4" = 1'-0"



2
S2 GARAGE FOUNDATION PLAN

ALL DETAILS AND CONDITIONS OF THE SAME TYPE ARE TYPICAL U.N.O.

Scale: 1/4"=1'-0"

FOOTING SCHEDULE - TYPICAL U.N.O.			
MARK	FTG SIZE	REINF.	CAPACITY
P1	18" X 18" X 10"	(2) #4 E.W.	3,300#
P2	24" X 24" X 10"	(2) #4 E.W.	6,000#
P3	30" X 30" X 10"	(3) #4 E.W.	9,300#
P4	36" X 36" X 12"	(3) #4 E.W.	13,500#
P5	42" X 42" X 12"	(4) #4 E.W.	18,300#
P6	48" X 48" X 12"	(4) #4 E.W.	24,000#
P7	52" X 52" X 12"	(5) #4 E.W.	28,000#
P8	64" X 64" X 14"	(5) #5 E.W.	40,000#
P9	72" X 72" X 16"	(6) #5 E.W.	50,000#
NOTES: (1) Footing design based on the default soil bearing pressure = 1,500psf (2) Design based on F'c = 2500psi			

CRAWLSPACE VENTILATION

UNDER-FLOOR AREAS SHALL HAVE A NET AREA OF NOT LESS THAN 1 SQ. FT. OF VENTILATION FOR EACH 150 SQ. FT. OF UNDER-FLOOR AREA.

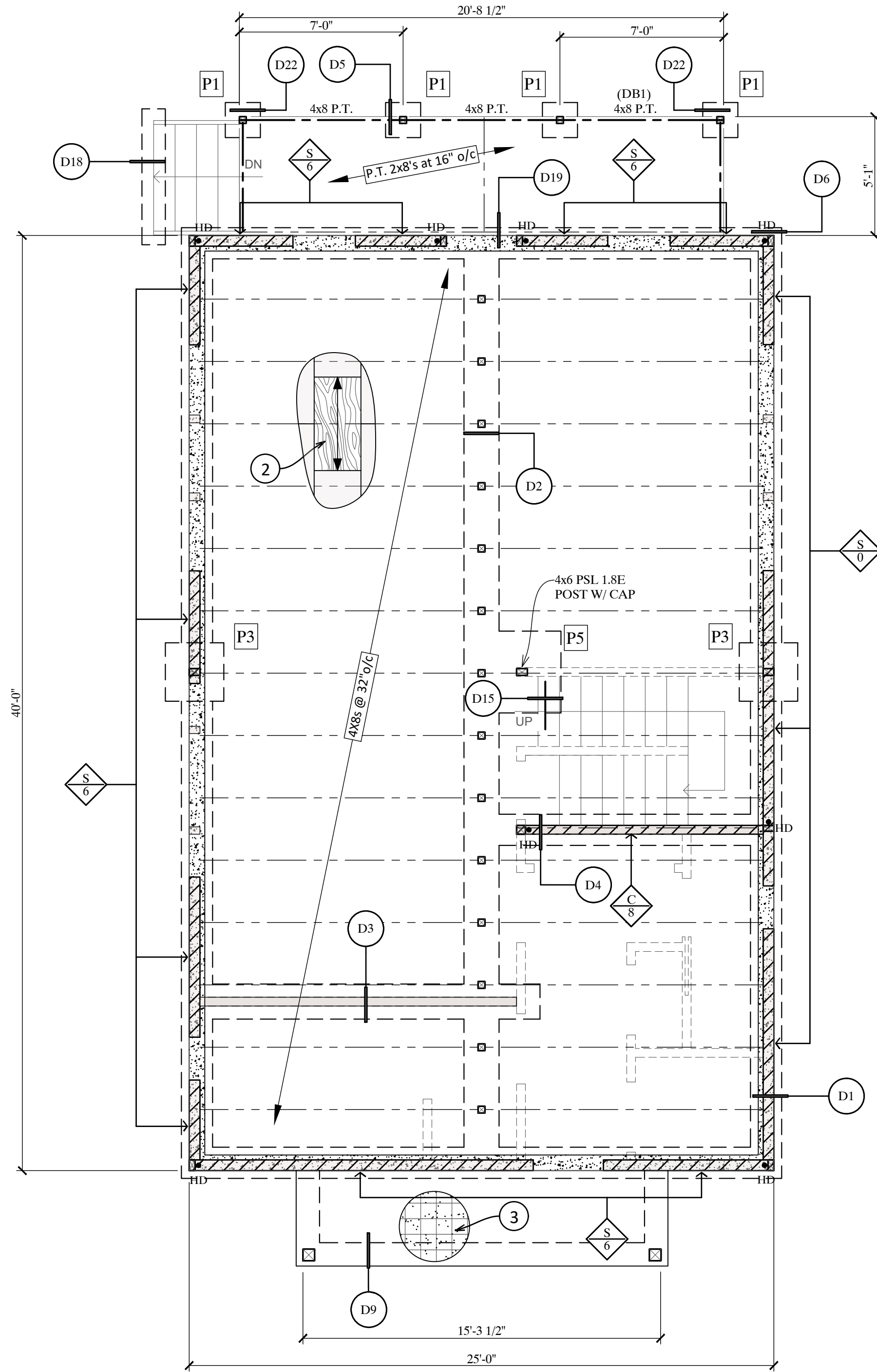
USING 7-1/2"X18-1/2" SCREENED VENTS, PROVIDES 0.95- SQ. FT. OF NET FREE AREA FOR EACH VENT. THE UNDER FLOOR AREA = 950 SF / 150SF / 0.95 = 7 VENTS REQUIRED. CONTRACTOR TO SPACE VENTS EVENLY AROUND PERIMETER BELOW WINDOWS, AWAY FROM UPPER BEAM OR GIRDER LOADS, AND WITHIN 36" OF WALL CORNERS.

GRAPHIC LEGEND

DETAIL REFERENCE (TYPICAL U.N.O.)	DX	BEARING WALL BELOW	
		PARTITION WALL BELOW	
HOLDOWNS PER SCHEDULE	HD	BEARING/SHEAR WALL ABOVE	
	STRAP TYPE		
	BOLTED TYPE	FRAMING MEMBERS	BEAMS JOISTS HANGERS
SHEAR WALL TAG (SEE SHEAR SCHEDULE)	SHEAR WALL HOLDOWN	FRAMING POST	
		FOOTING WITH STEM WALL	
KEYNOTE MARKER	#	FOOTING SCHEDULE REFERENCE	P1

FOUND./FRAMING PLAN (1ST LEVEL LATERAL) KEYNOTES:

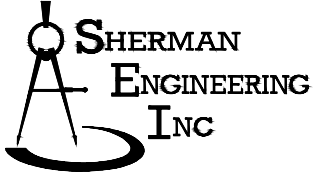
1. VERIFY ALL DIMENSIONS AND CONDITIONS WITH ALL OTHER PLANS INCLUDING ARCHITECTURAL DRAWINGS. DIMENSIONS NOT SHOWN ARE PER THE APPROVED ARCHITECTURAL DRAWINGS. RESOLVE ANY DISCREPANCIES WITH THE ENGINEER PRIOR TO PERFORMING WORK.
2. 7/8" (32/24 SPAN RATING) THICK T&G PLYWOOD FLOOR SHEATHING, GLUED AND WITH 10d SCREW SHANK NAILS AT 6" o/c EDGES AND 12" o/c FIELD.
3. 4" CONCRETE SLAB-ON-GRADE W/ 6X6 - W1.4 X W1.4 WOVEN WIRE FABRIC WITH CONSTRUCTION OR CONTROL JOINTS SPACED AT 15'-0" ON CENTER EACH WAY, PLACED OVER 6" MINIMUM COMPACTED GRANULAR FILL.
4. UNDER ALL BEAMS AND GIRDERS PROVIDE MULTIPLE STUDS EQUAL TO BEAM OR GIRDER WIDTH, WITH EQUAL SQUASH BLOCKS AT FLOOR LINES AND CONTINUE ALL STUDS TO FOUNDATION.
5. SEE PLANS/DETAILS FOR FOUNDATION SIZES, PROVIDE ANCHOR BOLTS PER DETAILS AT SHEARWALLS AND PROVIDE 1/2"-DIA. X 10" ANCHOR BOLTS WITH 1/4"X3"X0'-3" STEEL PLATE WASHERS SPACED AT 4'-0" ON CENTER AT NON-SHEARWALLS.



1
S2 FOUNDATION PLAN (MAIN LEVEL SHEAR WALLS)

ALL DETAILS AND CONDITIONS OF THE SAME TYPE ARE TYPICAL U.N.O.

Scale: 1/4"=1'-0"



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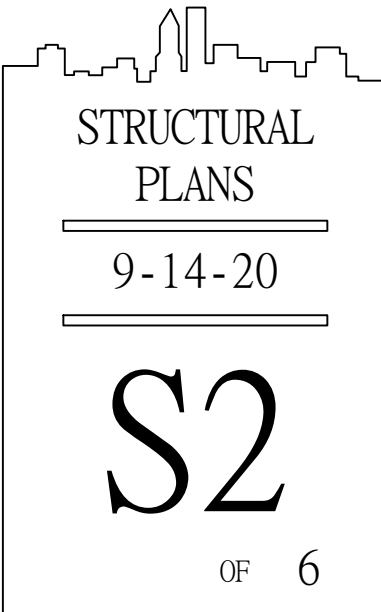
REVISIONS

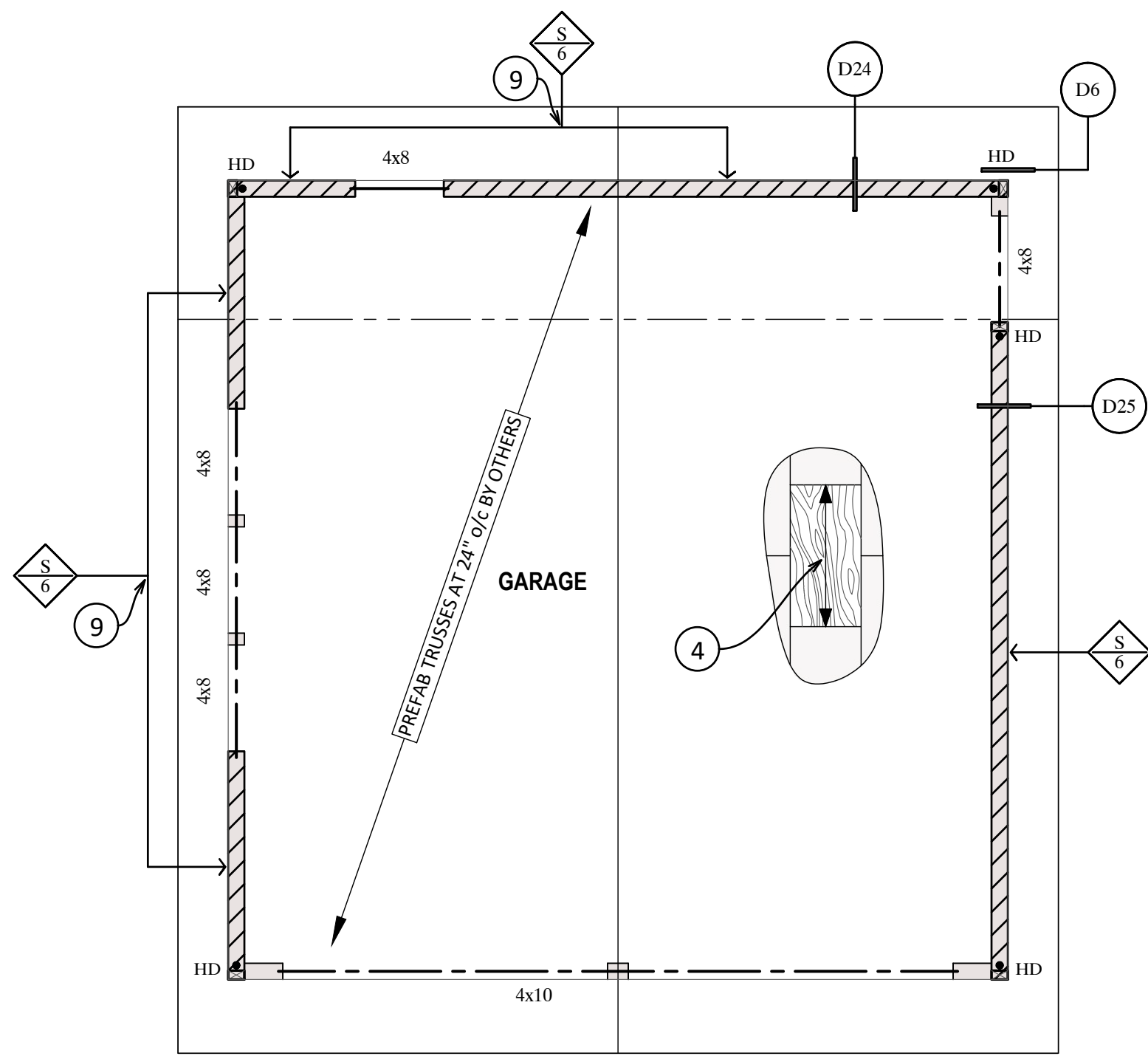
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PROJECT #
P20-0238

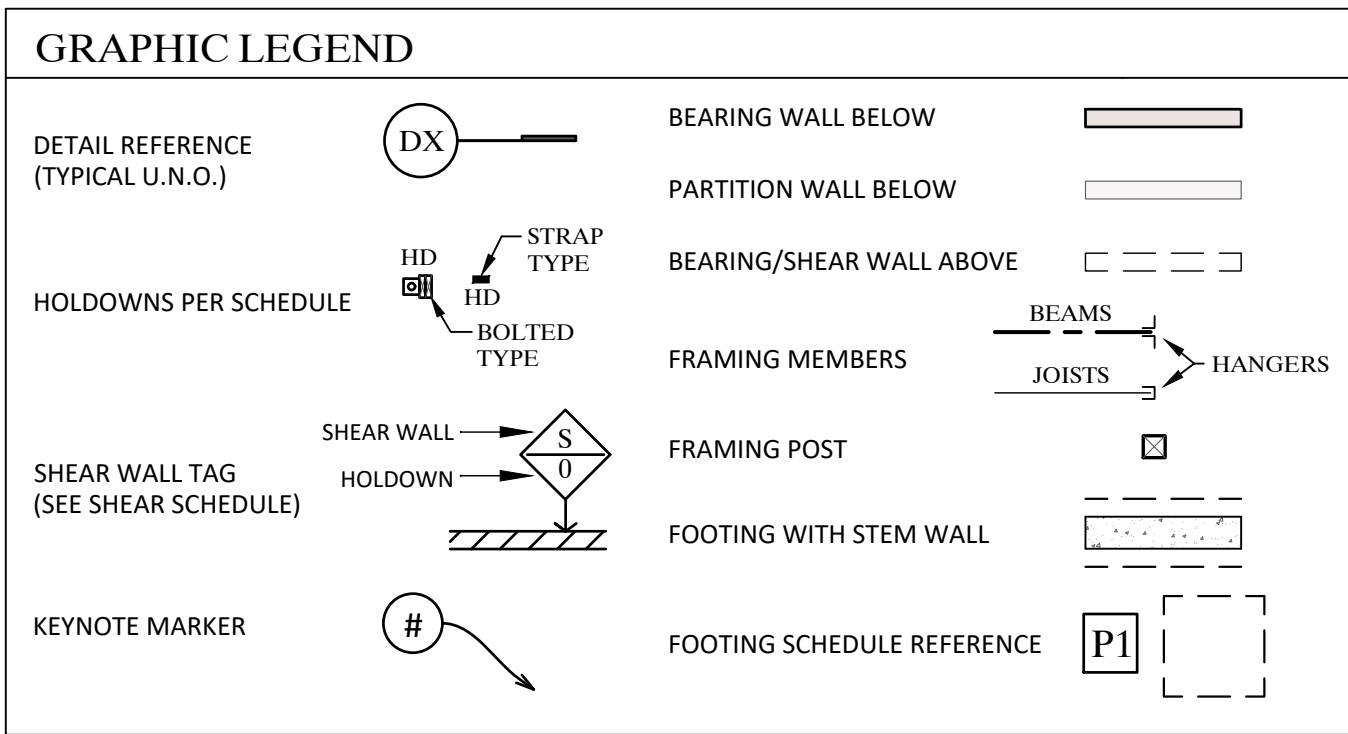
PROJECT ADDRESS
616 4th AVE
OREGON CITY, OR 97045

PROJECT TITLE
OREGON CITY 4
FOR: OUTSIDE ARCHITECTURE

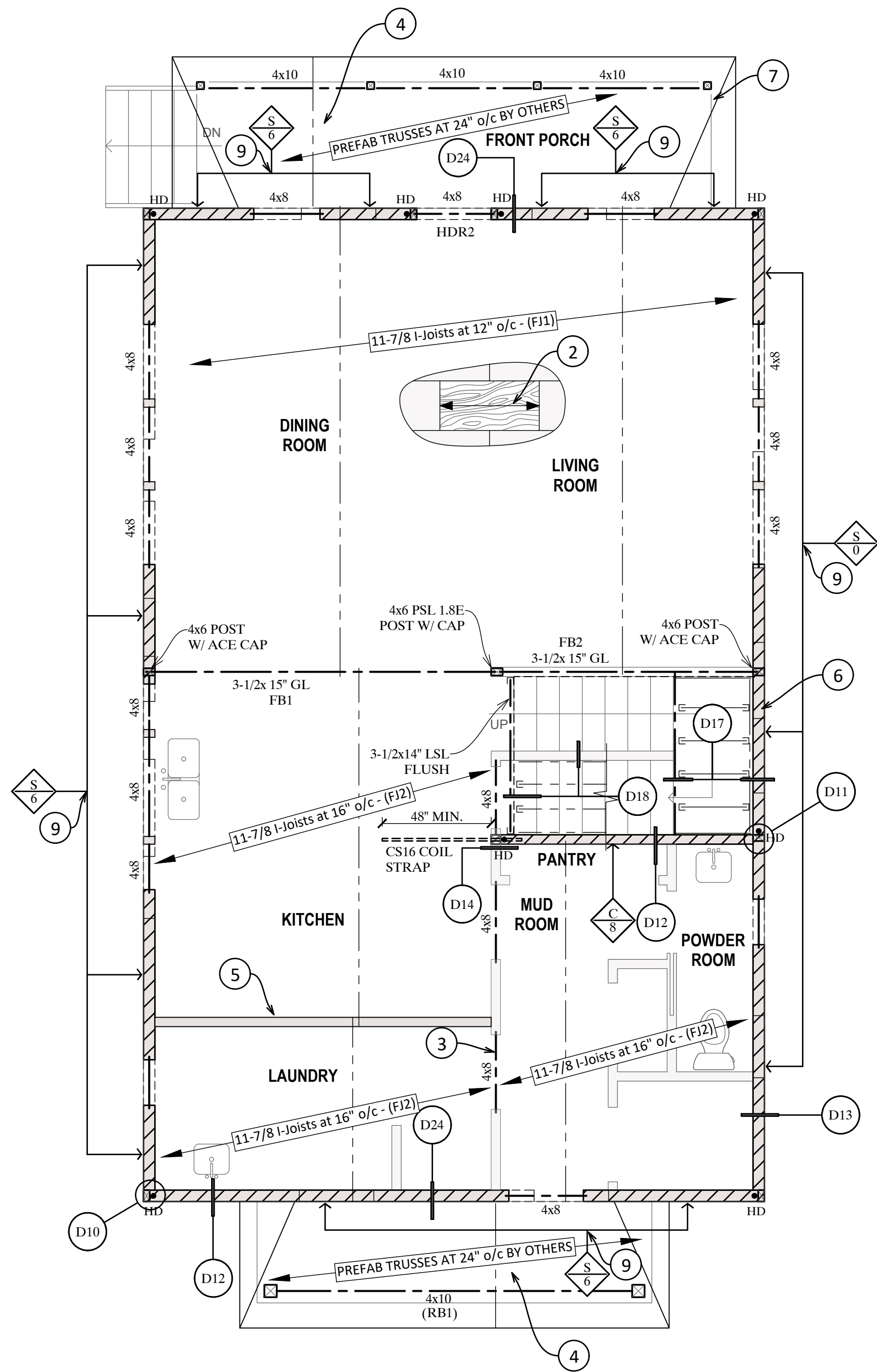




1
S3 **GARAGE ROOF FRAMING & LATERAL PLAN**
ALL DETAILS AND CONDITIONS OF THE SAME TYPE ARE TYPICAL U.N.O. Scale: 1/4":1'-0"



- 2ND FLR. FRAMING PLAN (1ST LEVEL LATERAL) KEYNOTES:**
1. VERIFY ALL DIMENSIONS AND CONDITIONS WITH ALL OTHER PLANS INCLUDING ARCHITECTURAL DRAWINGS. DIMENSIONS NOT SHOWN ARE PER THE APPROVED ARCHITECTURAL DRAWINGS. RESOLVE ANY DISCREPANCIES WITH THE ENGINEER PRIOR TO PERFORMING WORK.
 2. 3/4" THICK T&G PLYWOOD FLOOR SHEATHING, GLUED AND W/ 10d SCREW SHANK NAILS AT 6" o/c EDGES AND 12" o/c FIELD. INSTALL SHEETS PERPENDICULAR TO DIRECTION OF FRAMING MEMBERS.
 3. TYPICAL HEADER SUPPORTING THIS FRAMING SHALL BE 4x8 WITH GRADE AND SPECIES PER STRUCTURAL NOTES. PROVIDE (1) 2x6 WOOD TRIMMER EACH SIDE OF HEADERS. UNLESS NOTED OTHERWISE.
 4. AT LOW ROOF AREAS, PROVIDE 1/2"(MIN.) THICK 'APA' RATED ROOF SHEATHING W/ 8d AT 6" o/c EDGES AND 12" o/c FIELD. INSTALL SHEETS PERPENDICULAR TO DIRECTION OF FRAMING MEMBERS.
 5. INTERIOR BEARING WALL LINE WITH JOIST BLOCKING PER DETAILS TYPICAL BETWEEN JOISTS.
 6. BALCON FRAME STAIR WALL W/ 2x6's AT 12" o/c AND DBL 2x KING STUDS AT EACH SIDE OF WINDOW OPENINGS.
 7. AT BEAM/POST CONNECTIONS, PROVIDE SIMPSON 'AC' OR 'LCE' COLUMN CAP AND MITER CUT PERPENDICULAR BEAMS AT CONERS. AT EXTERIOR AREAS WHERE FRAMING IS EXPOSED PROVIDE TREATED WOOD AND GALVANIZED HOT DIPPED GALVANIZED CONNECTORS, BOLTS AND FASTENERS.
 8. UNDER ALL BEAMS AND GIRDERS PROVIDE MULTIPLE STUDS EQUAL OR GREATER TO BEAM OR GIRDER WIDTH, WITH EQUAL SQUASH BLOCKS AT FLOOR LINES AND CONTINUE ALL STUDS TO FOUNDATION.
 9. "PERFORATED SHEAR WALL" - PROVIDE SHEATHING AND NAILING PER SHEAR WALL SCHEDULE ABOVE AN BELOW WINDOW OPENINGS.



1
S3 **UPPER FLOOR FRAMING PLAN (MAIN LEVEL SHEAR WALLS)**
ALL DETAILS AND CONDITIONS OF THE SAME TYPE ARE TYPICAL U.N.O. Scale: 1/4":1'-0"

REGISTERED PROFESSIONAL
ENGINEER
87582PE
STIG ERIK WIDELL
DEC. 9, 2013
EXPIRES: 6-30-22

**SHERMAN
ENGINEERING
Inc**

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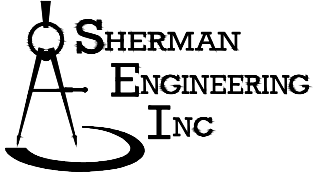
PROJECT #
P20-0238

PROJECT ADDRESS
616 4th AVE
OREGON CITY, OR 97045

PROJECT TITLE
OREGON CITY 4
FOR:
OUTSIDE ARCHITECTURE

STRUCTURAL
PLANS
9-14-20
S3
OF 6

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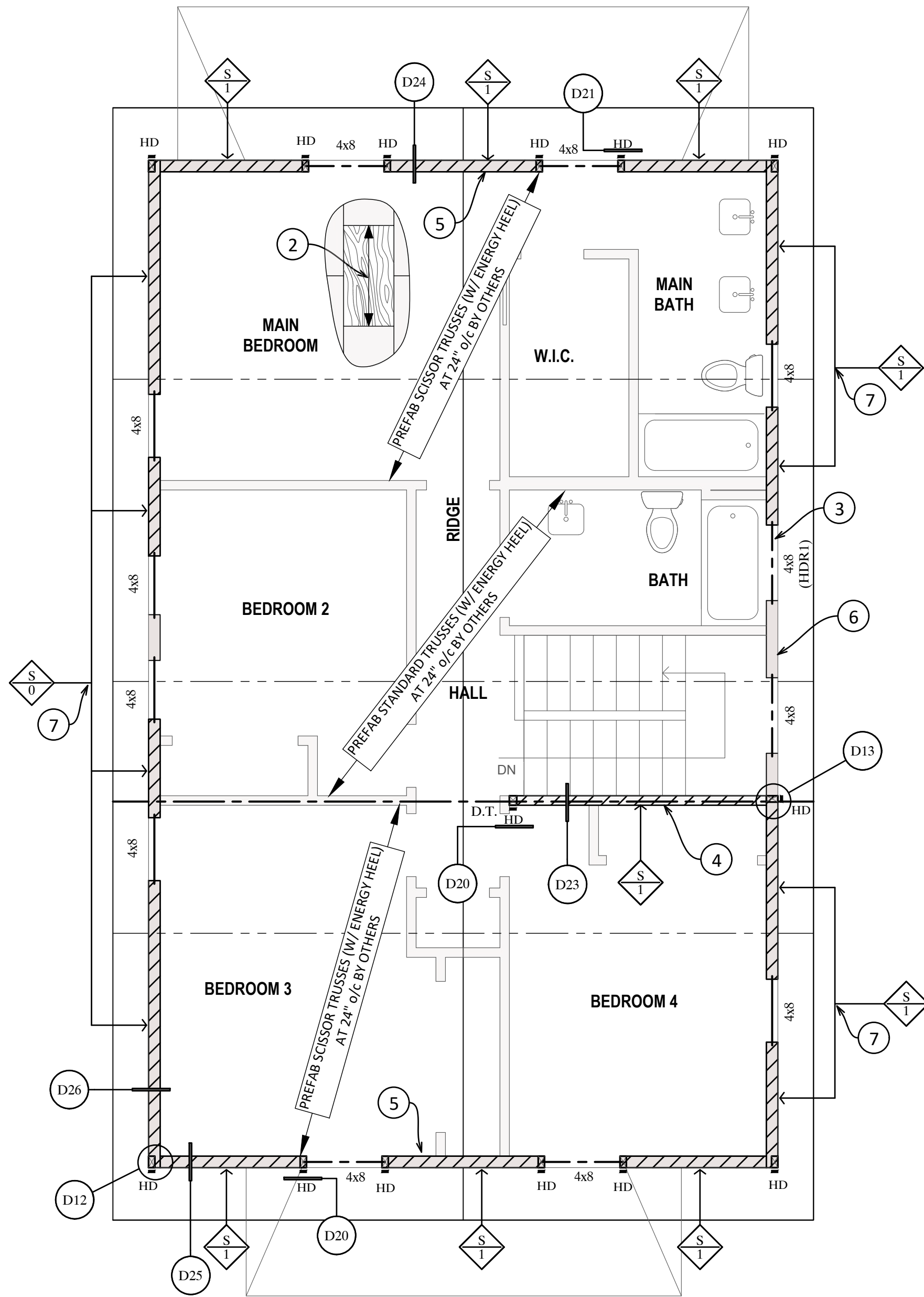
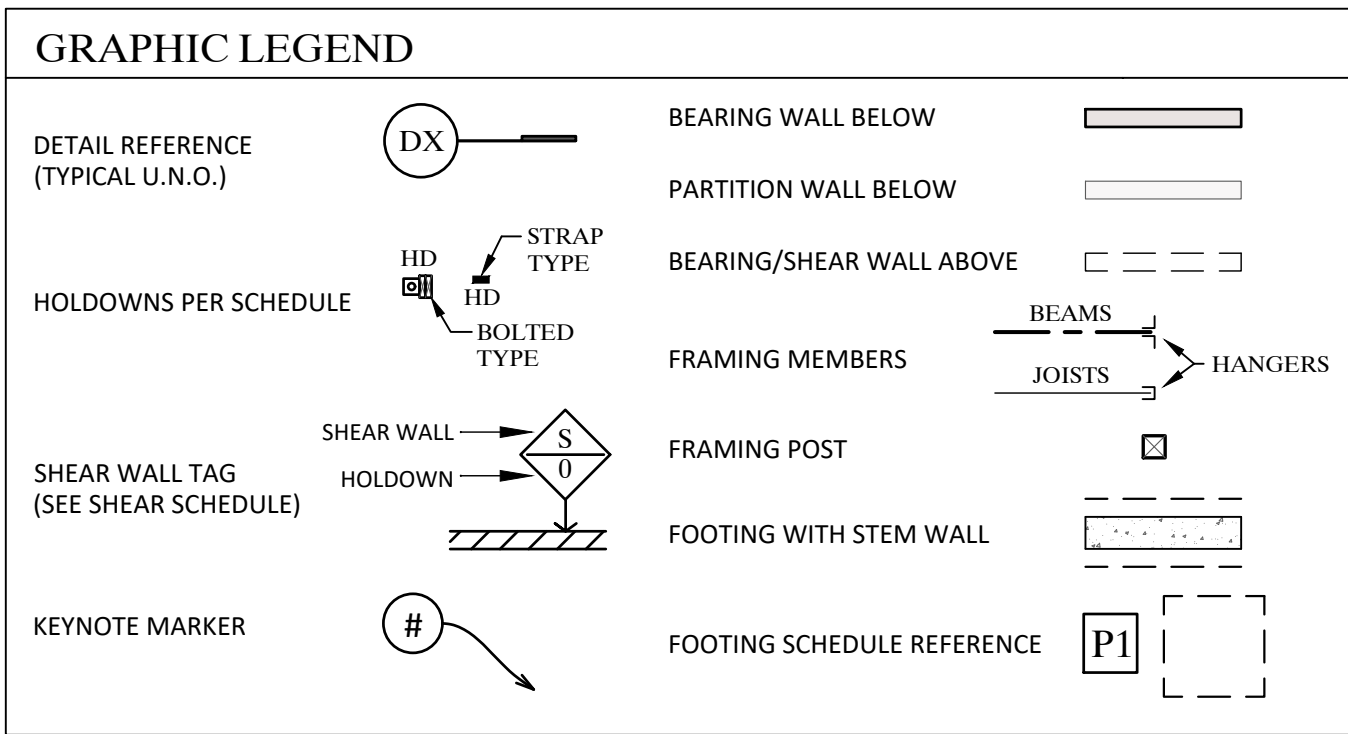
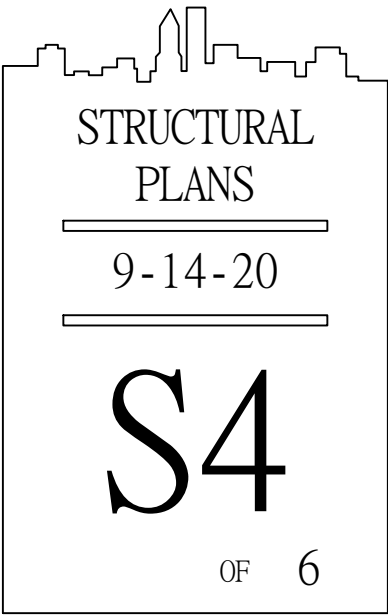
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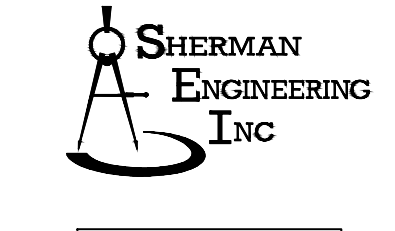
PROJECT TITLE
OREGON CITY 4
FOR: OUTSIDE ARCHITECTURE



1
S4 ROOF FRAMING PLAN (UPPER LEVEL SHEAR WALLS)
ALL DETAILS AND CONDITIONS OF THE SAME TYPE ARE TYPICAL U.N.O. Scale: 1/4"=1'-0"

ROOF FRAMING (3RD LEVEL LATERAL) KEYNOTES:

1. VERIFY ALL DIMENSIONS AND CONDITIONS WITH ALL OTHER PLANS INCLUDING ARCHITECTURAL DRAWINGS. DIMENSIONS NOT SHOWN ARE PER THE APPROVED ARCHITECTURAL DRAWINGS. RESOLVE ANY DISCREPANCIES WITH THE ENGINEER PRIOR TO PERFORMING WORK.
2. 15/32" THICK PLYWOOD ROOF SHEATHING W/ 8d AT 6" o/c EDGES AND 12" o/c FIELD. INSTALL SHEETS PERPENDICULAR TO THE DIRECTION OF FRAMING MEMBERS.
3. TYPICAL HEADER SUPPORTING THIS FRAMING SHALL BE 4X8 WITH GRADE AND SPECIES PER STRUCTURAL NOTES. PROVIDE (1) 2X6 WOOD TRIMMER EACH SIDE OF HEADERS. UNLESS NOTED OTHERWISE.
4. ALIGN PREFABRICATED DRAG TRUSS (D.T.) OVER PARALLEL SHEAR WALLS OR WHERE SPECIFIED. NAIL ROOF SHEATHING TO TRUSS WITH 8d AT 4" o/c FULL LENGTH. DRAG TRUSS SHALL BE DESIGN FOR 2000# MIN. LATERAL LOAD. PROVIDE TRUSS TIEDOWN CONNECTOR EACH END SIMPSON 'MTS30 TIEDOWN MINIMUM).
5. BALLOON FRAME STUDS TO MATCH PITCH OF SCISSOR TRUSS BOTTOM CHORD.
6. BALLOON FRAME STAIR STUDS W/ DBL 2x KING STUD EACH SIDE OF WINDOW.
7. "PERFORATED SHEAR WALL" - PROVIDE SHEATHING AND NAILING PER SHEAR WALL SCHEDULE ABOVE AN BELOW WINDOW OPENINGS.



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2	---
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6	---

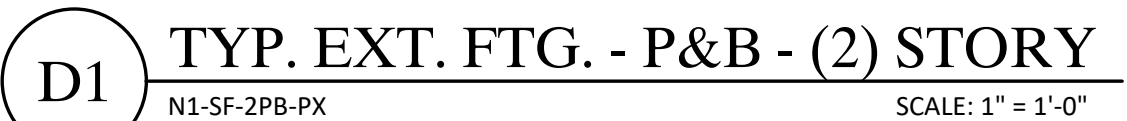
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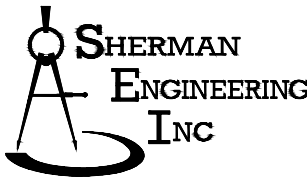
PROJECT ADDRESS
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OREGON CITY, OR 97045

PROJECT TITLE
OREGON CITY 4

STRUCTURAL
DETAILS
9-14-20

S5





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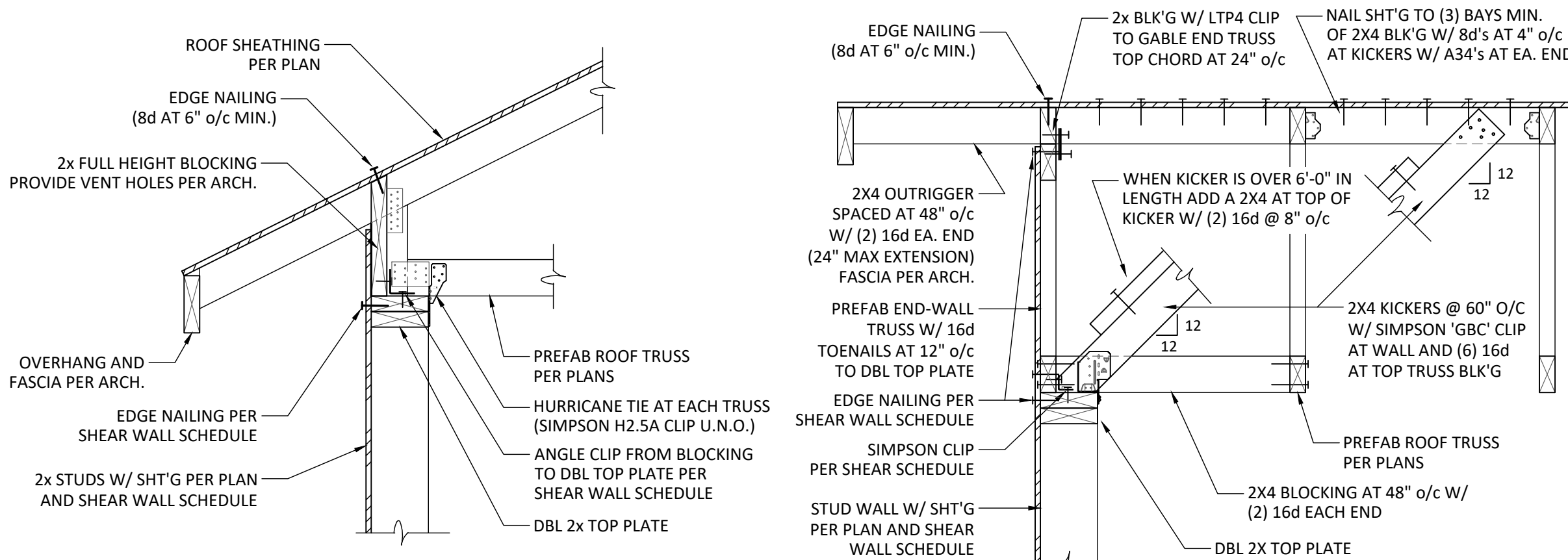
PROJECT #
P20-0238

PROJECT ADDRESS
616 4th AVE
OREGON CITY, OR 97045

PROJECT TITLE
OREGON CITY 4
FOR: OUTSIDE ARCHITECTURE

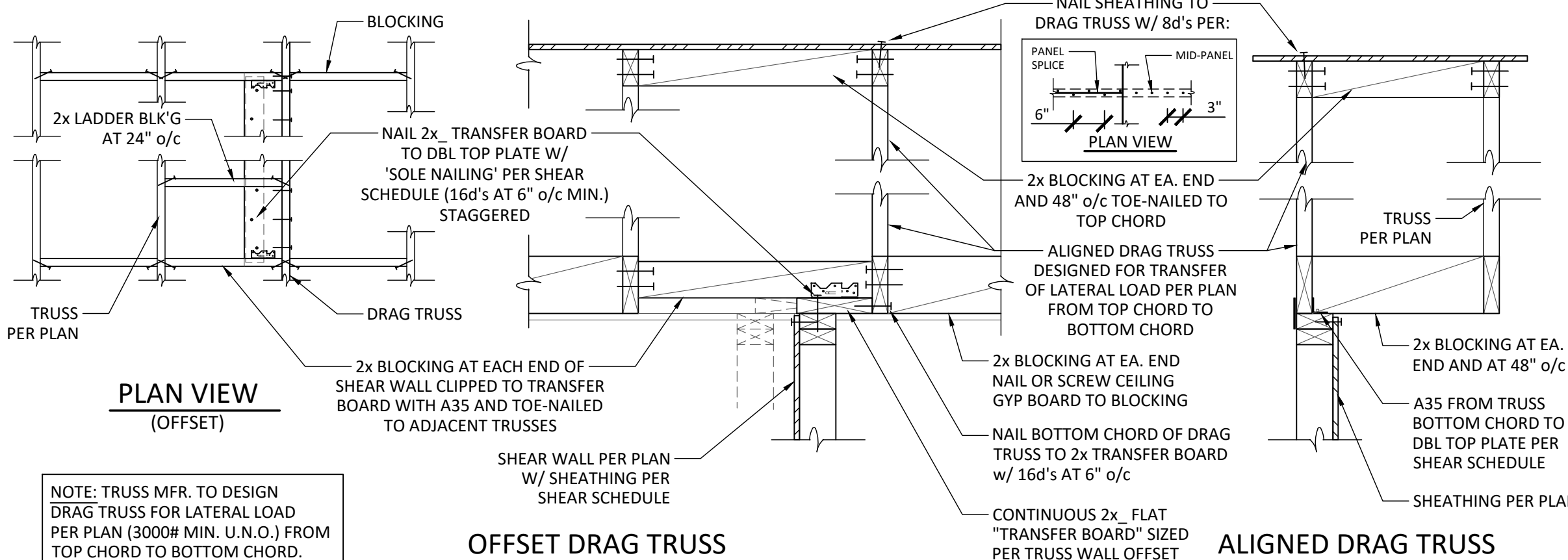
STRUCTURAL
DETAILS
9-14-20

S6
OF 6

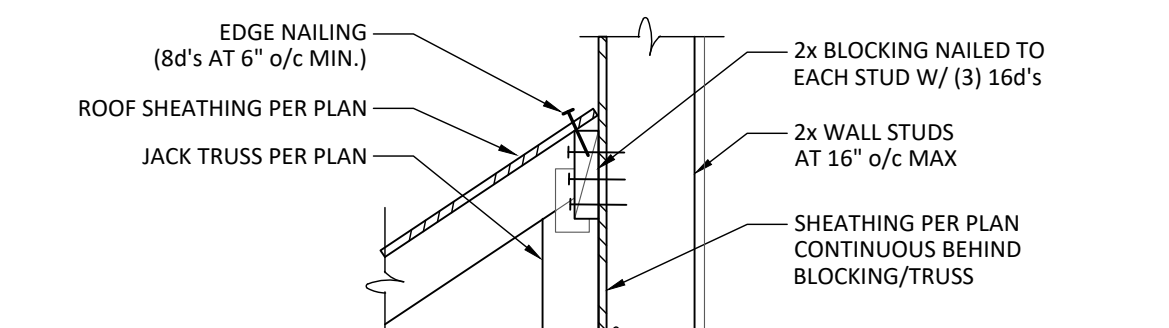


D26 ROOF TRUSS EAVE - RAISED HEEL
N3-ST-EVTR-HEEL SCALE: 1" = 1'-0"

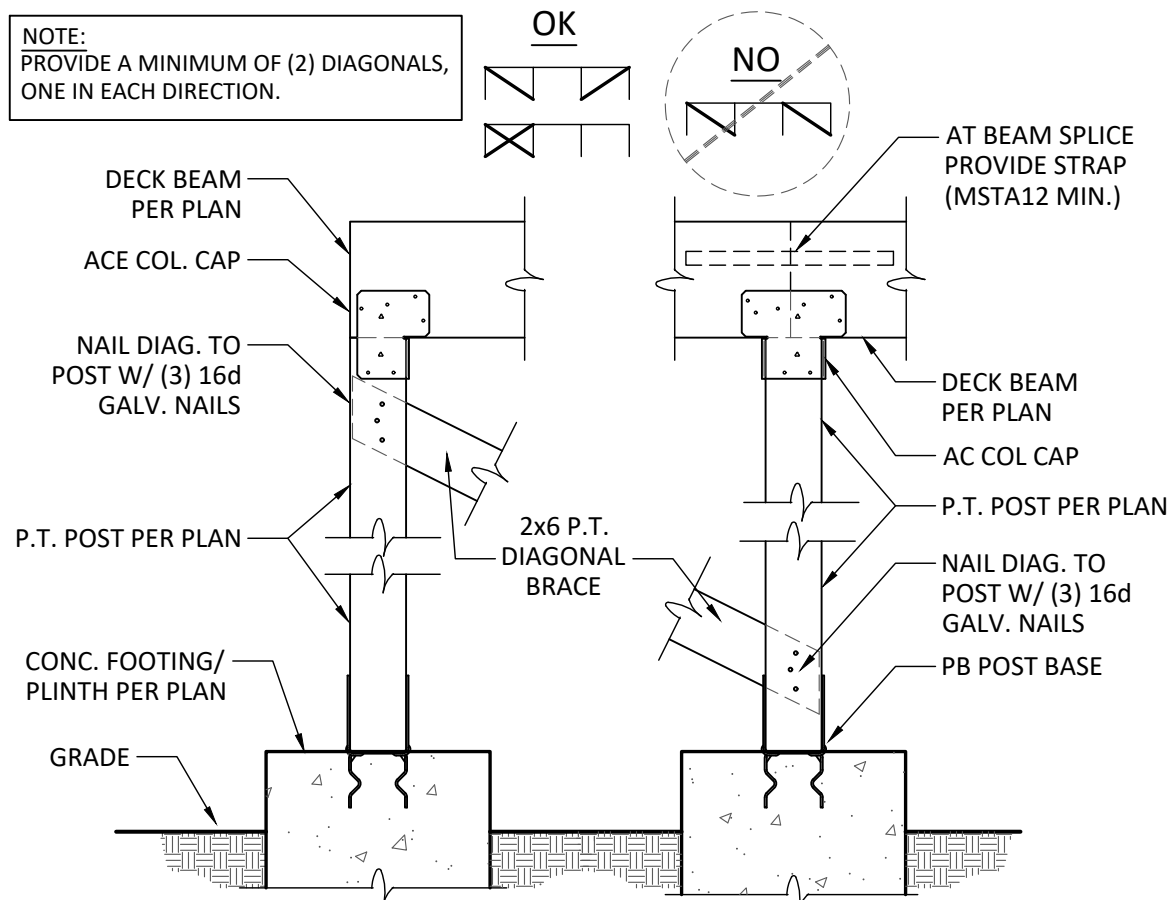
D25 TYP. GABLE END TRUSS CONN.
N3-ST-GBTR-STD SCALE: 1" = 1'-0"



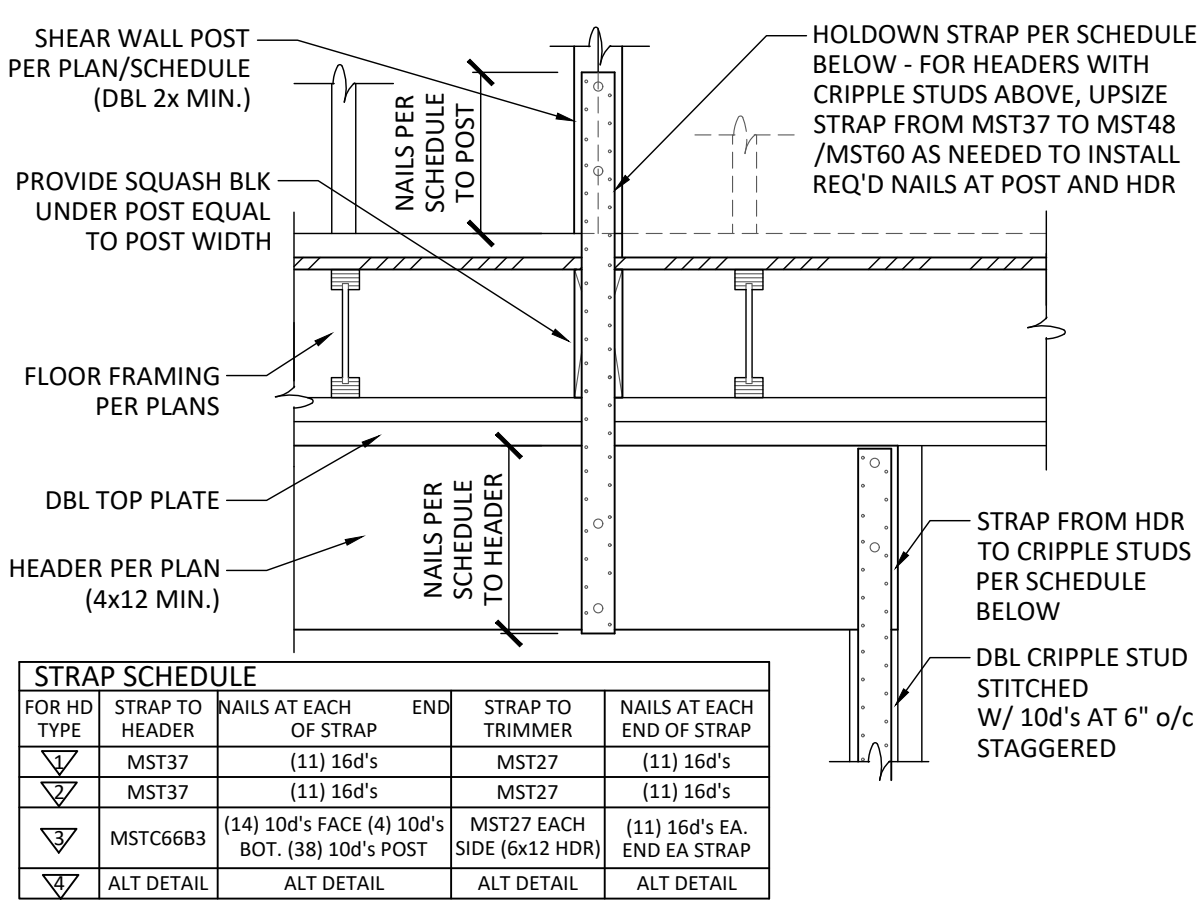
D23 SHEAR WALL PARALLEL TO TRUSS CONNECTION
NP15-DS-ILT-A SCALE: 1" = 1'-0"



D24 LWR ROOF SHEAR CONN. - TRUSS
NP15-DS-RTT-A SCALE: 1" = 1'-0"

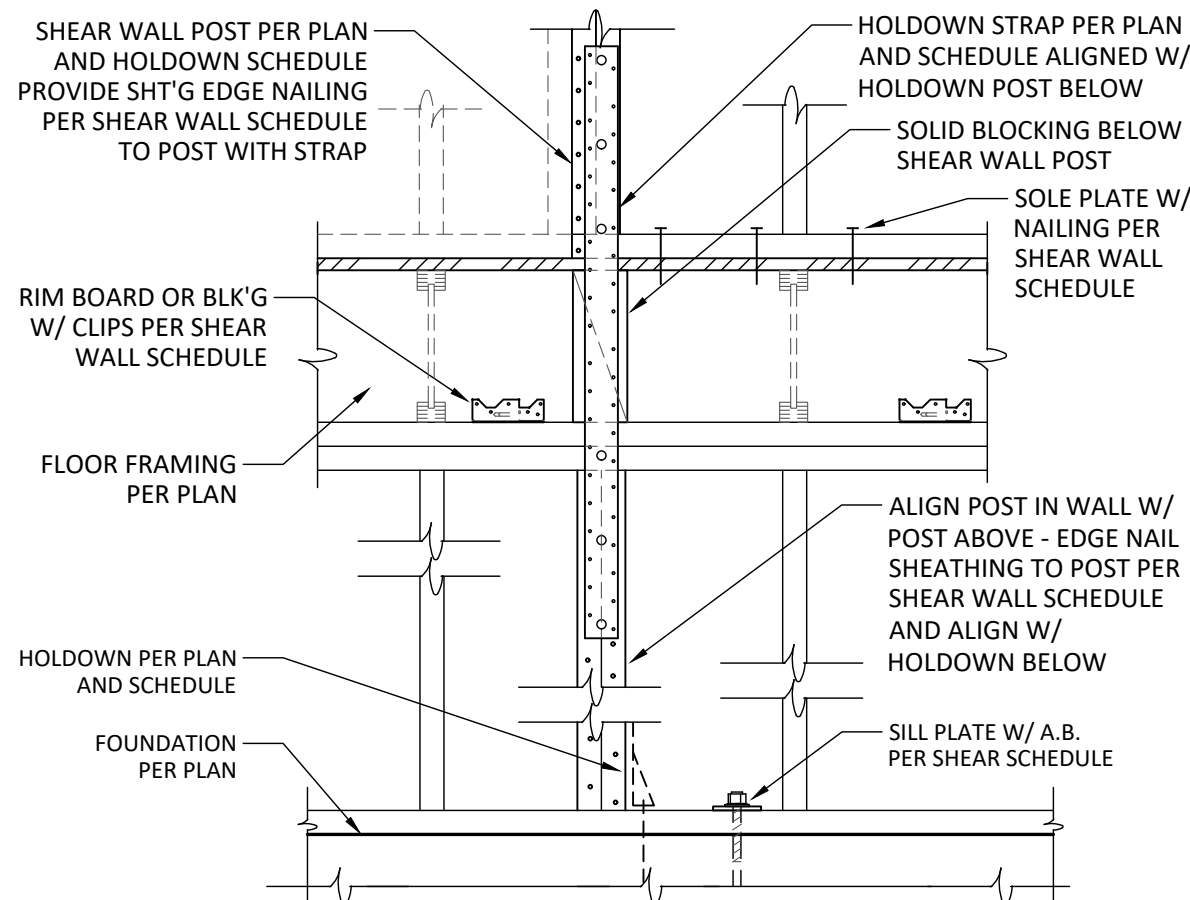


D22 DECK DIAGONAL BRACING
SCALE: 1" = 1'-0"



D21 OFFSET STRAP AT HEADER
N5-HD-IJHO SCALE: 1" = 1'-0"

STRAP SCHEDULE			
FOR HD TYPE	STRAP TO NAILS AT EACH OF STRAP	END	STRAP TO TRIMMER NAILS AT EACH END OF STRAP
▽ MST37	(11) 16d's	MST27	(11) 16d's
▽ MST37	(11) 16d's	MST27	(11) 16d's
▽ MSTC66B3	(14) 10d's FACE (4) 10d's BOT. (80) 10d's POST	MST27 EACH SIDE (8x12 HDR)	(11) 16d's EA. END EA STRAP
▽ ALT DETAIL	ALT DETAIL	ALT DETAIL	ALT DETAIL



D20 STRAP HOLDOWN - MID-WALL
N6-HD-IJ-SW SCALE: 1" = 1'-0"

Oregon City GIS Map

Item #1.



Legend

- Street Names
- Taxlots
- Taxlots Outside UGB
- Unimproved ROW
- City Limits
- UGB
- Basemap

Notes



The City of Oregon City makes no representations, express or implied, as to the accuracy, completeness and timeliness of the information displayed. This map is not suitable for legal, engineering, surveying or navigation purposes. Notification of any errors is appreciated.



0 200 400 Feet

1: 2,400

Map created 10/6/2020

City of Oregon City
PO Box 3040
625 Center St
Oregon City
OR 97045
(503) 657-0891
www.orecity.org



From: [Josh Wheeler](#)
To: [Kelly Reid](#)
Subject: RE: Land Use Transmittal for Historic Review at 616 4th Avenue in Oregon City
Date: Thursday, October 8, 2020 9:45:02 AM

Comment from Public Works :

This property lies on a mapped geologic hazard due to an existing landslide deposit. This project will be required to go through a Type II land use review for geologic hazards. With the information provided at this time, we cannot say whether or not this project would be approved from a geologic hazard standpoint. We recommend a pre-application and follow up land use submittal be made. A geotechnical engineer will be required to be used as part of this development.

Current code does not require a limited density based on a mapped landslide, only steep slopes which this property does not have. The applicant should be aware that code revisions are proposed to add a limitation of density for properties with mapped landslides.



Josh Wheeler, PE
Assistant City Engineer
Public Works Department
City of Oregon City
625 Center Street
Oregon City, Oregon 97045
Email: jwheeler@orc.org
971.322.9745 Cell

PLEASE NOTE THAT MY PHONE NUMBER HAS CHANGED TO A CELL PHONE WHILE WE ARE WORKING FROM HOME.

From: Kelly Reid <kreid@orc.org>
Sent: Wednesday, October 7, 2020 11:39 PM
Subject: Land Use Transmittal for Historic Review at 616 4th Avenue in Oregon City

Good Evening,

This historic review application is transmitted to you for your review and official comments. The comment deadline is October 16th. See attached transmittal form and project details at the link below.

COMMENTS DUE BY:	October 16, 2020		
DECISION BODY:	Historic Review Board		
HEARING DATE(s):	October 27 th 2020		
DECISION TYPE:	Type III		
FILE #S:	GLUA-20-00043 / HR-20-00009		
PLANNER:	Kelly Reid, Planner	Phone (503) 496-1540	Email kreid@orc.org

APPLICANT:	Levy Moroshan
REQUEST:	Historic Review for a new single family home and detached garage in the Canemah National Register District.
PROJECT WEBPAGE:	https://www.orcity.org/planning/project/glua-20-00043
ZONING:	R-6
ADDRESS(ES):	616 4th Avenue Oregon City, OR 97045
TAX LOTS:	Clackamas County Map 3-1E-01AA-25000

Thanks,



[What's your Vision for Oregon City?](#)

Kelly Reid, AICP

She/Her

Planner

Community Development Department

City of Oregon City

NOTE ADDRESS CHANGE: 695 Warner Parrott Rd, Oregon City, OR 97045

EMAIL IS THE BEST WAY TO REACH ME. kreid@orcify.org

503) 496-1540 Direct - VOICEMAILS ARE SENT TO MY EMAIL.

(503) 722-3789 Main

[Interactive Maps and Apps](#)

[On-Line Submittal of Land Use Applications](#)

This e-mail is subject to the State Retention Schedule and may be made available to the public.

COVID-19 (Coronavirus) Information

The City of Oregon City is open for business and continues to offer services and programs online and virtually. Some City facilities are open to the public, find current openings [here](#), we encourage visitors to wear a mask, practice physical distancing, and reschedule in-person visits if you are feeling unwell. The City has installed additional shielding and is providing hand sanitizer as well as occupancy limits to ensure our staff and visitors have a safe, no touch experience. Our goal is to be responsive to our community throughout this pandemic; we appreciate your understanding and cooperation.

From: [Jane Shull](#)
To: [Kelly Reid](#)
Subject: GLUA-20-000043 - 4th Ave elevation
Date: Thursday, October 15, 2020 4:49:07 PM

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Kelly -

The Notice of Public Hearing shows the front of the proposed house on 4th Ave labeled as “South Elevation” - the plans in the website have similar errors.

Jane Shull
713 5th PL

Sent from my iPhone



LAND USE APPLICATION TRANSMITTAL

Date: _10/7/2020

DISTRIBUTION OF APPLICATION

☒	Building Division		Clackamas County Transportation
☐	Development Services		Clackamas County Planning
☐	Public Works Operations		Clackamas Fire District #1
☐	City Engineer		ODOT – Division Review
☐	Public Works Director		Oregon City School District
	Parks Manager		Tri-Met
	Community Services Director		Metro
	Police		PGE
	Economic Development Manager		South Fork Water Board
	Traffic Engineer		Hamlet of Beavercreek
	City Manager's Office		Holcomb Outlook CPO
	Oregon City Neighborhood Associations		Central Point / Leland Road / New Era CPO
☐	N.A Chair – Canemah		Other – See Email List
	N.A. Land Use Chair		Natural Resource Committee
☐	Notice of the application mailed to all properties within 300 feet		Other:

COMMENTS DUE BY:	October 16, 2020		
DECISION BODY:	Historic Review Board		
HEARING DATE(s):	October 27 th 2020		
DECISION TYPE:	Type III		
FILE #S:	GLUA-20-00043 / HR-20-00009		
PLANNER:	Kelly Reid, Planner	Phone (503) 496-1540	Email kreid@orcify.org
APPLICANT:	Levy Moroshan		
REQUEST:	Historic Review for a new single family home and detached garage in the Canemah National Register District.		
PROJECT WEBPAGE:	https://www.orcity.org/planning/project/glua-20-00043		
ZONING:	R-6		
ADDRESS(ES):	616 4th Avenue Oregon City, OR 97045		
TAX LOTS:	Clackamas County Map 3-1E-01AA-25000		

This application material is referred to you for your information, study and official comments. If extra copies are required, please contact the Planning Department. Your recommendations and suggestions will be used to guide the Planning staff when reviewing this proposal. If you wish to have your comments considered and incorporated into the staff report, please return the attached copy of this form to facilitate the processing of this application and will insure prompt consideration of your recommendations.

Please check the appropriate spaces below.

☒	The proposal does not conflict with our interests.
☐	The proposal conflicts with our interests for the reasons attached.
☐	The proposal would not conflict our interests if the changes noted below are included.

Signature _____

CONTACT THE PLANNING DIVISION IF YOU HAVE ANY QUESTIONS ABOUT THIS APPLICATION

City of Oregon City
Historic Review Board
 Minutes
January 6, 2020, 6:00 p.m.
 City Commission Chambers – City Hall

1. Call to Order

The meeting was called to order before the video began.

In attendance were board members Jon McLoughlin, Claire Met, Ken Baysinger, Raymond Stobie and Grant Blythe. Planner Kelly Reid represented City Staff.

2. Public Comments

No public comments were made.

3. PC-19-146 HR 19-07 for an alteration to previously approved new construction in the McLoughlin Conservation District at 415 Center Street.

Kelly Reid stated this is a quasi-judicial meeting. Jon McLoughlin read the full introduction and explanation of the quasi-judicial meeting procedure.

Jon called for any declaration by commissioners as to ex parte contact regarding the application. There were no declarations.

The commissioners all said they have visited the site of the application.

Kelly Reid presented the staff report. The building in question is an office building approved in 2017 by the Historic Review Board (HRB). The applicant recently finished construction and requested final inspection and certificate of occupancy from the Planning Department. Upon inspection, the Planning Department noted that one of the conditions for approval, smooth HardiePlank siding, was not met; instead, textured wood grain planked siding was installed. A final certificate of occupancy could not be issued. Applicant had the option of replacing the siding or asking the HRB to change the requirement of smooth siding. Kelly showed a diagram of the original construction plan for the building exterior which showed the HardiePlank siding. The written portion of the plan, however, stated that smooth siding would be used to replicate cedar lap siding.

Also in the conditions of approval the Board had emphasized the use of “wood or a minimum 4-6” reveal smooth composite siding.” Kelly showed a photograph of one side of the building, indicating the 2nd story did have the smooth siding but the 1st floor had cedarmill

textured siding. Kelly reviewed in photographs different textures of siding that are offered in the industry.

Kelly provided copies of public comments received by the Planning Department that were not received in time for the printing of the published agenda. The Board had reviewed those comments over email.

Kelly gave some history of why this requirement has been made. The design guidelines for new construction state that wood siding for materials which have the appearance of horizontal wood siding are permitted. There is no specific prohibition against the textured cedarmill composite siding. That being said, for at least the last 15 years the Board has always required smooth siding for new constructions in the historic district. Staff's recommendation is to retain the original condition of approval because there was a reason for it; it has the appearance of wood, unlike the textured siding which tries to look like wood grain but doesn't, in many opinions. Kelly said in addition to the recommendation, if the Board thinks the textured siding is appropriate and meets the design guidelines and has the appearance of wood, it would set a precedent for the Planning Department. If the Board doesn't want to accept the smooth siding, the applicant would be required to replace the textured siding with smooth siding and be given a date by which it needs to be done.

Another condition of approval, Kelly stated, was the dimension of front columns which should be a minimum of 8-10 inches in width throughout the column. There are seven columns on the front and side of the building that appear to be 6 inches wide. The Board required those column widths to be increased to at least 8 inches. This condition has not yet been met and needs to be addressed before a final certificate of occupancy can be given. Kelly showed photos of the columns on the porch in question.

Applicant/Property Owner Bill Winkenbach approached the Board. He stated that he has taken photos of numerous homes in the historic district that are listed as historic homes but that have HardiePlank siding. He gave the Board and Kelly copies of these photos. He addressed a photo of 415 Center Street (his property) and of 419 Center Street which is next door to his. He stated that the siding of 419 Center Street is wood siding and the textured siding on his own building is pretty close in appearance to that, can't tell the difference when looking from the street. At 111 6th Street, Mr. Winkenbach said, there is new construction in the historic district that has textured HardiePlank siding. The structure at 902 6th street, he stated, is not HardiePlank but is textured. There is real wood on the building at 118 John Quincy but it looks very similar to his siding. At 804 John Quincy and 226 Monroe Street the structures also have textured siding. On 8th Street there are four new buildings, Mr. Winkenbach stated, that are clearly Historic Review properties and they have HardiePlank siding. Mr. Winkenbach continued and showed photos of 811 Monroe St, another designated historic building with textured siding. He said these don't even look as good as his cedarmill textured siding. He went to 1002 Monroe St. which has real wood and said it's hard to distinguish from HardiePlank. Other addresses with HardiePlank siding are, he stated, at 1106

Monroe St., 1118 Monroe, and 1321 Monroe. The building at 612 12th Street has real wood which looks very similar to textured siding.

Mr. Winkenbach pointed out that the building they were currently in for this meeting was one he rebuilt and it has textured HardiePlank siding. He sees textured siding throughout the historic district. His siding is newer, looks superior, and doesn't stand out as the only one. He restated his points that there is HardiePlank siding on designated buildings and non-designated buildings and on new construction. The newer HardiePlank siding mimics very closely real wood siding.

Mr. Winkenbach said in the first plans they submitted it said they would use smooth siding but they submitted revised plans that showed areas that would have HardiePlank as well as areas of smooth siding. They followed those plans for this construction. Perhaps they missed this one statement in earlier plans; they didn't catch it, they made the mistake. He said they were careful, thoughtful, trying to be good stewards; they installed a \$5000 front door that matches some of the nicer historic buildings. They made sure that the HRB knew they were applying materials that could enhance the structure. They weren't trying to do anything untoward. He thinks the Board should allow textured siding because they already have it throughout the district and it looks like real wood.

Mr. Winkenbach stated that there needs to be coordination between the Building Dept. and the HRB with respect to specificity. Perhaps there should be checkpoints along the way in addition to the regular inspection points; perhaps the inspector would've noticed the different siding earlier, before they completed the structure. Mr. Winkenbach said he replaced the railing three times to accommodate the Review Board. He feels that he is being a good steward and making him tear off the textured siding would not be right.

Regarding the columns, which he said was also in one statement in paperwork from 2.5 years ago, they worked hard to try to get the biggest columns possible. These are the biggest ones he could buy. They are beautiful, expensive, fiberglass columns that, while they are not wood, will stand the test of time and are very close to the design guidelines. He thanked the Board for meeting early on his behalf.

Grant Blythe asked Mr. Winkenbach if he has a cost estimate for replacing the textured siding. Mr. Winkenbach said it would be about \$12,000 but it means that he can't close on a building that he desperately needs to close on; he's been in a huge fight with the buyer. Mr. Winkenbach said the Planning Department was kind to give him a full non-conditional certificate of occupancy. His buyer would not accept it and won't close until after this Board meeting.

Claire Met stated that in reference to Mr. Winkenbach's suggestions that the siding next door looks very similar or is the same, they are two very different styles of architecture. The structure next door is more appropriate for textured siding, as other buildings might be. Just because there is wood siding around the McLoughlin neighborhood doesn't mean it's

appropriate. She said that Mr. Winkenbach was going for more of a “vernacular” style of structure and most of those do have a smooth siding, in her experience. Mr. Winkenbach saw the same thing and took photos of every kind of architecture he could find to show that the wood grain is throughout the district.

Jon McLoughlin said he appreciated what the applicant has created but what he saw was Mr. Winkenbach reaching for excuses for what he has *not* done and doing anything and everything to accommodate what he *has* done. There were conditions approved by the Board set forth to the applicant and he is creating a convoluted scenario that it’s the HRB and Planning and Building Departments’ fault, that they should have let him know about the siding. Jon has not once approved this cedarmill siding. He said this a “no-brainer,” as Mr. Winkenbach was required to use smooth siding. He would have preferred that Mr. Winkenbach show some humility and admit that he missed it and wants to make it right. He said he understands about the cost but it seems as though the applicant had no regard for the conditions of approval and completely ignored them. He said the builders could have made the right columns on-site. Someone ordered cedarmill siding and didn’t think about putting it up even though there is smooth siding on the 2nd floor. Jon stated that it would not have been during his tenure on the HRB when any of the textured siding was approved.

Jon said they’ve made special accommodations for Mr. Winkenbach with this meeting; they shouldn’t even be there and having this meeting. He has little sympathy for the applicant’s excuses and he’s *not* comfortable in saying it. He just doesn’t see any remorse or someone who is trying to be a better steward. Jon doesn’t want to set precedent with this, even though they could. He doesn’t care about the existing structures with textured siding; Mr. Winkenbach should have followed the conditions of approval. Jon said, yes, someone ordered the wrong siding but Mr. Winkenbach should have caught it and not allowed it to be installed. You can’t blame the Building or Planning Departments, stated Jon. Jon welcomed any other comments from the applicant.

Mr. Winkenbach thanked him and asked the Board to truly understand that he is passionate but not uncaring. He did talk with Staff about the siding and through that dialogue they decided to have this HRB meeting. He’s not trying to assign responsibility at all and gave examples of his being a good steward; he had presented options in building; he was trying to help change the process so these things don’t happen. He pointed out again that there are new structures with textured siding. Jon asked Mr. Winkenbach what he thinks happened with his siding. Mr. Winkenbach apologized for their mistake, for being irresponsible, saying that the smooth siding was on the initial documents from 2.5 years ago but they were focused on the actual current plans which didn’t show that requirement. Jon asked him why they aren’t willing to fix it if they made a mistake. Mr. Winkenbach said he doesn’t really have \$12,000 for this; it isn’t about an attitude and there are other properties using the same products.

Jon said he sees the applicant’s side; he’s not speaking for everyone on the Board; he doesn’t think Mr. Winkenbach is being malicious but he said the mistake should be corrected. One cannot take the conditions of approval lightly. Mr. Winkenbach repeated that he was the

one who came to the City and pointed out his mistake and he was looking for some grace. That, Jon said, is what he had wanted to hear initially from this applicant.

Raymond Stobie asked the applicant when the mistake was noticed. Mr. Winkenbach said they noticed it at final inspection. Ken confirmed that it was at that point that Mr. Winkenbach offered to tear away the siding but the Planning Department suggested taking it to the HRB to see what they think. Mr. Winkenbach said the Planning Department gave him a certificate of approval conditional on this meeting; he told them he couldn't wait for the meeting. Then the Planning Department gave him the full non-conditional certificate of occupancy and said for him to approach the HRB.

Claire asked when the mistake with the columns was noticed. Kelly said it came up only today; Jon said he was the one who saw this today, it was the first thing he saw.

Jon called up Jane Baird for her public comment. She is the buyer of the building. The process was started in March, she stated, and they thought it would be completed in June. They went through three project manager changes. Mr. Winkenbach has had a lot of change happening and might not have been able to keep track of all this; he wasn't the "go-to" person in the beginning. Jane said she would prefer not to have the siding ripped off in the dead of winter and the rain. They have already moved in and the closing kept getting moved back because of other projects. Jane said she likes the look of the house and the siding, that it fits in, that she's had people think it was an old house that has been remodeled. She doesn't want to end of up with an ongoing problem by replacing the siding now. She doesn't feel the need to do this. She feels the next door siding looks just like theirs; others she noticed, even though they might really be old, look the same. She sells lumber and knows the differences. She would have preferred wood and could supply it but it was already in the plans for composite siding. She didn't pay attention to whether the plans said smooth or textured siding would be installed. She doesn't want to have an ongoing issue as the owner.

Cameron McCredie stepped forward to address the Board. He is Chairman of the McLoughlin Neighborhood Association and a residential real estate broker. He cares about the neighborhood and historic preservation of buildings whether they are on the registry or not. There are ongoing issues, several going before the HRB soon. This is one of the those in which there was slipping/sliding and attitude of "let's do it and apologize later." He talked about his 1920 bungalow and its "T111" siding which is rotting; he replaced with clear, smooth cedar siding, very expensive and not easy to find. He wants the Board to know there are many of people like him who care about what the Board is doing.

Mr. Winkenbach gave his rebuttal, reminding the Board of the major front door change he made in attempt to reflect the architecture he was trying to emulate. He was not trying to make excuses and ask for forgiveness later; he did the best he could, he worked with the Planning Department. He brought other issues to the HRB. He does care.

Jon closed the public hearing and asked the Board to debate and ask any questions.

Claire commented that if they have set conditions and, whether due to neglect or forgetfulness those conditions are not followed and the Board allows applicants get away with it, then she questions the Board's role here. She spoke about other applicants in the past who have been required to fix the problem and fixed an issue with the required materials.

Grant said this is a subjective issue and he doesn't want to set a precedent for how they deal with deviations in general. He made three points:

(1) What is the impact to the historic district and the structure? He had no doubt smooth siding is correct; he finds no other builders/homeowners who didn't follow the process and installed HardiePlank textured siding. He expected the best and most compliance from Mr. Winkenbach because of his experience in the area as a professional builder. He doesn't think from a distance many people would notice, it is not a severe impact to the building. It's not a contributing structure but is a new building.

(2) What is the impact to the applicant by the remedy? The cost is relatively higher here than for other deviances (such as a railing) and there is potential impact to damage to the building due to it being winter.

(3) What were the circumstances surrounding the deviance? The process was followed, generally.

He shares many of Jon's personal feelings; Mr. Winkenbach missed two out of five conditions of approval, which is not a high standard for a professional. Leaving that out of his decision, being objective, Grant stated his opinion is to allow the deviation and approve the applicant but not setting a precedent that textured siding is equal to smooth siding.

Ken Baysinger said he agrees with pretty much everything Grant said. He pointed out that the building they are in at present has two deviations, the siding and the windows. If the City is going to grant itself "some slack" he doesn't see how they can force a citizen to fix his deviation. He said they have to let the applicant keep the structure as it is.

Claire confirmed that they were discussing only the siding and not the columns. The columns, Kelly stated, are not part of the application. At this point the applicant will need to correct the columns or there would need to be another publicly-noticed meeting to discuss the columns.

Grant Blythe moved to approve the application PC-19-146- HR 19-07 for an alteration to previously approved new construction in the McLoughlin Conservation District at 415 Center Street. Ken Baysinger seconded the motion.

Vote:

Clair Met - nay
 Raymond Stobie - nay
 Ken Baysinger - aye
 Grant Blythe - aye

Jon McLoughlin - nay

Kelly said the motion to approve this application has failed.

Jon asked for another motion. Ken said giving the applicant a year, until sometime after June, to address and fix the problem would be acceptable.

Ken Baysinger, therefore, made a motion to give the applicant a year to comply with the condition of approval regarding the siding. Claire Met seconded the motion.

Vote:

Raymond Stobie - aye

Grant Blythe - aye

Clair Met - aye

Ken Baysinger - aye

Jon McLoughlin - aye

The motion to give the applicant one year for compliance passed.

4. Adjournment

The meeting was adjourned at 7:00 p.m.

City of Oregon City
Meeting Minutes
Historic Review Board

January 28, 2020 7:00 PM Commission Chambers

1. Call to order

Present: 5 - Board members Ray Stobie, Claire Met, Jon McLoughlin, Ken Baysinger, Grant Blythe

Absent: 0

Staffers: 2 - Laura Terway, Community Development Director and Kelly Reid, City Planner

2. Public comments

No public comments.

3. Public Hearings

a. HR 19-06 for an alteration to previously approved new construction in the Canemah National Register District at 704 3rd Avenue

Board member Jon McLoughlin read conditions for public hearing. Committee members declared they have no conflicts of interest and they have visited the site. Committee member Ken Baysinger disclosed that he is a real estate agent.

City Planner Kelly Reid explained HR 19-06. Two conditions had not been met: composite materials for decking and number of stairs. Ms. Reid showed photos of the property and the items under review. Staff recommended to approve HR 19-06 because the items under review are not visible from the street.

Comment was provided by applicant, Mark Zawadzki, and property owner, Ray Streinz, both of Portland. Mr. Streinz explained why composite materials were used and described the issues that led to the change to the number of stairs.

Mr. McLoughlin closed the public hearing.

Board members Claire Met, Grant Blythe, and Ken expressed concern that approval was sought after the construction was already completed. Mr. Blythe suggested that they add a condition that vegetation should be planted in front of the house. There was a discussion about the previous house on the site and the engineering issues with using the same foundation.

Claire Met moved to approve HR 19-06 with the alterations for the new construction with Staff's recommendation. Ken Baysinger seconded the

motion. Claire Met altered the motion to include additional landscaping in front of the lattice work, at least three evergreen shrubs. Ken Baysinger seconded the motion with the additional language. Motion passed, all in favor.

Claire Met: Aye

Ken Basinger: Aye

Grant Blythe: Aye

Jon McLoughlin: Aye

Ray Stobie: Aye

b. HR 20-03 for a major public improvement within the McLoughlin Conservation District at D.C. Latourette Park

Mr. McLoughlin read conditions for public hearing. Committee members declared they have no conflicts of interest and they have visited the site.

Ms. Reid explained HR 20-03. The park is not a national historic site but needs to meet the design requirements because it's within a historic district. She showed photos of current state of the park and renderings of future state. Ms. Reid described the guidelines for improvement, which include using materials which are consistent with historic materials. The plans include a new nature play area, walkways and landscaping. Cobblestone has been proposed at the entry way but this was not a commonly used material in Oregon City. Ms. Reid requested that the Board give direction on the use of cobblestone and indicated that the applicant has alternative materials.

Comment was provided by applicant Denise Conrad, Assistant Parks Director; Amy Rusk, property owner across the street from the park, and Denyse McGriff, speaking on behalf of the Neighborhood Association.

Ms. Conrad clarified that the rendering displayed shows removal of all chain link fence but it will actually only be removed from the front area entryway, due to budget constraints. She confirmed that concrete or decomposed granite could be used instead of cobblestone. Mr. McLoughlin asked about park lighting and Ms. Conrad informed the Board that the park would not have lighting. Ms. Met asked about a designated dog area; Ms. Conrad explained that the upper area used to be a sports park; it was never designated as a dog area but may have been unofficially used that way.

Ms. Rusk, property owner at 901 11th, commented that this is the first she has been notified about the park changes. She spoke about how the changes to the park will impact dog owners. She described how often she and others use the park as a canine park because of its advantages over the official dog park a few blocks away, which is on a busy street. Ms. Rusk gave statistics around how many Oregon residents have dogs/pets as opposed to children under age 9. She also expressed

that the acoustics of the park will amplify the noise made by park visitors, negatively impacting the neighbors.

Ms. McGriff provided comments on behalf of the Neighborhood Association. She testified that there has been ample neighborhood notification and involvement and detailed the different events and communications. It was emphasized that this has been a grassroots effort with much work, discussion and review. Ms. McGriff agreed with the concerns about the cobblestone entrance. She informed the Board that funding has been obtained outside of the City.

Ms. Conrad came back to the Board and affirmed that there were innumerable public events, neighborhood association meetings, and Parks and Recreation Committee meetings regarding the Park. In response to questions, she answered that the process started 4 – 5 years ago and plans came to fruition a couple of months ago. Mr. Blythe asked if there would be a Phase 2 to remove all of the chain link fence. Ms. Conrad replied that it wasn't unforeseeable but that it is not budgeted currently.

Mr. McLoughlin closed the public hearing.

The Board discussed different aspects, including the posting of the land-use application, the lack of a traffic study, and the proposed cobblestone entry. Mr. McLoughlin re-opened the hearing so that Ms. Conrad could answer questions regarding the existing park wall and entryway, then re-closed the hearing. There was further discussion about the cobblestone and the chain link fence.

Ken Baysinger moved for approval of the design as proposed with the conditions that the paving stones be replaced by a natural material consistent with the historical uses in Oregon City. Ms. Reid asked him to clarify if that would be decomposed granite or concrete. Ken Baysinger added to his motion: "Condition of approval is that decomposed granite is used as opposed to the pavers. And a condition regarding the chain link fence to clarify that the old fence is grandfathered in but no new chain link fence will be used. Grant Blythe seconded the motion. Motion passed, all in favor.

Claire Met: Aye

Ken Basinger: Aye

Grant Blythe: Aye

Jon McLoughlin: Aye

Ray Stobie: Aye

c. HR 19-08 Historic Review for demolition of a noncontributing structure in the Canemah National Register District.

Mr. McLoughlin read conditions for public hearing, as new people had entered the meeting. Committee members declared they have no conflicts of interest and they have visited the site.

Ms. Reid explained HR 19-08 and the meaning around “noncontributing”. She described the property, showed photos and expressed that the structure does not add value to the District because of its poor condition. Applicant has proposed to demolish the existing home and build one new home on each of the four lots of record. The new homes would come to the Board as new construction. Ms. Reid reviewed the criteria for demolition. Ms. Redi said that Staff recommends approval for demolition; would also approve deconstruction instead of demolition but they are not specifically recommending any conditions at this time.

Comment was provided by applicant Levy Moroshan, of Milwaukie. Mr. Moroshan informed the Board about why he is proposing demolition.

Mr. McLoughlin closed the public hearing.

Ms. Met moved to “approve HR 19-08, demolition of a noncontributing structure in the national registered district.” Mr. Blythe seconded the motion. Motion passed, all in favor.

Claire Met: Aye

Ken Basinger: Aye

Grant Blythe: Aye

Jon McLoughlin: Aye

Ray Stobie: Aye

d. GLUA-20-00006 and HR 20-02: Historic Review for a new two-story mixed use building in the McLoughlin Conservation District at 920 7th Street

Mr. McLoughlin read conditions for public hearing, as new people had entered the meeting. Committee members declared they have no conflicts of interest and they have visited the site.

Ms. Reid explained GLUA-20-00006 and HR 20-02, which refers to the former site of Olson’s Pharmacy. She showed photos of the current lot, the former pharmacy, and nearby buildings of historical significance. The Church House is close by and the applicant has proposed to design the new building like the Church House. Ms. Reid showed photos of the building plans and disclosed that the plans also have to go through a site plan review at the City Planning Department. She indicated that because the design is mixed use, guidelines do not give full guidance. She said that Staff recommends a condition to provide more Queen Anne elements such as bay windows, more ornamentation, or an increase of roof pitch, 10/12 or greater.

Mr. McLoughlin queried about there being a continuance from the McLoughlin Neighborhood Association and how that might affect the Board’s review. Ms. Reid responded that the Board would not be able to make a decision but the applicant had requested to speak before the Board anyway. The Board decided to hear the public testimony.

Applicant John Delson, architect from NW Custom Homes: Mr. Delson pointed out that a very similar design was approved in 2012 and 2014. He showed 3D rendering with colors. He discussed bay windows and seismic requirements and averred that those requirements would drive up the cost of construction considerably. In response to a question from Ms. Met, Mr. Delson described the setback from the property line.

Wendy Marshall, resident of 115 Madison Street, on behalf of the McLoughlin Neighborhood Association (MNA): Ms. Marshall requested to keep the continuance in place so that the MNA may have time to review all of the proper materials. She expressed that there are currently outstanding questions and items of confusion and that much is based on the prior applications.

Mr. McLoughlin closed the public hearing.

Grant Blythe moved to approve continuance until next Board meeting, February 25. Ken Basinger seconded the motion. Motion passed, all in favor.

Claire Met: Aye

Ken Basinger: Aye

Grant Blythe: Aye

Jon McLoughlin: Aye

Ray Stobie: Aye

- e. Staff Concurrence: Roofing and skylight on new construction in the Canemah District - 413 4th Svenue

Ms. Reid said she was bringing this issue to the Board because she was unsure if it qualified as a Staff-level decision. She showed photos of the proposed roofing and skylight and explained why Staff would issue an approval. The Board discussed the different aspects and agreed that it should be a Staff-level decision.

- f. Local evaluation of National Register Nomination of Buena Vista Social Clubhouse

Ms. Reid explained that the Board is acting as local government review for a National Register Nomination and evaluation is based on criteria from the State Historic Preservation office. She described the circumstances of the Buena Vista Social Clubhouse and showed photos. She communicated the process of using the evaluation form for comments.

Comment was provided by Damon Mabee, Chair of Friends of Buena Vista Clubhouse of Oregon City, Denyse McGriff, of Oregon City, Roger Fowler-Thias, President of Oregon City Parks Foundation, and Todd Young, resident of Buena Vista neighborhood.

Mr. Mabee related why his organization is seeking a national designation. He detailed some of the clubhouse history and recognized the people who contributed to the research.

Ms. McGriff spoke of the exhaustive historical research that went into the application, the repairs needed for the building, and the plans for utilizing the building if the designation is approved.

Mr. Fowler-Thias opined that the building should be fixed up. He expressed that the Foundation was honored to be part of the effort and they had provided financial support to get electricity back to the building.

Mr. Young discussed uncertainty about building's condemnation and the structural integrity of the building. Mr. Baysinger and Mr. Young conversed about the potential cost of repairs. Mr. Young confirmed that there is no mold in the building and described community effort to fix up the structure.

The Board expressed encouragement by the grassroots effort and the immense documentation that was compiled.

Claire Met moved that the Board support the nomination to the National Register of Historic Places for the Buena Vista Social Club. Grant Blythe seconded the motion. Motion passed, all in favor.

Claire Met: Aye

Ken Basinger: Aye

Grant Blythe: Aye

Jon McLoughlin: Aye

Ray Stobie: Aye

4. Approval of meeting minutes

There was a brief discussion regarding the work session for April 2.

Ken Baysinger moved to approve the meeting minutes. Jon McLoughlin seconded the motion. Motion passed, all in favor.

Claire Met: Aye

Ken Basinger: Aye

Grant Blythe: Aye

Jon McLoughlin: Aye

Ray Stobie: Aye

5. Communications

Ms. Reid communicated that she will email the Committee regarding grant projects and work plan. The Board discussed the possible need to address items that come to them for approval because permit guidelines were not followed. Ms. Reid may reschedule the next meeting because of civic event held on the same evening.

6. Adjournment

Meeting adjourned at 9:30 PM.

**City of Oregon City
Work session minutes
Historic Review Board
February 26, 2020
Commission Chambers**

1. Call To Order 6:00 p.m.

Present:

Board members: Raymond Stobie, Claire Met, Jon McLoughlin, Ken Baysinger, Grant Blythe

City staff: Planner Kelly Reid, Assistant City Attorney Carrie Richter

2. Work Session: Definitions and thresholds for "new construction" and "demolition" in historic districts.

Kelly Reid said that the City Commission asked the Historic Review Board (HRB) to talk about their definition of "new construction" and "demolition" because of examples of recent remodeling/construction in the McLoughlin District that didn't appear to be in compliance. How might these definitions be changed to address these issues.

Ms. Reid showed an example at 611 Third Street, a structure that was inventoried. It was deemed to be compatible but doesn't have historic status. The owners left up one wall, foundation, and floor, and remodeled with a second floor taller than the original second floor attic. Their total addition square footage was only 19% more than the original square footage, under the 30% threshold for HRB review. The HRB agreed that the character of the house had changed a lot, was significantly taller, and appeared much bigger. Ms. Reid said this was not yet common, but she believes it will start to happen more often as people want to max out their space on their property.

The Board members agreed that the 30% of "area" isn't well defined. Did it include attics, finished basements, etc.? The 30% doesn't account for changes in height, so a compatible structure could be incompatible with certain kinds of additions. Additions are treated the same whether they are on the front, back, or side of a structure. An addition to the front could completely change the character of the house. If it doesn't reach the 30% threshold, it wouldn't be reviewed.

Ms. Reid said that no decisions needed to be made immediately, but the City Commission wanted the HRB to look at this issue, decide if it's something to address this year, and possibly come up with recommendations. If so, the City has funding they're requesting through the State (Certified Local Government grant) which would pay for an intern to assist with this project. It would also pay for communications to local property owners. It could be started this summer.

Ms. Reid mentioned another option: knowing that the City would be updating their Comprehensive Plan this year, which would include community visioning and other meetings relating to the Comprehensive Plan, the HRB's process could wait until that is completed (which could take two years or more). Kelly didn't have a recommendation either way, but wants the HRB to consider which way would be best.

**City of Oregon City
Work session minutes
Historic Review Board
February 26, 2020
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Claire Met asked what else was on the HRB's plate this year, and what priority would this take? Ms. Reid said that there was not much on their plate now.

Ken Baysinger wondered aloud if the main objection, in Ms. Reid's example at 611 Third Street, is the significant alteration to the exterior appearance of the property. Why not just say that? Ms. Reid stated that the code needs to be clear about when review is required. "Significant alteration to appearance" is subjective.

There was brief discussion about what's involved in deciding what part of existing attic space (for example) counts as existing space? What kinds of exterior changes are okay, or not? What about significantly changing the pitch of the roof? That could be a significant change.

Jon McLoughlin stated that they should be careful not to make the process overly cumbersome, and try not to add a lot more code. He pointed out that in the past, cities' code books were much thinner than they are now.

Ms. Reid suggested that in order to capture more proposed remodels, it could be as simple as reducing the 30% threshold to a smaller percentage.

Mr. McLoughlin thought these kinds of significant, non-reviewed remodels are rare.

Carrie Richter suggested changing the definition to include "street facing facade." She stated that it's not the area that's most important, it's what the house looks like from the street. She said the HRB could come up with a way to describe that more clearly, and decide what's "significant."

Ms. Met asked if the HRB could give parameters to building officials, or whoever is in charge, as far as changing the character?

Denyse McGriff of the McLoughlin Neighborhood Association spoke to the HRB. She stated that the 611 Third Street remodel didn't have a demo permit, only a mechanical permit stapled to the side of the house. She said she got many calls from neighbors who were upset about this project being started without appropriate permits. It was also started on a weekend, when City Staff wouldn't be in. She also said that this was happening regularly in their community; it isn't rare. She hoped the HRB would take this on now. She would like to see more code so that things were very clear. Another problem: the site plan and building plan were not to scale, so the information couldn't be verified. She said she doubted that the HRB would have approved it. Ms. McGriff said she had done some calculations and guessed that it went over the 30% threshold. She said this was not safeguarding the historic district, and in her opinion tearing down everything except one wall was not remodeling: it was new construction. Ms. McGriff said she is willing to put in time to figure out

**City of Oregon City
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how to make this process better. Ms. McGriff said the City Commission unanimously concluded that this information needed to be referred to the HRB.

Demolition

Ms. Reid said that in the 611 Third Street example, the building official called it a remodel. If it had been termed demolition it would have come to the HRB for review. The building code doesn't have a clear definition of remodel vs. demolition. It's up to the building official on a case-by-case basis. Ms. Reid stated that the HRB might want their own definitions of remodel and demolition. She said that accessory structures are sometimes on historic properties that have no significance, might be falling apart, and are not original, but the owner has to apply for demolition review anyway. Some jurisdictions make this a Type 2, so City Staff would approve it with a public notice and it wouldn't have to go through HRB. She also said that there's been a dispute over whether demolition review applies to non-designated structures. She said that the City's interpretation was that it does not, but their code could be more clear on that so that it's not up for interpretation.

Ray Stobie said he was convinced it was something the HRB should take on. Other Board members agreed.

There was some discussion about the 30%, and what it could or should include.

Ms. Reid suggested they look into hiring an intern, possibly a PSU student, to start in late June. That person could work through the summer and fall.

Mr. McLoughlin asked about whether conditions go into their permanent (or maybe he said "permitted?") packet. Ms. Reid strongly suggested they have a pre-construction meeting with Public Works and Planning before those permits are issued and work begins. Mr. McLoughlin suggested that all the information should be part of the packet, with all documents stapled to the plan, and a hard copy available.

3. Adjourned 6:37 p.m.

City of Oregon City Meeting Minutes Historic Review Board Work Session

February 26, 2020

6:00 PM

City Hall, Commission Chambers

Members Present: Ray Stobie, Claire Met, Jon McLoughlin, Ken Baysinger, Grant Blythe

Staff Present: Kelly Reid, Planner, and Carrie Richter, Assistant City Attorney

- 1. Call to Order**—The meeting was called to order at 6:00 pm.
- 2. Definitions and thresholds for "new construction" and "demolition" in historic districts**

Kelly shared that the City Commission had asked that the Historic Review Board look at the definition of new construction. Kelly explained that for the purposes of Historic Overlay, new construction was defined as any new, unattached building or structure larger than 200 square feet or any building addition over 30% in area of the original structure. Kelly pointed out that area was not well-defined, height changes were not addressed, and- depending on the placement of additions- less than 30% in area might result in a house becoming incompatible. Kelly shared an example of house alterations that had not been reviewed by the Historic Review Board but had experienced a significant change in character.

There was general discussion regarding alternative criteria and wording to use. There was also discussion as to whether instances like the house shown were common enough to warrant adding or changing the existing code.

Public Comment

Denyse McGriff, Oregon City, spoke in favor of making changes to the existing code. Denyse stated that the house used as an example was not an isolated incident and said at least three houses in the last two years had undergone something similar and expressed concern that this pattern would continue in the Historic District.

Kelly shared that the building code lacks a clear definition of demolition and currently the determination of demolition versus remodel rests on the building official's decision. The Board expressed an interest in pursuing this topic. Kelly stated an intern could be hired in June to work on the project.

There was discussion about adding the certificate of appropriateness to building permit packets.

- 3. Adjournment**- the meeting was adjourned at 6:37 pm.